

September 21, 2023

Address & Legal Description

126 Deer Place

Lot 46, District Lot 2710, Similkameen Division Yale District,
Plan EPP111154

Subject & Proposal

Zoning Amendment Bylaw 2023-33

Development Variance Permit PL2023-9638

The applicant is proposing to construct two single family homes on the property – one home will front Deer Place and one home will front the lane (see Figure 1).

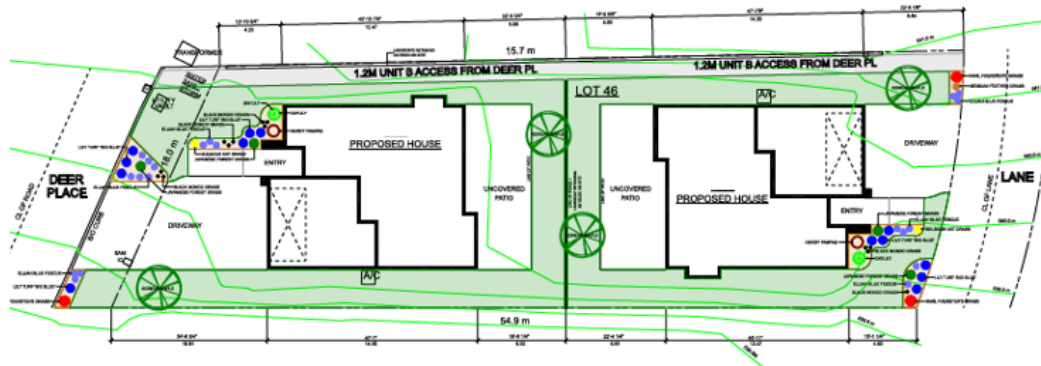
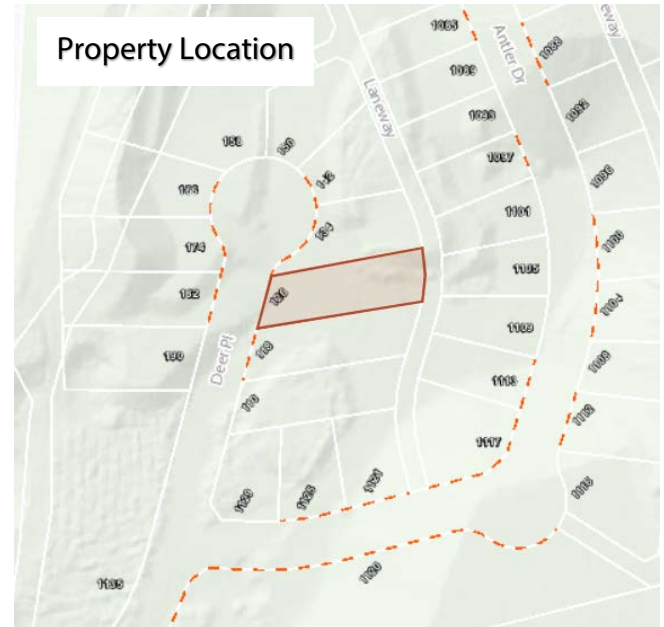


Figure 1: Site Plan Illustration

As the property is zoned RD2 (Duplex Housing: Lane), the applicant has applied for the following zoning amendment and variance in order to facilitate the proposal:

1. Add a site specific provision to the RD2 (Duplex Housing: Lane) zone to permit two single detached dwellings; and
2. Vary Section 10.5.2.9.a of Zoning Bylaw 2023-08 to reduce the rear yard from 6.0 m to 4.5 m.

Council Consideration:

A Public Hearing has been scheduled for Zoning Amendment Bylaw 2023-33 at **6:00 pm, Tuesday, October 3, 2023** in Council Chambers, Penticton City Hall, 171 Main St.

Consideration of Development Variance Permit PL2023-9638 is subject to adoption of the zoning amendment bylaw. Adoption of the bylaw may occur at a future Council meeting.

All meetings and public hearings are live streamed via the City's website at: www.penticton.ca/city-hall/city-council/council-meetings. Select the 'Watch Live' button.

Information:

You can find the staff report to Council, Zoning Amendment Bylaw 2023-33 and Development Variance Permit PL2023-9638 on the City's website at www.penticton.ca/publicnotice or scan the QR code to the right.



Please contact the file manager Jordan Hallam at 250-490-2429 or jordan.hallam@penticton.ca with any questions.

Public Comments:

Any person whose interest may be affected by the proposed bylaw:

1. May participate at the Public Hearing via Zoom or telephone. Please visit www.penticton.ca/publichearings for details and the Zoom link.
2. May appear in person at the Public Hearing.
3. Submit written comments by mail or email no later than 9:30 am, Tuesday, October 3, 2023, to:

Attention: Corporate Officer, City of Penticton
171 Main Street, Penticton, B.C. V2A 5A9
Email: publichearings@penticton.ca

Written comments regarding the development variance permit will also be received by the above noted time and date.

Please ensure the following is included in your correspondence:

Subject: 126 Deer Place

No letter, report or representation from the public will be received by Council after the conclusion of the October 3, 2023 Public Hearing.

Please note that all correspondence submitted to the City of Penticton in response to this Notice must include your name and address and will form part of the public record and will be published in a meeting agenda when this matter is before the Council or a Committee of Council. The City considers the author's name and address relevant to Council's consideration of this matter and will disclose this personal information. The author's phone number and email address is not relevant and should not be included in the correspondence if the author does not wish this personal information disclosed.

Audrey Tanguay
Planning & Licencing Manager



Council Report

penticton.ca

Date: September 12, 2023
To: Kristen Dixon, Interim Chief Administrative Officer
From: Jordan Hallam, Planner II
Address: 126 Deer Place

File No: RMS/126 Deer PI

Subject: Zoning Amendment Bylaw No. 2023-33
Development Variance Permit PL2023-9638
Development Permit PL2023-9603

Staff Recommendation

THAT Council give first reading to "Zoning Amendment Bylaw No. 2023-33", for Lot 46 District Lot 2710 Similkameen Division Yale District Plan EPP111154, located at 126 Deer Place, a bylaw to add the site-specific provision, within the RD2 (Duplex Housing: Lane) zone, as follows: "Section 10.5.4.10, In the case of Lot 46 District Lot 2710 Similkameen Division Yale District Plan EPP111154, located at 126 Deer Place, two single detached dwellings shall be permitted.";

AND THAT Council forward "Zoning Amendment Bylaw No. 2023-33" to the October 3, 2023 Public Hearing;

AND THAT Council, subject to adoption "Zoning Bylaw Amendment Bylaw No. 2023-33", consider "Development Variance Permit PL2023-9638" for Lot 46 District Lot 2710 Similkameen Division Yale District Plan EPP111154, located at 126 Deer Place, a permit to vary Section 10.5.2.9.a of Zoning Bylaw 2023-08 to reduce the rear yard from 6.0 m to 4.5 m:

AND THAT Council, subject to adoption "Zoning Bylaw Amendment Bylaw No. 2023-33", approve "Development Permit PL2023-9603", for Lot 46 District Lot 2710 Similkameen Division Yale District Plan EPP111154, located at 126 Deer Place, a permit to approve the form and character of the proposed 2-unit residential development on the subject property.

Strategic Priority Objective

Vibrant and Connected: Support vibrant and diverse activities creating opportunities for connection in community.

Proposal

The applicant is proposing to build one residential unit fronting Deer Place and one residential unit fronting the lane behind Deer Place on the subject property (Figure 1). The applicant intends to stratify each home

under separate ownership but with common interest in the shared property. In order to proceed with the proposed development, the applicant has requested a site-specific zoning on the subject property to allow two single family dwelling units on the property. The proposed development is considered within the Intensive Residential Development Permit Area outlined within the Official Community Plan (OCP). As such, the applicant has applied for site specific zoning, a Development Permit to approve the form and character of the development, and for a Development Variance Permit to reduce the rear yard setback from 6.0 m to 4.5 m.



Figure 1 – Renderings of proposed buildings: Deer Pl and lane frontage (top), and the rear of the buildings (bottom).

Background

The subject property is located at the end of Deer Place, a newly constructed road in Phase 2 of The Ridge subdivision (Figure 2). The property is 900m² in size. Surrounding land uses are single detached residential to the east and south, with a protected ravine and public walking trail located to the west and north.

The property is zoned 'RD2 (Duplex Housing: Lane)' by the Zoning Bylaw 2023-08 and is designated 'Detached Residential' by the Official Community Plan.

Financial Implication

The applicant is responsible for all development costs, including any service upgrades. Development Cost Charges (DCC's) were taken at the time of subdivision to help offset the added demand on City services from proposed development.

Climate Impact

The proposed development proposes two units, increasing density in a predominantly single family neighborhood. Each dwelling unit is required to provide 1 (2 total) Level 2 Electric Vehicle ready space.



Figure 2 – Property Location Map

The buildings will be required to meet Step 3 of the BC Energy Step Code. Step 3 requires new builds to be at minimum 20% more efficient, with a goal of being Net Zero Ready for new construction by 2032.

Technical Review

This proposed development was reviewed by the Technical Planning Committee, a group of City staff from various departments who review planning applications. Additional items were addressed after the Committee reviewed the development proposal. Future comments related to the building permit requirements have been forwarded to the applicant in order to help expedite that future approvals process, should this proposed development ultimately be approved by Council.

Development Statistics

The following table outlines the proposed development statistics on the plans submitted with the development application:

	RD2 Zone Requirement	Provided on Plans
Minimum Lot Width*:	9.1 m	18 m
Minimum Lot Area*:	275 m ²	900 m ²
Maximum Lot Coverage:	40%	34.0%
Maximum Density:	0.95 Floor Area Ratio (FAR)	0.43 FAR
Vehicle Parking:	Total Required: 2 per dwelling unit	Total Per Dwelling: 2 spaces
	Total Required: 4 spaces	Total Provided: 4 spaces
Level 2 Electric Vehicle (EV) Ready Chargers:	Total Required: 1 per dwelling unit	Total EV Ready Chargers Provided: 2 chargers
	Total Required: 2 chargers	
Required Setbacks		
Front Yard (Deer Pl):	4.5 m	5.11 m
Side Yard (north):	1.5 m	2.25 m
Side Yard (south):	1.5 m	1.97 m
Rear Yard (lane):	6.0 m	4.5 m – variance requested
Maximum Building Height	10.5 m	7.49 m
Other Information:	*Lot width and lot area are only applicable at the time of subdivision.	

