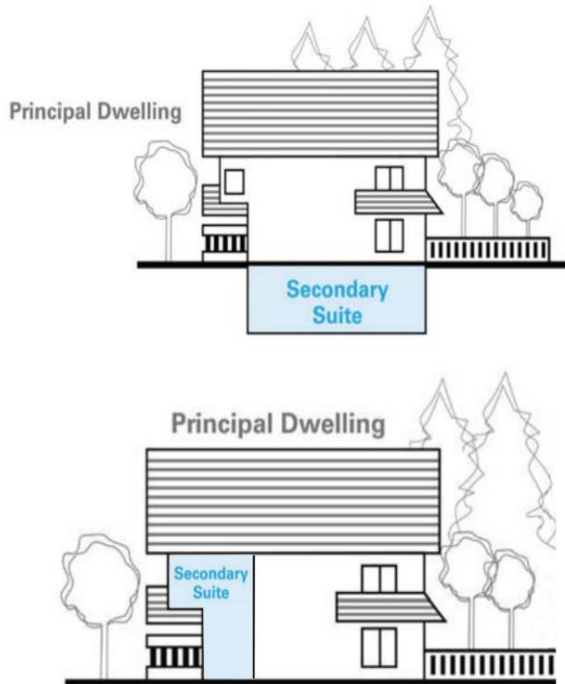


What is a secondary suite?

A secondary suite is a self-contained accessory dwelling unit located within a single detached dwelling, which is used as a residence by one or more persons. A secondary suite has its own separate cooking, sleeping and bathing facilities and direct access to the outside without passing through any part of the principal residence.



Examples of secondary suite configurations

When is a business licence required?

A business licence must be obtained from the City's Business Licence Department prior to the rental of a secondary suite. It is the owner's responsibility to renew the business licence yearly.

Where are Secondary Suites allowed?

Secondary suites are permitted in single detached housing located in the following zones:

Rural: FG (Forestry and Grazing), A (Agriculture), RC (Country Residential)

Urban Residential: R1 (Large Lot Residential), R2 (Small Lot Residential), R3 (Small Lot Residential: Lane), RD1 (Duplex Housing), RD2 (Duplex Housing: Lane), RD3 (Residential Infill), RM1 (Low Density Cluster Housing)

What are the zoning regulations that apply to secondary suites?

The City of Penticton Zoning Bylaw has a number of regulations which encourage the successful integration of secondary suites into the city. Adherence to these regulations must be shown on building plans drawn to scale and including a compliance table:

Development Regulations	
Maximum gross floor area:	90m ² or 40% of the habitable floor area of the building, whichever is less.
Minimum gross floor area:	32m ²
Amenity space:	15m ² provided for both the principal residence and the secondary suite.
Parking:	Minimum 3 parking spots are required for secondary suites. This can include garage parking or open parking. Tandem parking is allowed.
Limitations of Suites	
<ul style="list-style-type: none"> Only one (1) secondary suite shall be permitted per single detached dwelling or duplex unit. Secondary suites are not permitted in conjunction with a carriage house (unless zoned accordingly). 	
Strata Title	
A secondary suite may not be sited or located on a separate parcel from the principal residence or be created as a strata lot within a single detached dwelling.	

Building Permit Approval Process?

A building permit must be issued prior to converting or constructing a new secondary suite. Building Permit applications must include sufficient information for City staff to evaluate the plans against the BC Building Code requirements for secondary suites. This may include, but is not limited to interconnected smoke alarms, carbon monoxide detectors, proper fire separation between the suite and the principal dwelling and suitable access and egress. Please reference the current BC Building Code for suite requirements.

The Building Department will require the following documentation prior to accepting an application for building permit approval:

- A completed building permit application package
- Agency agreement (if the property owner wishes to assign an agent to make the application and act on their behalf)
- Two (2) sets of plans, including a site plan with parking and amenity space, floor plans detailing existing and proposed layouts of the suite AND of the principal dwelling.
- Additional items and drawings may be required.

An application package can be found at www.penticton.ca/permits or may be picked up at City Hall (171 Main Street). It is recommended that the applicant speak with a staff member from the Building Department prior to making a formal application to go over the expectations of the application documentation. Building Department staff can be reached at 250-490-2571. Once a permit is issued, inspections will be conducted at certain benchmarks to ensure compliance with BC Building Code requirements. A passed occupancy inspection by a City Building Official will be required before the suite can legally be occupied.

How can I legalize a pre-existing suite?

Getting an occupancy permit for a pre-existing suite is a similar process to constructing a new suite. Evidence must be provided that the suite generally conforms to the current BC Building Code requirements for secondary suites. This is done through the building permit process spoken to above. Plans must show that the work completed was in compliance with the current BC Building Code. A passed occupancy inspection of the existing suite by a City Building Official will be required before the suite can legally be occupied. If conformance is not achievable, there is a permit process to decommission the suite.

There is no charge for pre-application meeting at City Hall to discuss your options. There is a process for staff to meet onsite to view your existing suite and provide an on-site assessment and report. This is separate from the building permit fee and the current charge is \$250.00. If you would like to arrange any of the above, please contact Building Department at 250-490-2571.

What is the cost for a secondary suite building permit application?

The cost of a secondary suite permit is \$300. At time of application, \$175.00 will be charged, with the remaining \$125.00 due at the time that the permit is ready to be picked up. If further works are being completed apart from the suite, a separate permit may be required and fees will be assessed based on your construction value.

Speak with your neighbours:

Prior to making plans to create a secondary suite, it is recommended that property owners speak with neighbouring property owners and residents and take into consideration any concerns they may have into the plans. Integrate parking and amenity areas in a way that will not infringe on the privacy of neighbouring residents or in a way that changes the character of the existing neighbourhood. City staff are available to help guide you through the process for your suite.

Bylaw enforcement:

Please be advised that City of Penticton Bylaw Enforcement Officers will be actively enforcing the secondary suite regulations. Property owners who operate secondary suites without City approvals will be subject to bylaw enforcement, which may include fines, remedial action and/or decommissioning the suite.

Have questions? We're here to help. Please contact Development Services at 250-490-2501 or development@penticton.ca for more information.