Analysis

Zoning Amendment

The Official Community Plan (OCP) designation for the subject property is 'Detached Residential', which supports lower-density areas of single detached houses and/or duplexes in primarily residential neighbourhoods including single-detached bareland stratas (Figure 3). Single detached houses or duplexes are some of the building types envisioned in this designation. The applicant is proposing to construct two single detached dwelling units as separate buildings. The development and density proposed on the property are aligned with the vision of properties designated within the 'Detached Residential' designation.


Land Use	Description	Building Type(s)	Uses	Height / Density	Zone(s)
Detached Residential 	Lower-density areas of single detached houses and/or duplexes in primarily residential neighbourhoods including single-detached bareland stratas	<ul style="list-style-type: none"> • Single detached houses with secondary suites or carriage houses • Duplexes • Small-scale neighbourhood commercial building (e.g., corner store, coffee shop) • Manufactured homes 	<ul style="list-style-type: none"> • Residential • Limited retail/service 	<ul style="list-style-type: none"> • 1 or 2 units per lot • Generally up to 2 ½ storeys to reflect 30' maximum in Zoning Bylaw 	<ul style="list-style-type: none"> • R1 • R2 • R3 • RD1 • RSM • C2
Site-Specific Detached Residential Policy Statement: 375 Smythe Drive: a maximum of 27 detached single-family houses are permitted on this site. Houses may include secondary suites but not carriage houses.					

Figure 3 – Excerpt from Land Use Designation Table (OCP)

In addition to alignment with the future land use designation, staff consider that the proposed zoning amendment will also allow for a development that is supported through the following OCP Goals and Policies:

OCP Policy 4.1.1.1	Focus new residential development in or adjacent to existing developed areas.
OCP Policy 4.1.3.1	Encourage more intensive “infill” residential development in areas close to the Downtown, to employment, services and shopping, through zoning amendments for housing types compatible with existing neighbourhood character, with form and character guided by Development Permit Area Guidelines.
OCP Policy 4.1.3.5	Ensure through the use of zoning that more-intensive forms of residential development are located close to transit and amenities, such as parks, schools and shopping.
OCP Policy 4.1.4.1	Work with the development community – architects, designers and buildings – to create new residential developments that are attractive, high-quality, energy efficient, appropriately scaled and respectful of their context.
OCP Policy 4.1.5.1	Recognize that some traditionally single-family neighbourhoods will see intensification as the city grows, but ensure that new forms of residential development are compatible with the neighbourhood in scale and design, and are appropriately located (e.g., greater density closer to collector roads, services and amenities).
OCP Policy 4.2.5.2	Encourage land use planning that results in neighbourhoods that can be easily serviced by transit.

Staff consider that the application proposes an appropriately scaled development in an area of the city that has been identified for increased residential density by the OCP. The proposed site-specific zoning to allow two detached dwelling units to allow a total of 2 dwelling units on the property is consistent with the increased density and building forms envisioned by the ‘Detached Residential’ designation.

Given that there is adequate policy through the OCP to support the proposed development, staff recommend that Council give first reading to “Zoning Amendment Bylaw No. 2023-33”, and forward the bylaw to the October 3, 2023 Public Hearing to gather comments and feedback from the public.

Support Development Permit

The proposed development is considered within the Intensive Residential Development Permit Area of the OCP, which envisions lower-density areas of single detached house and/or duplexes in primarily residential neighbourhoods including single-detached bareland stratas. The proposed development has been designed with the OCP design guidelines in mind.

Staff have completed a development permit analysis (Attachment ‘D’) that shows how the development conforms to the applicable design guidelines. The applicant has also provided an analysis within their letter of intent (Attachment ‘E’), which outlines the project and its conformance to the OCP design guidelines.

As such, staff recommend that Council consider approving the Development Permit after adoption of the Zoning Amendment Bylaw.

Development Permit Variance

When considering a variance to a City bylaw, staff encourage Council to consider whether approval of the variance would cause a negative impact on neighbouring properties, and if the variance request is reasonable. Staff have reviewed the requested variance to reduce the rear yard setback from 6.0 m to 4.5 m for the building closest to the lane and are recommending support for the following reasons:

1. Minimal reduction

The requested variance from 6.0 m to 4.5 m is minimal in nature. The building closest to the lane has an entrance and garage accessed from the lane. This helps create a buffer from the neighbouring properties across the lane helping to reduce privacy. Additionally, if the applicant were to build a carriage house on the subject property, the Zoning Bylaw allows a 1.5 m setback from the lane with no variances required.

2. Two single detached dwellings

The variance to reduce the rear yard setback from 6.0 m to 4.5 m increases the separation between the two dwellings. This allows the rear yards, separated by a fence, between the dwellings to increase in size, while allowing more amenity space for the residents of each dwelling unit to enjoy. By reducing the rear yard setback and increasing space between each unit, this creates separation and helps address privacy concerns between residents of each dwelling unit.

As such, staff recommend that Council consider approving the Development Variance Permit after adoption of the Zoning Amendment Bylaw.

Alternate Recommendations

Council may consider that the proposed rezoning is not suitable for this site. If this is the case, Council should deny the bylaw amendment. Staff are not recommending this option, as the proposal is well aligned with the OCP policies by gently increasing density in a high-amenity area of the City with a site-specific

provision to allow two single detached dwellings, which is a development form consistent with the Detached Residential OCP designation.

- 1. THAT Council deny first reading of “Zoning Amendment Bylaw No. 2023-33”.

Attachments

- Attachment A – Zoning Map
- Attachment B – Official Community Plan Map
- Attachment C – Photos of Property
- Attachment D – Development Permit Analysis (staff)
- Attachment E - Letter of Intent and Development Permit Analysis (applicant)
- Attachment F – Draft Development Permit PL2023-9603
- Attachment G – Draft Development Variance Permit PL2023-9638
- Attachment H – Zoning Amendment Bylaw No. 2023-33

Respectfully submitted,

Jordan Hallam
Planner II

Concurrence

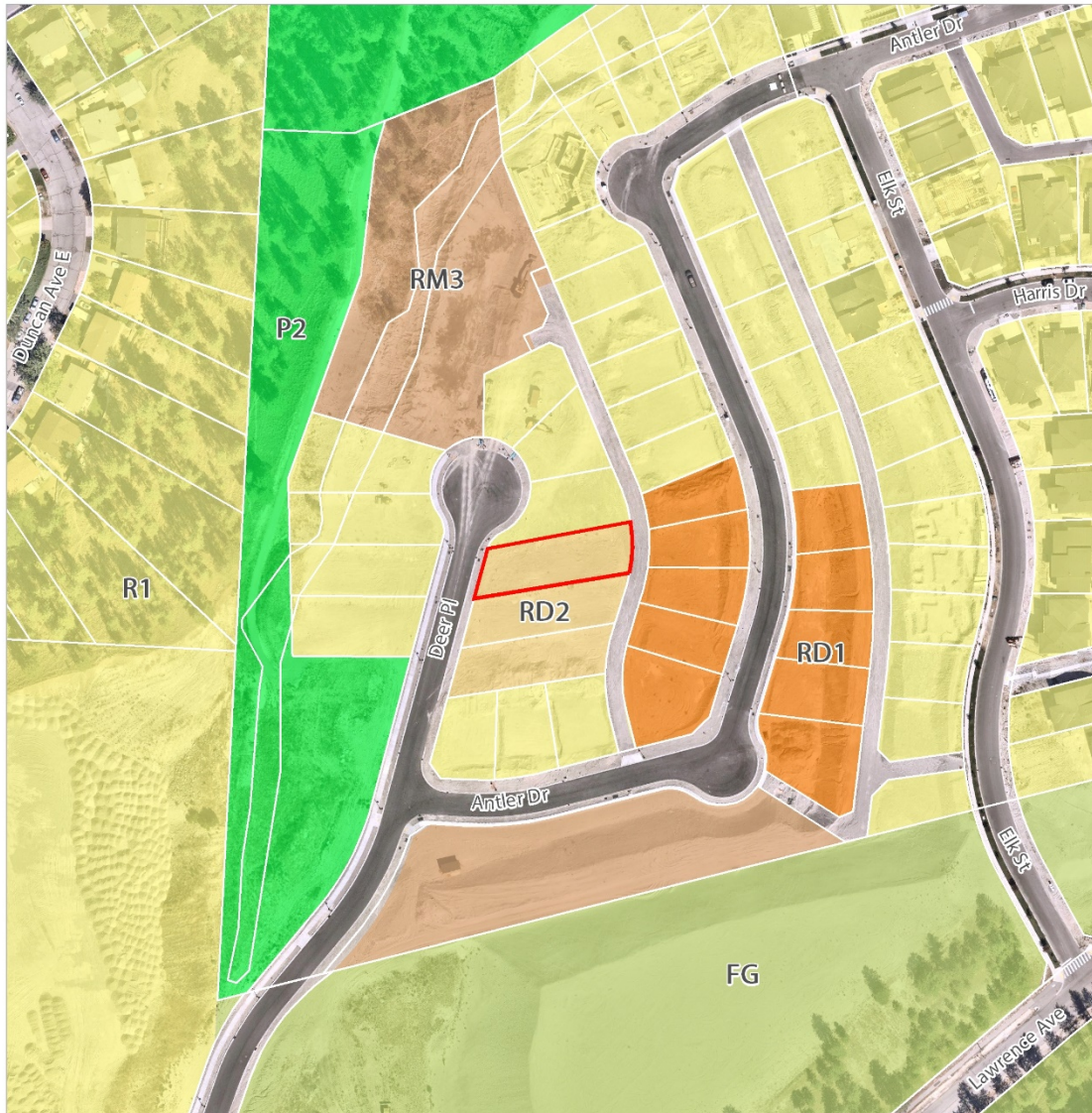
<div>Director of Development Services</div> <div><i>BL</i></div>	<div>Interim Chief Administrative Officer/GM of infrastructure</div> <div><i>KD</i></div>
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Attachment A – Zoning Map



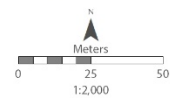
126 Deer Pl

Zoning Map



Legend

- Subject Parcel
- FG - Forestry and Grazing
- R1 - Large Lot Residential
- RD1 - Duplex Housing
- P2 - Parks and Recreation
- RD2 - Duplex Housing: Lane
- RM3 - Medium Density Multiple Housing



Terms of Use: The City of Penticton is a repository of public information in both printed and digital form. This means, accuracy and completeness of this information varies. As a result, the City does not warrant in any way the mapping information including the accuracy or suitability thereof. The user of this information does so at their own risk and should not rely upon the information without independent verification as to the accuracy or suitability thereof.

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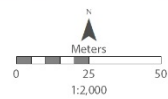
126 Deer Pl

OCP Map



Legend

- Subject Parcel
- Future Land Use
- Detached Residential
- Natural and Conservation Areas
- Ground Oriented Residential
- Urban Residential
- Parks



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Attachment C – Photos of Property



Development Permit Analysis

The proposed development is located within the Intensive Residential Development Permit Area. The following analysis demonstrates how the proposal is aligned with the applicable design guidelines.

- Guideline G5 Siting of buildings should support strong street definition by minimizing front yard setbacks while sensitively transitioning to neighbouring building setbacks.*
- The two buildings are set close to Deer Pl and the lane. This design provides strong street definition while providing enough room between the garage door and the sidewalk and lane for vehicles to park. The front setback (5.1 m) is close to the setbacks of new construction in the surrounding neighbourhood.
- Guideline G11 Barrier-free pedestrian walkways to primary building entrances must be provided from municipal sidewalks, parking areas, storage, garbage and amenity areas.*
- A barrier-free pedestrian walkway is provided along the north side of the property to connect each building to the street, and to provide level access to the rear yard.
- Guideline G13 Entry to ground-level residential units should be no more than 1.8m above the grade of adjacent public sidewalks and walkways.*
- Entrances to each building are approximately at ground level from both Deer Pl and the lane for the rear building.
- Guideline G16 Site and building access must prioritize pedestrian movement, minimize conflict between various modes of transportation and optimize use of space...*
- A path is proposed along the north property line to provide pedestrian access to the rear building. In addition, the front building fronts onto a public street with the main entrance located close to the public sidewalk on Deer Pl.
- Guideline G23 Articulation of building mass should include horizontal (minor) setbacks and stepbacks (along upper storeys) to provide visual interest and enrich the pedestrian experience. Balconies and/or cantilever upper floors may be considered as a means to breaking up massing while promoting overlook and/or weather protection.*
- The proposed building designs include covered entries that face the street as well as roof projections. These features provide architectural interest and help break up the mass of the 2-storey building faces.
- Guideline G24 Street-facing units should utilize a layering of elements – including but not limited to street-facing entries, stairs, stoops, porches, patios and landscape elements – to create transitions between the public (e.g., street, sidewalk), semi-public (e.g., walkway, ramp, stair), semi-private (e.g., stoop, balcony) and private areas.*
- As shown on the development plans, the entries to the units are about 1-2 steps above grade, leading to a covered porch over the entrances. The roof overhanging this area breaks up the building face and provides architectural interest.
- Guideline G26 Building designs should minimize impacts on the privacy of adjacent dwellings, including private open spaces.*

- The buildings designs show smaller windows on the sides facing the neighbouring properties. No decks are proposed on either building, with ground level patios at the rear of each building.

Guideline G29 Development should orient windows, porches, balconies and patios toward the public realm, allowing for casual overlook of parks, open spaces, and parking areas.

- Large windows, main unit entries and covered entries on each building face towards the street and lane to provide visual overlook onto the public realm.

Guideline G35 Tree planting...

- The landscaping plan shows a total of four new trees on the subject property. Each stratified building will have two trees within their yards. In addition, one new boulevard tree is proposed on the Deer Place frontage. The landscape plan shows other plantings in the front yard and rear yard of the property.

Attachment E - Letter of Intent and Development Permit Analysis (applicant)

City of Penticton

June 8, 2023

Development Application

Letter of Intent

Property – 126 Deer Place, Penticton, BC V2A 2X5

Good afternoon,

Our intent in submitting this development application is to take the current property listed above and build a Duplex within the property lines. According to the Future Land Use map / Official Community Plan, this area is slated as detached residential and the property itself has been zoned for a two unit duplex.

Stone Cliffe Developments would like to build two 3 bedroom and 3 bathroom homes with two car garages. Each unit would be approximately 2300 square feet. The current lot size is 180' deep x 59' wide. The development would be built and placed on the property similar to a duplex except they would remain detached and we would divide the two units with a fence down the middle.

There would be no foreseeable negative impacts to the neighboring properties including no increase to street parking, due to the units having 2 car garages. The updated duplex would actually bring a stylish and updated look and provide a new housing option to the existing neighborhood. The units would likely add long term value to the neighborhood.

Please don't hesitate to contact us with any questions or additional information required. We appreciate your time and look forward to working with the City in this endeavour.

Kind Regards,

A handwritten signature in black ink, appearing to read 'Raj Dhillon', written over a horizontal line.

Raj Dhillon
Stonecliffe Developments

Development Application

Development Permit Analysis

Property – 126 Deer Place, Penticton, BC V2A 2X5

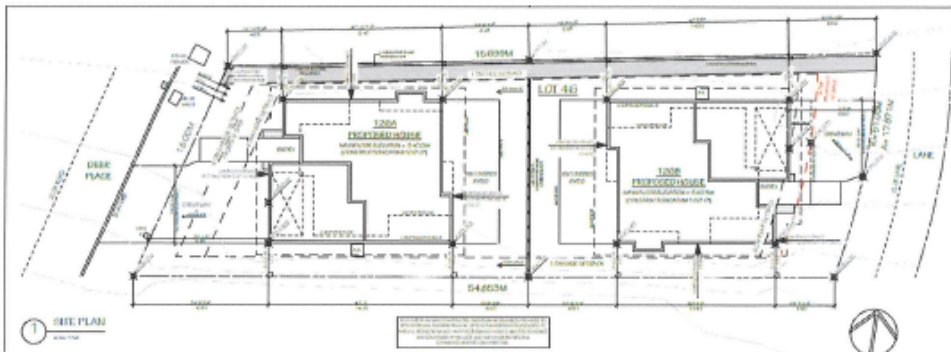
General

This new housing duplex concept would definitely fit and relate to the current surroundings including the scale and fit in relation to the property size. The structure would be sure to provide proper sun exposure and privacy to the eventually built surrounding homes. One unit would utilize the street to access a driveway and garage, while the secondary unit would utilize an already planned laneway to access the driveway and garage.

The main reason behind this proposal is to provide another affordable housing option within a high end already established single family detached housing neighborhood. These structures would maintain a luxurious look and feel to fit in well with the current planned surroundings.

G2. Applications shall include a comprehensive site plan

The site plans as well as mock up drawings to show architectural design and neighborhood feel have been included in this Analysis for quick reference. A full package of the construction documents will be included as well.



G8. Secondary buildings should create comfortable and social, semi-public and semi-private spaces within interior courtyards and/or side-yards.

Mock up drawings to show the intent of providing private spaces/yards.



G18. Attached parking structures, their access and associated components (doorways, ramps, etc.) should be architecturally integrated into the building so as to minimize visual impact to the public realm.

Each unit has an architecturally integrated 2 car garage to provide a seamless and attractive parking option

IR1. Building siting • Front and rear yard setbacks should relate to those of existing neighbouring buildings

Residential frontages and secondary edges would be maintained to adhere to the current zone siting regulations including proper setbacks, fitting within the desire to maintain neighbourliness.

Please don't hesitate to contact us with any questions or additional information required. We appreciate your time and look forward to working with the City in this endeavour.

Kind Regards,

Raj Dhillon
Stonecliffe Developments

Development Permit

Permit Number: DP PL2023-9603

Owner Name

Owner Address

Conditions of Permit

1. This permit is issued subject to compliance with all of the bylaws of the City, except as specifically varied or supplemented by this Permit.
2. This permit applies to:
 - Legal: Lot 46 District Lot 2710 Similkameen Division Yale District Plan EPP111154
 - Civic: 126 Deer Place
 - PID: 031-461-140
3. This permit has been issued in accordance with Section 489 of the *Local Government Act*, to permit the construction of two single detached dwellings as shown in the plans attached in Schedule 'A'.
4. In accordance with Section 489 of the Local Government Act, the following provisions of the City of Penticton Zoning Bylaw No. 2023-08 are varied by this permit:
 - a. Section 10.5.2.9.a: to reduce the rear yard from 6.0 m to 4.5 m.
5. In accordance with Section 502 of the Local Government Act a deposit or irrevocable letter of credit, in the amount of \$10,000.00 must be deposited prior to, or in conjunction with, an application for a building permit for the development authorized by this permit. The City may apply all or part of the above-noted security in accordance with Section 502 of the Local Government Act, to undertake works or other activities required to:
 - a. correct an unsafe condition that has resulted from a contravention of this permit,
 - b. satisfy the landscaping requirements of this permit as shown in Schedule 'A' or otherwise required by this permit, or
 - c. repair damage to the natural environment that has resulted from a contravention of this permit.
6. The holder of this permit shall be eligible for a refund of the security described under Condition 5 only if:
 - a. The permit has lapsed as described under Condition 8, or
 - b. A completion certificate has been issued by the Building Inspection Department and the Director of Development Services is satisfied that the conditions of this permit have been met.
7. Upon completion of the development authorized by this permit, an application for release of securities (Landscape Inspection & Refund Request) must be submitted to the Planning Department.

Staff may carry out inspections of the development to ensure the conditions of this permit have been met. Inspection fees may be withheld from the security in accordance with the City of Penticton Fees and Charges Bylaw (as amended from time to time).

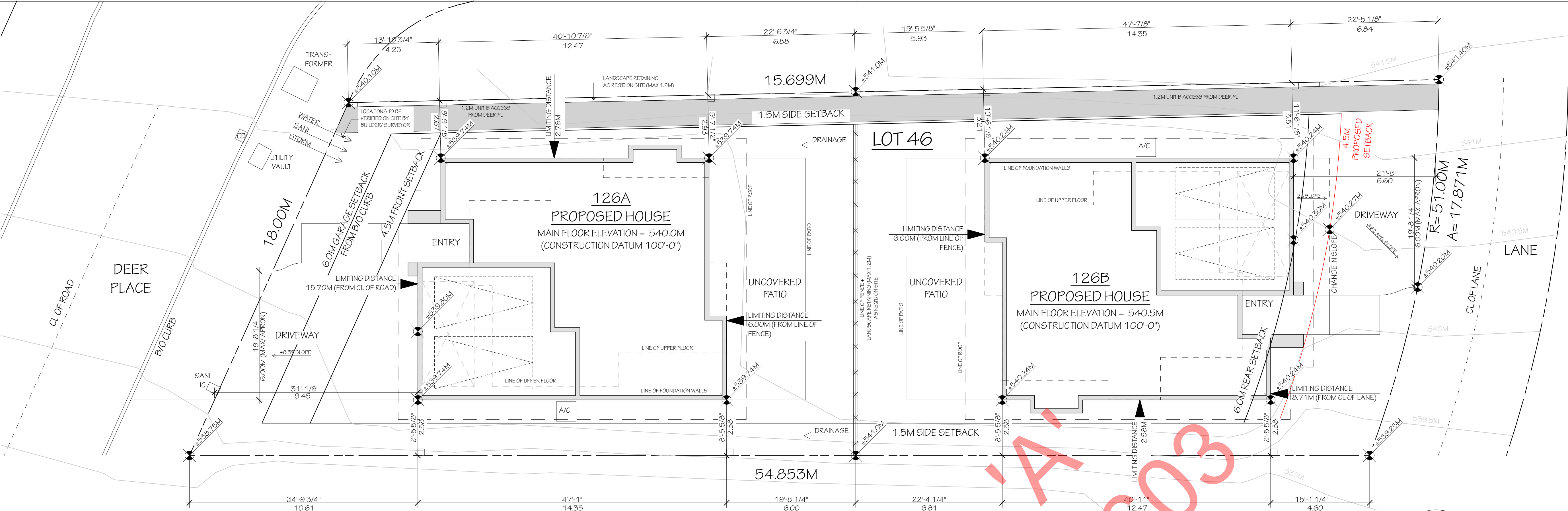
General Conditions

8. In accordance with Section 501(2) of the *Local Government Act*, the lands subject to this permit shall be developed in general accordance with this permit and the plans attached as Schedule 'A'.
9. In accordance with Section 504 of the *Local Government Act*, if the holder of this permit does not commence the development authorized by this permit within 2 years of the date of this permit, this permit shall lapse.
10. **This permit is not a building permit. In order to proceed with this development, the holder of this permit must hold a valid building permit issued by the Building Inspection Department.**
11. This permit does not constitute any other municipal, provincial or federal approval. The holder of this permit is responsible to obtain any additional municipal, federal, or provincial approvals prior to commencing the development authorized by this permit.
12. This permit does not include off-site infrastructure costs that may be required at the building permit stage, such as Development Cost Charges (DCC's), road improvements and electrical servicing. There may be substantial infrastructure and servicing costs payable at a later date. For more information on servicing and infrastructure requirements please contact the Development Engineering Department at (250) 490-2501. For more information on electrical servicing costs, please contact the Electric Utility at (250) 490-2535.

Authorized by City Council, the 12th day of September, 2023.

Issued this ____ day of September, 2023.

Angela Collison
Corporate Officer



THIS SITE PLAN WAS CONSTRUCTED BASED ON INFORMATION PROVIDED TO UPRISE DESIGN AND DRAFTING INC. UPRISE CANNOT TAKE RESPONSIBILITY. AND ALL GEODETIC VALUES AND POSITIONING OF HOUSE MUST BE REVIEWED AND CONFIRMED BY BUILDER AND SURVEYOR BEFORE THE COMMENCEMENT OF CONSTRUCTION.

1 SITE PLAN

SCALE: 1:100

SITE INFORMATION		
CLIENTS:	DHILLON - SPEC HOME	
ZONING DISTRICT:	RD2	
LEGAL ADDRESS:	LOT 46 DISTRICT LOT 2710 SIMILKAMEEN DYD PLAN EPP111154	
CIVIC ADDRESS:	126A DEER PLACE PENTICTON, BC	126B DEER PLACE PENTICTON, BC
ELEVATIONS:		
U/S FOOTING	AS REQ'D BY FROST/BEARING	AS REQ'D BY FROST/BEARING
T/O CRAWL SPACE SLAB	538.45M (94'-10 3/4")	538.95M (96'-1 1/2")
T/O FOUNDATION WALL	539.95M (99'-9 7/8")	540.45M (101'-5 5/8")
T/O GARAGE	539.95M (99'-9 7/8")	540.45M (101'-5 5/8")
T/O MAIN FLOOR	540.00M (100'-0")	540.50M (101'-7 3/4")
T/O UPPER FLOOR	543.39M (111'-1 1/4")	543.89M (112'-9")
FINISHED GRADE FRONT	539.74M (99'-1 7/8")	540.24M (100'-9 5/8")
FINISHED GRADE BACK	539.74M (99'-1 7/8")	540.24M (100'-9 5/8")
ROOF PEAK	547.92M (125'-11 5/8")	548.40M (127'-9 1/8")
HOUSE AREA:		SPRINKLERED THROUGHOUT TO NFPA 13D
MAIN FLOOR	1146.09 SQFT	
UPPER FLOOR	1059.03 SQFT	
TOTAL LIVABLE SPACE:	2205.12 SQFT	
CRAWLSPACE	1132.71 SQFT	
GARAGE	461.85 SQFT	
PATIO	507.22 SQFT	
TOTAL UN-LIVABLE SPACE:	2101.78 SQFT	
TOTAL HOUSE AREA:	4306.90 SQFT	
LOT:		
AREA	9596.7 SQFT (891.56M ²)	
SITE COVERAGE	3326.6 SQFT (309.05M ²)	
% LOT COVERAGE	33.17%	
LOT DENSITY (FAR) (0.95 MAX)	0.46	

2 SITE INFORMATION

DP PL2023-9603

GENERAL NOTES:
These notes constitute a part of the drawing package are intended to be understood before commencement of the project.
All construction to comply with BC Building Code 2018 and applicable bylaws.
All work shall be completed as good building practice and be consistent with the standards set out by each trades professional association.
Contractor/Builder is responsible for verifying all dimensions and specifications before commencing construction.
Written dimensions take precedence over scaled dimensions.
Dimensions are from the face of stud on the exterior of the building to face of stud on interior partitions.
Uprise is not responsible for changes or variances from these drawings to site conditions or the structural drawings provided by the P.E.N.G. for Roof, Floor, Wall or Foundation, and is the responsibility of the Contractor/Builder to resolve discrepancies.
Any and all design that requires Engineering is the sole responsibility and at the cost of the Owner.

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STRUCTURAL DESIGN AND ENGINEERING:
All load carrying elements including but not limited to joist, beams and columns within roofs, walls and floors must comply with the limits set out in Part 9 of the BCBC or be designed by P.E.N.G.
The design of this building will require the professional assurances of an Engineer for the Roof System, Floor System, Beams (optional) and Foundation.

CONSTRUCTION SITE NOTE:
The Contractor/Builder is responsible for the correct positioning of the house on the site.
Driveways, walkways, steps, retaining walls and all other site works to be verified once finished grade is established in relation to the top of foundation wall.
Finished grading of all surfaces are to be designed to slope away from the building.

FOUNDATIONS:
Foundations shall be concrete on solid undisturbed or compacted bearing and below frost line.
Unless otherwise noted the compressive strength of unreinforced concrete after 28 days shall be not less than 15 MPa for walls, columns, fireplaces and chimneys, footings, foundation walls, grade beams and piers, 20 MPa for floors other than those in garages and carports, and for garage and carport floors, and the exterior steps 32 MPa.
Concrete used for garage and carport floors and exterior steps shall have air entrainment of 5 to 8%.
Foundation Wall elevations are based off best information provided and relate to specific construction methods as seen in drawing details and assumes location of solid bearing and must be confirmed by builder.
Where the exterior finished ground level is at a higher elevation than the ground level inside the foundation walls, exterior surfaces of foundation walls below ground level shall be damp proofed.
Soil Gas Prevention: All wall, roof and floor assemblies separating conditioned space from the ground shall be protected by an air barrier system.
Concrete Walls exceeding max heights for unreinforced concrete must be designed by a P.E.N.G.
It is recommended that Footings and Foundations are of the reinforced type and therefore are designed by a P.E.N.G.
Subsurface perimeter drainage to conform to 2018 BCBC and be connected to a dry well.

WOOD FRAMING:
Lumber for joists, rafters, trusses and beams shall be identified by a grade stamp to indicate its grade as determined by NLGA 2007, "Standard Grading Rules for Canadian Lumber".
Owner/Contractor to confirm all rough openings for doors, windows and other units with manufactures installation recommendations before commencement of construction.
Security blocking to be installed at all exterior doors.
Builder is responsible for proper framed backing between studs, trusses, joist, etc. For the installation of rails, grab bars, cabinets, etc.
Laminated columns supporting built-up beams or girder trusses to be same width as supported member unless otherwise noted by P.E.N.G.
All beams, lintels and columns are subject to engineering as roof loads may not be covered by the building code.
All installation of Engineered products must follow specifications of P.E.N.G. structural drawings.
Interior partitions over 6'-0" long running parallel to the floor direction shall have either double joist or cross framing for support.
All lintels to be built-up 2 ply 2x10 unless otherwise noted.
All members shall be so framed, anchored, fastened, tied and braced to provide the necessary strength and rigidity.
Ends of wood joists, beams and other members framing into masonry or concrete shall be treated to prevent decay where the bottom of the member is at or below ground level, or a 12 mm air space shall be provided at the end and sides of the member.

Wood framing members that are not pressure-treated with a wood preservative and that are supported on concrete in contact with the ground or fill shall be separated from the concrete by not less than 0.05 mm polyethylene film or Type 5 poly roofing.
Building frames shall be anchored to the foundation.
All spans to comply with the limits stated in the 2018 BCBC.
Floors, Walls and Trusses to be braced, strapped and bridged for maximum rigidity.

PLUMBING AND ELECTRICAL:
Installation of plumbing and electrical must comply with local and regulations in all aspects.
Outlet locations are to comply with current building code requirements.
No electrical or plumbing fixture or outlet or any service run may be installed in or through fire separation walls between suites.
All locations of drains shown in fixtures are just symbols and should be reviewed with owner and contractor before any installation. Locations of drains are subject to the type of fixture being installed.

HVAC:
Design and sizing of HVAC should be done in consultation with a professional as increased focus is being placed on energy savings and indoor air quality.
Installation of entire heating system, whether electric, forced air or warm water, must comply with manufactures directions and local code and regulations.
Fuel burning appliances, including furnaces, fireplaces and stoves, to be provided with combustion air supply from the exterior.

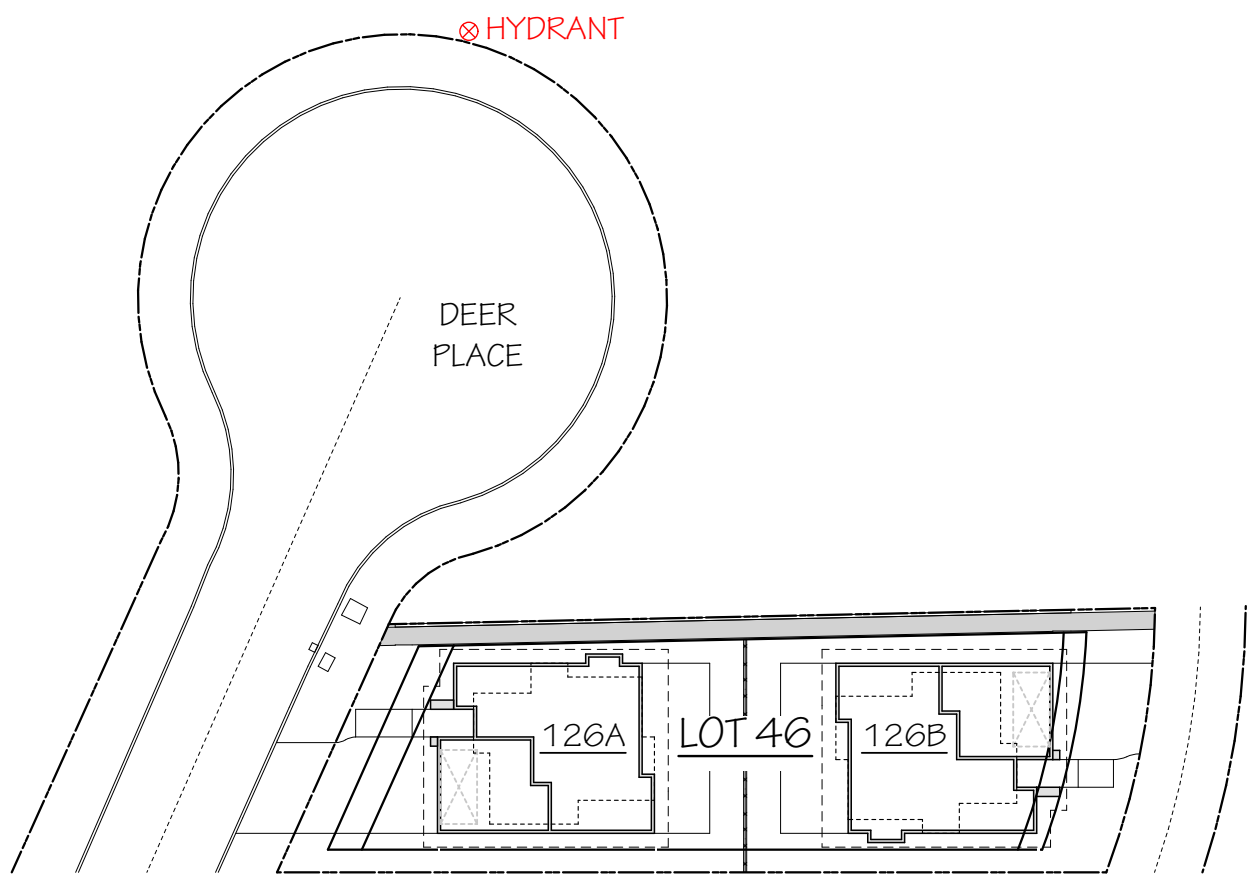
ROOF:
Except where it can be shown to be unnecessary a space shall be provided between the insulation and the sheathing, and vents shall be installed to permit the transfer of moisture from the space to the exterior.
The unobstructed vent area shall be not less than 1/500 of the insulated ceiling area.
Where the roof slope is less than 1 in 6 or in roofs that are constructed with roof joists, the unobstructed vent area shall be not less than 1/150 of the insulated ceiling area.
Roofs shall be protected with roofing, including flashing, installed to shed rain effectively and prevent water due to ice damming from entering the roof.
All drainage, downspouts, and roof drains to be confirmed by truss supplier and contractor. All roof drains must conform to Part 7 of the BCBC.
Eave protection shall be provided on shingle, shake or tile roofs, extending from the edge of the roof a minimum of 900 mm up the roof slope to a line not less than 300 mm inside the inner face of the exterior wall.

BUILDING ENVELOPE:
All walls, ceilings and floors separating conditioned space from unconditioned space, the exterior air or the ground shall be provided with thermal insulation, a continuous air barrier and a vapour barrier.
Flashing shall be installed at every horizontal junction between cladding elements, every horizontal offset in the cladding, and every horizontal line where the cladding substrates change.
Flash at all unprotected openings.
Sealant shall be provided where required to prevent the entry of water into the structure.
Sealant shall be provided between masonry, siding or stucco and the adjacent door and window frames or trim, including sills, unless such locations are completely protected from the entry of rain.
Sealant shall be provided at vertical joints between different cladding materials unless the joint is suitably lapped or flashed to prevent the entry of rain.
Minimum distance between finished grade and exterior cladding must be 6in.

INSULATION:
Degree Days for Kelowna: 3400 Climate Zone: 5 (3000 to 3999 HDD)
Insulation specifications as required by Energy Report (by others).

FINISHING:
All interior and exterior finishes shall be specified by owner.
Finishing shown on plans shall be confirmed by owner.
Soffits to be stained T&G pine or perforated aluminum on all exterior trusses as noted on plans.
It is recommended that suitable water resistant backer board be used in all high moisture areas.
All doors and windows must meet or exceed 2018 BCBC performance and installation Standards.
Exterior Doors shall be solid core and weather striped. Garage doors to dwelling to be solid core, weather stripped and self closing.
Coat and clothing closets shall have one rod and shelf. Linen closets shall have 5 shelves if possible and broom closets shall have one shelf.
All millwork and cabinetry to be determined in consultation with millwork and cabinet suppliers.

3 GENERAL NOTES



4 HYDRANT LOCATION

SCALE: 1:500

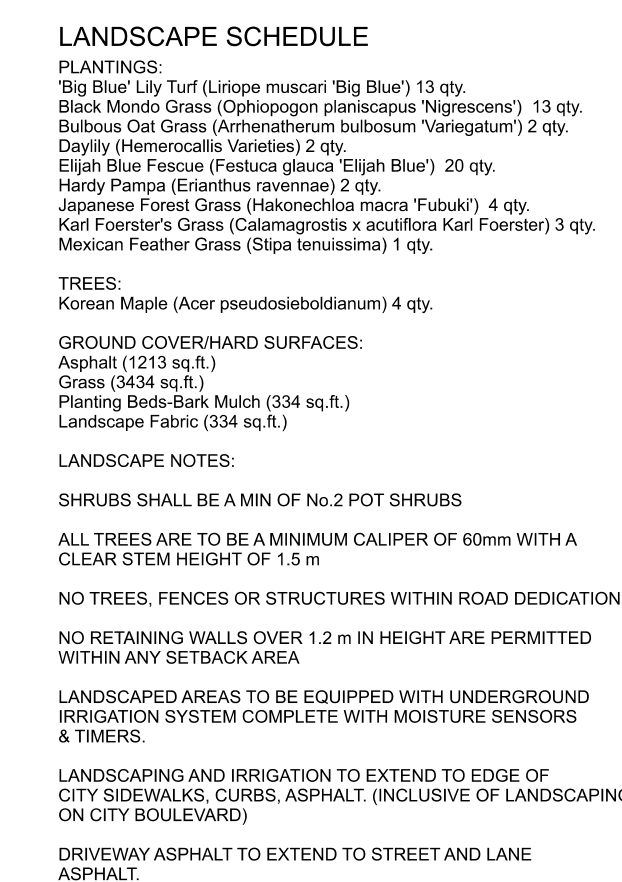
EXPOSED BUILDING FACE CALCULATIONS			
FRONT ELEVATION A		FRONT ELEVATION B	
TOTAL EBF = 72.20M ² (777.2 SQFT)		TOTAL EBF = 72.20M ² (777.2 SQFT)	
LIMITING DISTANCE = 15.70M 100% ALLOWED		LIMITING DISTANCE = 8.71M 100% ALLOWED	
AREA ALLOWED: 777.2 SQFT AREA PROVIDED: 235.5 SQFT		AREA ALLOWED: 777.2 SQFT AREA PROVIDED: 235.5 SQFT	
LEFT ELEVATION A		LEFT ELEVATION B	
TOTAL EBF = 92.81M ² (999.0 SQFT)		TOTAL EBF = 92.81M ² (999.0 SQFT)	
LIMITING DISTANCE = 2.78M 12.81% ALLOWED		LIMITING DISTANCE = 2.58M 100% ALLOWED	
AREA ALLOWED: 127.97 SQFT AREA PROVIDED: 112.0 SQFT		AREA ALLOWED: 117.58 SQFT AREA PROVIDED: 112.0 SQFT	
BACK ELEVATION A		BACK ELEVATION B	
TOTAL EBF = 72.20M ² (777.2 SQFT)		TOTAL EBF = 72.20M ² (777.2 SQFT)	
LIMITING DISTANCE = 6.00M 46.88% ALLOWED		LIMITING DISTANCE = 6.00M 100% ALLOWED	
AREA ALLOWED: 361.91 SQFT AREA PROVIDED: 248.0 SQFT		AREA ALLOWED: 361.91 SQFT AREA PROVIDED: 248.0 SQFT	
RIGHT ELEVATION A		RIGHT ELEVATION B	
AREA GLAZING PROVIDED: 0 SQFT		AREA GLAZING PROVIDED: 0 SQFT	
		HOUSE 126B SPRINKLERED TO NFPA 13D	

5 E.B.F.

126 A/B DEER PLACE DHILLON - SPEC HOME DATE: JULY 19, 2023 SCALE: AS NOTED

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REVISIONS			
2	07/19/2023	REVISED - TECHNICAL PLANNING COMMITTEE COMMENTS	
1	02/17/2023	ISSUED FOR BUILDING PERMIT	
#	DATE	DESCRIPTION	



STONE CLIFFE DEVELOPMENTS RAJ DHILLON 172 GREEN AVE PENTICTON, BC	DESIGN BY: A/JG	DATE: 2023-08-22
	DRAWN BY: A/JG	REVISION:

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Reproduction of these drawings, in whole or in part, including any direct copying and/or preparation of derivative works thereof, for any reason without prior written permission of Roush Design Group, is strictly prohibited. The purchase of these drawings does not entitle the buyer to use the drawings for the construction of any one, and only one, dwelling unit. The purchase of additional sets of these drawings at a reduced price from the original set or as part of a multiple set package does not entitle the buyer with license to construct more than one dwelling unit.

Due to local codes, regulations and building practices and/or because of specific site conditions, these drawings may not be suitable or legal for use in the construction of a building in all localities. Consequently, these drawings are not to be used as a guide for construction unless the builder confirms their suitability for the locality in which they are to be used. The drawings are provided "as is." Additionally, Groux Design Group is unable to accept any liability for the accuracy or overall integrity of these drawings in excess of their original purchase price. Therefore, the builder must carefully inspect all dimensions and details in these drawings and assume responsibility for the same.

GIROUX DESIGN GROUP
Custom Home and Building Design Since 1950.

Giroux Design Group Inc.
phone: 250.276.4373 e-mail: contact@girouxdesigngroup.com
web: www.girouxdesigngroup.com

PLAN NO.
WP-5783
SLAB
SHEET NO.
1

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126 A/B DEER PLACE
DHILLON - SPEC HOME
DATE: JULY 19, 2023
SCALE: AS NOTED

GENERAL NOTES

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#	DATE	DESCRIPTION

FOUNDATION +
CRAWL SPACE

PLANS 1.0

SHEET 3 OF 9

DRAWN BY: AW	REVIEWED BY: C
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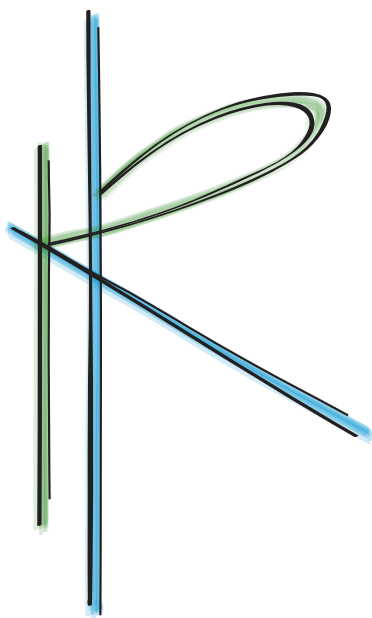
FOOTING AND FOUNDATION SPECIFICATIONS TO CONFORM TO
ENGINEERED DRAWINGS WHERE REQUIRED. DEPTH OF FOOTING
MUST BE REVIEWED BY CONTRACTOR AND CONSTRUCTED BASED
ON SUITABLE SOIL BEARING AND FROST PROTECTION.



CRAWL SPACE AREA:	1,132.71 SQFT
-------------------	---------------

- WALL ASSEMBLIES

- | | |
|--|---|
|  | <p>TYPICAL EXTERIOR WALL CLADDING</p> <p>WEATHER BARRIER
17" AIR SPACE
2 1/2" GYPSUM WALL & 24" R24 R-AT INSULATION
VAPOUR BARRIER
1 1/2" GYPSUM BOARD</p> |
|  | <p>FROST WALL</p> <p>17" AIR SPACE
8" CONCRETE WALL
2 1/2" GYPSUM WALL & 24" R24 R-AT INSULATION
VAPOUR BARRIER
1 1/2" GYPSUM BOARD</p> |
|  | <p>GARAGE WALL</p> <p>1 1/2" GYPSUM WALL
2 1/2" GYPSUM WALL & 24" R24 R-AT INSULATION
VAPOUR BARRIER
1 1/2" GYPSUM BOARD</p> |
|  | <p>BUILT-OUT WALL CLADDING</p> <p>WEATHER BARRIER
3/8" WEATHER BARRIER
2 1/2" GYPSUM WALL
1 1/2" GYPSUM BOARD</p> |
|  | <p>TYPICAL INTERIOR WALL</p> <p>1 1/2" GYPSUM BOARD
1 1/2" GYPSUM BOARD</p> |
|  | <p>2X6 WALL</p> <p>2 1/2" GYPSUM BOARD
1 1/2" GYPSUM BOARD</p> |
|  | <p>LOAD BEARING INTERIOR WALL</p> <p>1 1/2" GYPSUM BOARD
1 1/2" GYPSUM BOARD</p> |



UPRISE HOUSE PLANS
BY UPRISE DESIGN + DRAFTING INC.
#110 - 3121 HILL RD, LAKE COUNTRY, BC
PH: 778.480.0341

126 A/B DEER PLACE DHILLON - SPEC HOME

DATE: JULY 19, 2023
SCALE: AS NOTED

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REVISIONS

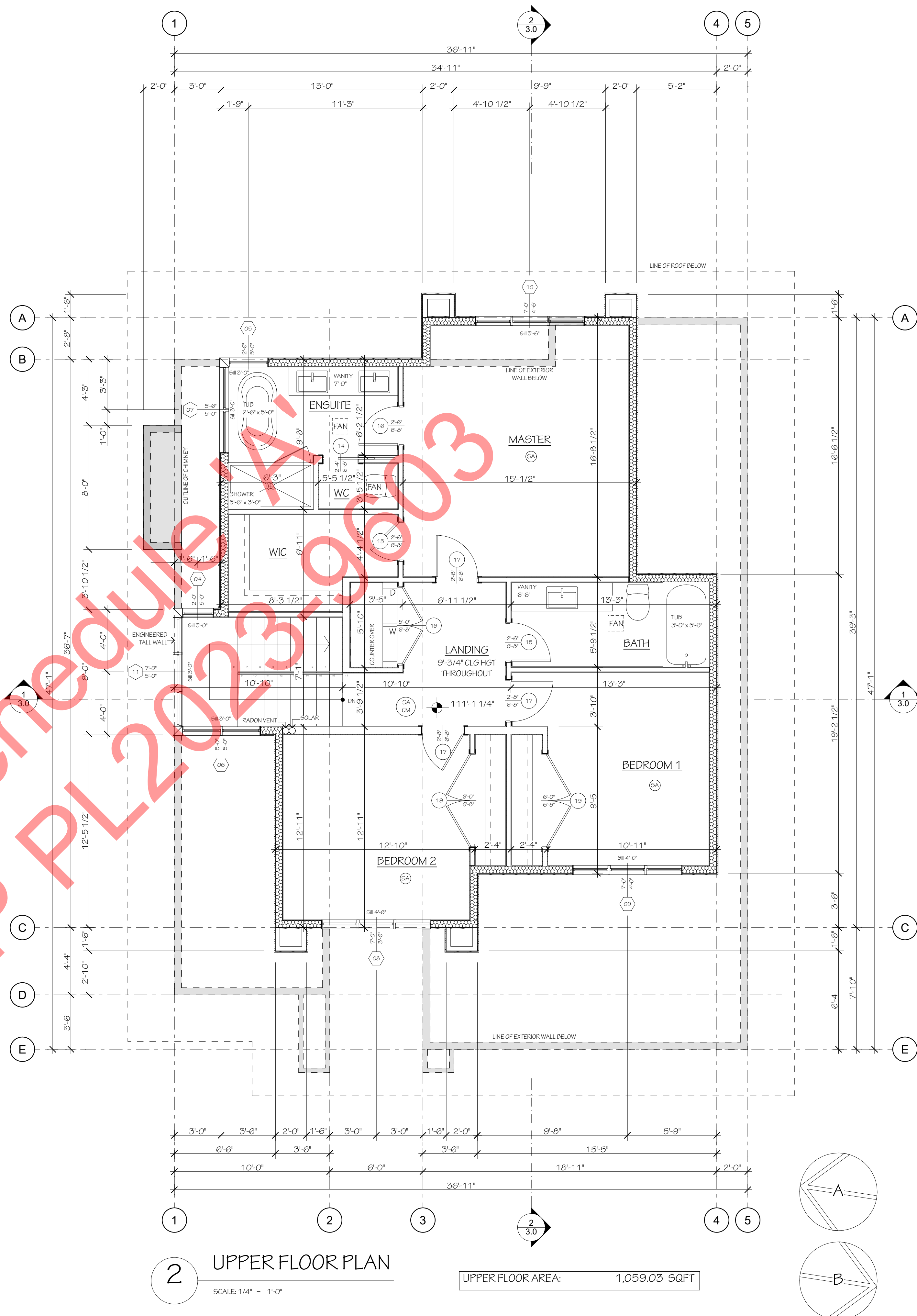
#	DATE	DESCRIPTION
2	07/19/2023	REVISED - TECHNICAL PLANNING COMMITTEE COMMENTS
1	02/17/2023	ISSUED FOR BUILDING PERMIT

MAIN + UPPER FLOOR PLANS

1.1

SHEET 4 OF 9

DRAWN BY: AW REVISIONS BY: CD





GENERAL NOTES

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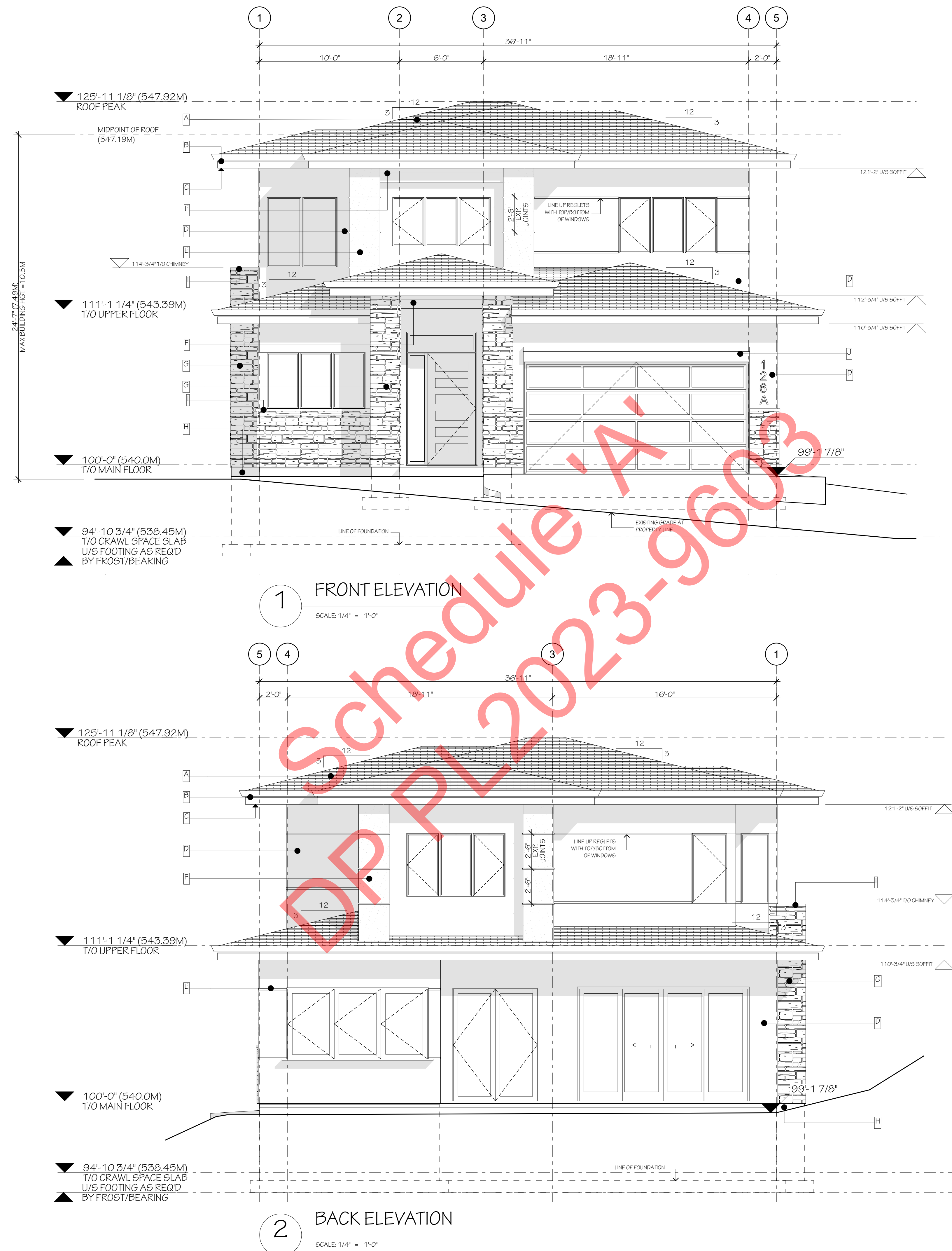
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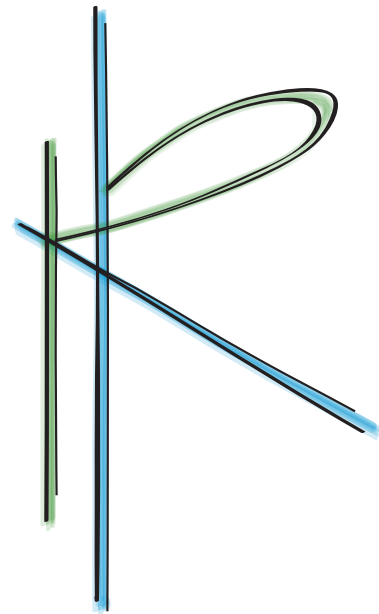
REVISIONS		
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#	DATE	DESCRIPTION

2.0

SHEET 6 OF 9

DRAWN BY: AW REVIEWED BY: CD





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PH: 778.480.0341

126 A/B DEER PLACE
DHILLON - SPEC HOME
DATE: JULY 19, 2023
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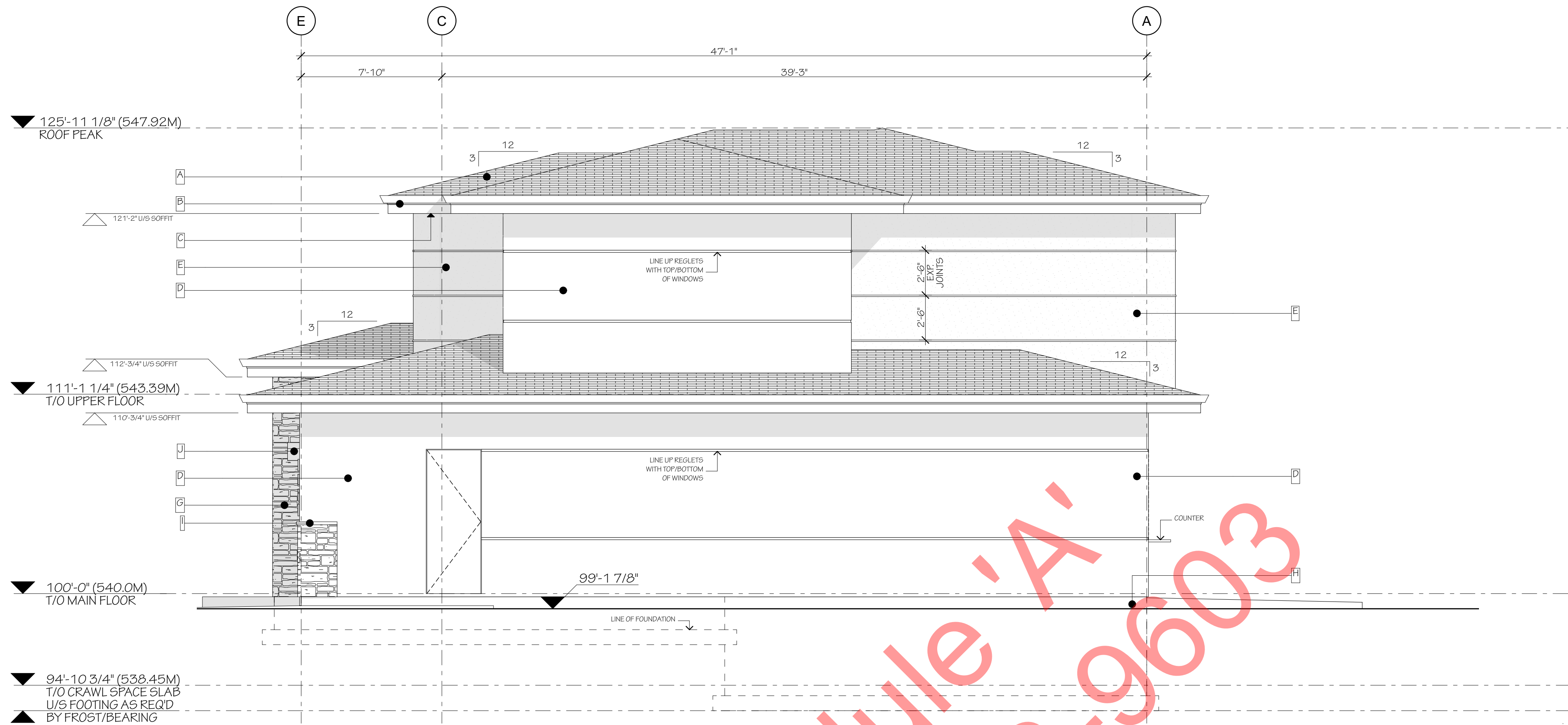
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1	02/17/2023	ISSUED FOR BUILDING PERMIT

ELEVATIONS

2.1

SHEET 7 OF 9

DRAWN BY: AW REVISIONS BY: CD



1 RIGHT ELEVATION
SCALE: 1/4\"/>



2 LEFT ELEVATION
SCALE: 1/4\"/>

Development Variance Permit

Permit Number: DVP PL2023-9638

Owner Name

Owner Address

Conditions of Permit

1. This permit is issued subject to compliance with all of the bylaws of the City, except as specifically varied or supplemented by this Permit.
2. This permit applies to:
 - Legal: Lot 46 District Lot 2710 Similkameen Division Yale District Plan EPP111154
 - Civic: 126 Deer Place
 - PID: 031-461-140
3. This permit has been issued in accordance with Section 498 of the *Local Government Act*, to vary the following sections of Zoning Bylaw 2023-08 to allow for the construction of two single detached dwellings as shown in the plans attached in Schedule 'A':
 - a. Section 10.5.2.9.a: to reduce the rear yard from 6.0 m to 4.5 m.

General Conditions

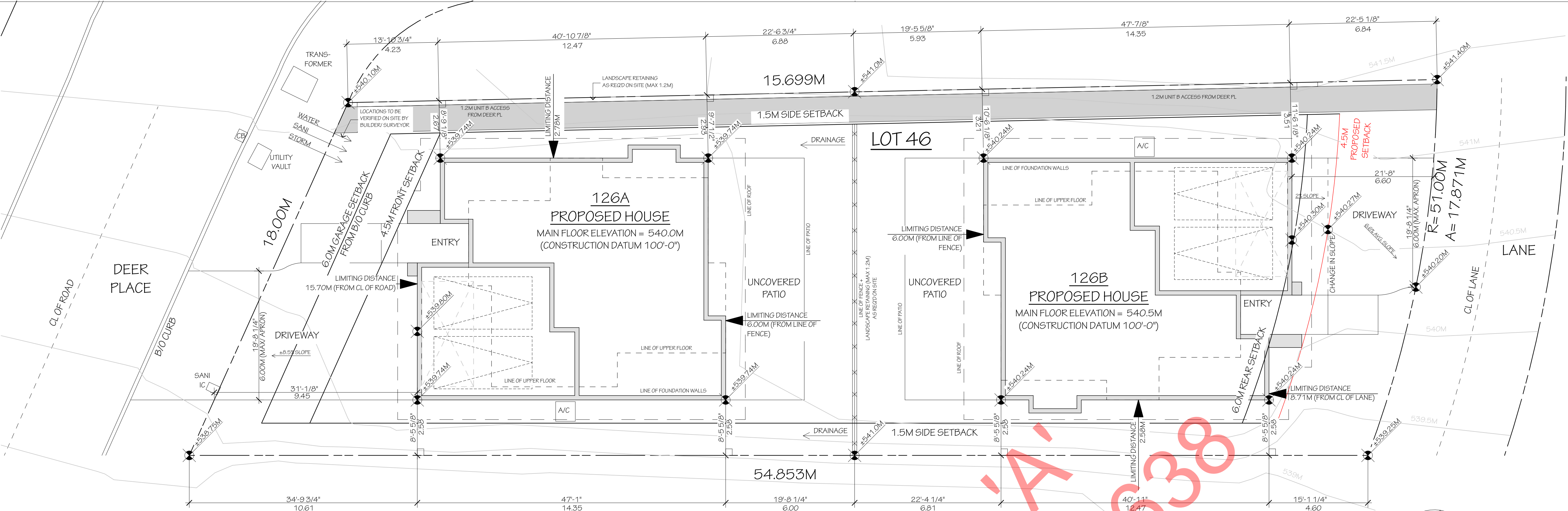
4. In accordance with Section 501 of the *Local Government Act*, the lands subject to this permit shall be developed in general accordance with this permit and the plans attached as Schedule 'A'.
5. In accordance with Section 504 of the *Local Government Act*, if the holder of this permit does not commence the development authorized by this permit within 2 years of the date of this permit, this permit shall lapse.
6. **This permit is not a building permit. In order to proceed with this development, the holder of this permit must hold a valid building permit issued by the Building Inspection Department.**
7. This permit does not constitute any other municipal, provincial or federal approval. The holder of this permit is responsible to obtain any additional municipal, federal, or provincial approvals prior to commencing the development authorized by this permit.
8. This permit does not include off-site infrastructure costs that may be required at the building permit stage, such as Development Cost Charges (DCC's), road improvements and electrical servicing. There may be substantial infrastructure and servicing costs payable at a later date. For more information on servicing and infrastructure requirements please contact the Development Engineering Department at (250) 490-2501. For more information on electrical servicing costs, please contact the Electric Utility at (250) 490-2535.

Authorized by City Council, the 12th day of September, 2023.

Issued this ____ day of September, 2023.

Angela Collison
Corporate Officer

Draft

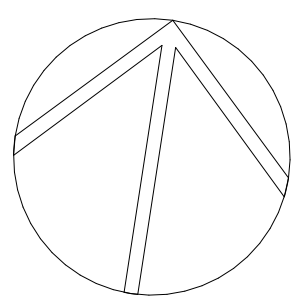


1

SITE PLAN

SCALE: 1:100

THIS SITE PLAN WAS CONSTRUCTED BASED ON INFORMATION PROVIDED TO UPRISE DESIGN AND DRAFTING INC. UPRISE CANNOT TAKE RESPONSIBILITY. AND ALL GEODETIC VALUES AND POSITIONING OF HOUSE MUST BE REVIEWED AND CONFIRMED BY BUILDER AND SURVEYOR BEFORE THE COMMENCEMENT OF CONSTRUCTION.



SITE INFORMATION	
CLIENTS:	DHILLON - SPEC HOME
ZONING DISTRICT:	RD2
LEGAL ADDRESS:	LOT 46 DISTRICT LOT 2710 SIMILKAMEEN DYD PLAN EPP111154
CIVIC ADDRESS:	126A DEER PLACE PENTICTON, BC
ELEVATIONS:	126B DEER PLACE PENTICTON, BC
U/S FOOTING	AS REQ'D BY FROST/BEARING
T/O CRAWL SPACE SLAB	538.45M (94'-10 3/4")
T/O FOUNDATION WALL	539.95M (99'-9 7/8")
T/O GARAGE	539.95M (99'-9 7/8")
T/O MAIN FLOOR	540.00M (100'-0")
T/O UPPER FLOOR	543.39M (111'-1 1/4")
FINISHED GRADE FRONT	539.74M (99'-1 7/8")
FINISHED GRADE BACK	539.74M (99'-1 7/8")
ROOF PEAK	547.92M (125'-11 5/8")
HOUSE AREA:	
MAIN FLOOR	1146.09 SQFT
UPPER FLOOR	1059.03 SQFT
TOTAL LIVABLE SPACE:	2205.12 SQFT
CRAWLSPACE	1132.71 SQFT
GARAGE	461.85 SQFT
PATIO	507.22 SQFT
TOTAL UN-LIVABLE SPACE:	2101.78 SQFT
TOTAL HOUSE AREA:	4306.90 SQFT
LOT:	
AREA	9596.7 SQFT (891.56M ²)
SITE COVERAGE	3326.6 SQFT (309.05M ²)
% LOT COVERAGE	33.17%
LOT DENSITY (FAR) (0.95 MAX)	0.46

GENERAL NOTES:

These notes constitute a part of the drawing package are intended to be understood before commencement of the project.

All construction to comply with BC Building Code 2018 and applicable bylaws.

All work shall be completed as good building practice and be consistent with the standards set out by each trades professional association.

Contractor/BUILDER is responsible for verifying all dimensions and specifications before commencing construction.

Written dimensions take precedence over scaled dimensions.

Dimensions are from the face of stud on the exterior of the building to face of stud on interior partitions.

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The design of this building will require the professional assurances of an Engineer for the Roof System, Floor System, Beams (optional) and Foundation.

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Finished grading of all surfaces are to be designed to slope away from the building.

FOUNDATIONS:

Foundations shall be concrete on solid undisturbed or compacted bearing and below frost line.

Unless otherwise noted the compressive strength of unreinforced concrete after 28 days shall be not less than 15 MPa for walls, columns, fireplaces and chimneys, footings, foundation walls, grade beams and piers, 20 MPa for floors other than those in garages and carports, and for garage and carport floors, and the exterior steps 32 MPa.

Concrete used for garage and carport floors and exterior steps shall have air entrainment of 5 to 8%.

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WOOD FRAMING:

Wood framing members that are not pressure-treated with a wood preservative and that are supported on concrete in contact with the ground or fill shall be separated from the concrete by not less than 0.05 mm polyethylene film or Type 30 mil roofing.

Building frames shall be anchored to the foundation.

All spans to comply with the limits stated in the 2018 BCBC.

Floors, Walls and Trusses to be braced, strapped and bridged for maximum rigidity.

PLUMBING AND ELECTRICAL:

Installation of plumbing and electrical must comply with local and regulations in all aspects.

Outlet locations are to comply with current building code requirements.

No electrical or plumbing fixture or outlet or any service run may be installed in or through fire separation walls between suites.

All locations of drains shown in fixtures are just symbols and should be reviewed with owner and contractor before any installation. Locations of drains are subject to the type of fixture being installed.

HVAC:

Design and sizing of HVAC should be done in consultation with a professional as increased focus is being placed on energy savings and indoor air quality.

Installation of entire heating system, whether electric, forced air or warm water, must comply with manufactures directions and local code and regulations.

Fuel burning appliances, including furnaces, fireplaces and stoves, to be provided with combustion air supply from the exterior.

ROOF:

Except where it can be shown to be unnecessary a space shall be provided between the insulation and the sheathing, and vents shall be installed to permit the transfer of moisture from the space to the exterior.

The unobstructed vent area shall be not less than 1/500 of the insulated ceiling area.

Where the roof slope is less than 1 in 6 or in roofs that are constructed with roof joists, the unobstructed vent area shall be not less than 1/150 of the insulated ceiling area.

Roofs shall be protected with roofing, including flashing, installed to shed rain effectively and prevent water due to ice damming from entering the roof.

All drainage, downspouts, and roof drains to be confirmed by truss supplier and contractor. All roof drains must conform to Part 7 of the BCBC.

Eave protection shall be provided on shingle, shake or tile roofs, extending from the edge of the roof a minimum of 900 mm up the roof slope to a line not less than 300 mm inside the inner face of the exterior wall.

BUILDING ENVELOPE:

All walls, ceilings and floors separating conditioned space from unconditioned space, the exterior air or the ground shall be provided with thermal insulation, a continuous air barrier and a vapour barrier.

Flashing shall be installed at every horizontal junction between cladding elements, every horizontal offset in the cladding, and every horizontal line where the cladding substrates change.

Flash at all unprotected openings.

Sealant shall be provided where required to prevent the entry of water into the structure.

Sealant shall be provided between masonry, siding or stucco and the adjacent door and window frames or trim, including sills, unless such locations are completely protected from the entry of rain.

Sealant shall be provided at vertical joints between different cladding materials unless the joint is suitably lapped or flashed to prevent the entry of rain.

Minimum distance between finished grade and exterior cladding must be 8in.

INSULATION:

Degree Days for Kelowna: 3400 Climate Zone: 5 (3000 to 3999 HDD)

Insulation specifications as required by Energy Report (by others).

FINISHING:

All interior and exterior finishes shall be specified by owner.

Finishing shown on plans shall be confirmed by owner.

Soffits to be stained T&G pine or perforated aluminum on all exterior trusses as noted on plans.

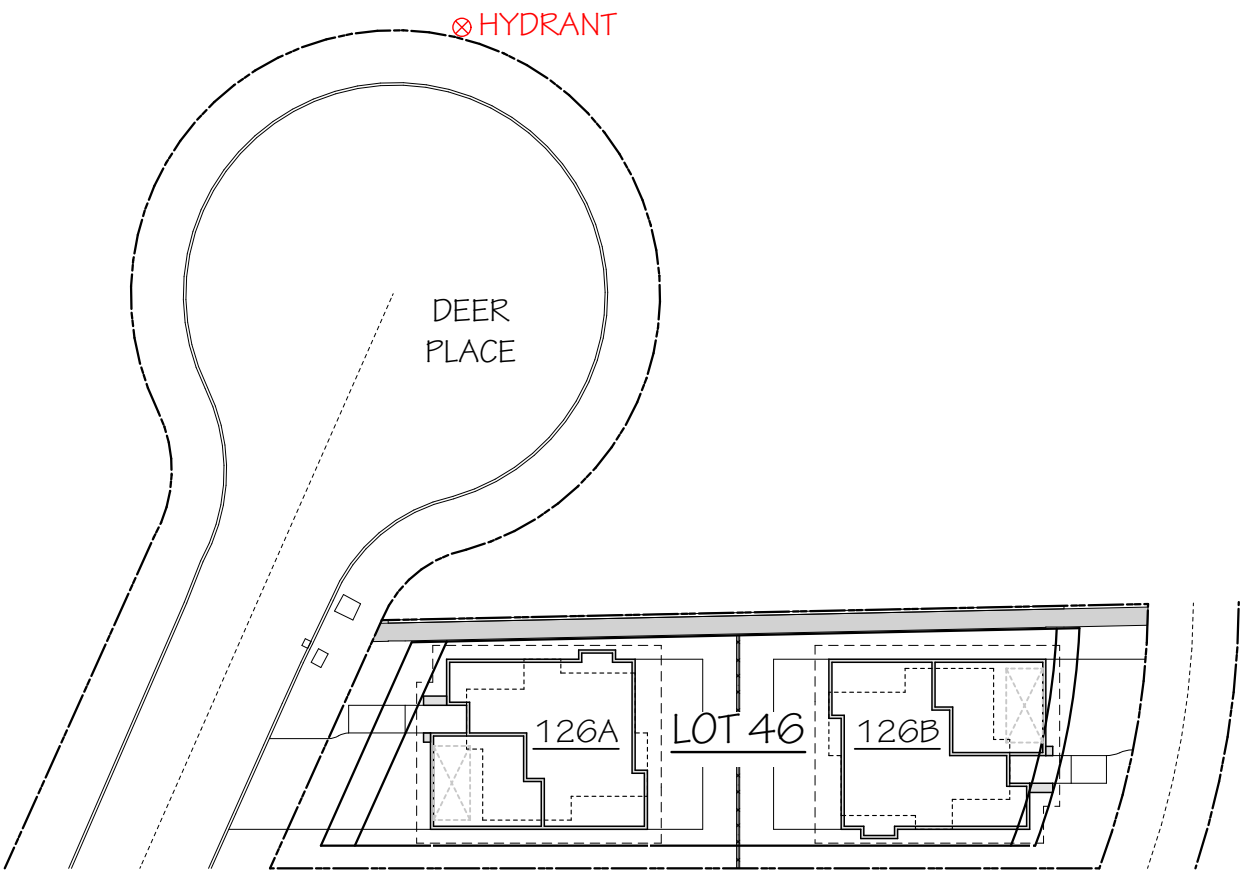
It is recommended that suitable water resistant backer board be used in all high moisture areas.

All doors and windows must meet or exceed 2018 BCBC performance and installation Standards.

Exterior Doors shall be solid core and weather striped. Garage doors to dwelling to be solid core, weather stripped and self closing.

Coat and clothing closets shall have one rod and shelf. Linen closets shall have 5 shelves if possible and broom closets shall have one shelf.

All millwork and cabinets to be determined in consultation with millwork and cabinet suppliers.



4

HYDRANT LOCATION

SCALE: 1:500

EXPOSED BUILDING FACE CALCULATIONS			
FRONT ELEVATION A		FRONT ELEVATION B	
TOTAL EBF = 72.20M ² (777.2 SQFT)		TOTAL EBF = 72.20M ² (777.2 SQFT)	
LIMITING DISTANCE = 15.70M 100% ALLOWED		LIMITING DISTANCE = 8.71M 100% ALLOWED	
AREA ALLOWED: 777.2 SQFT AREA PROVIDED: 235.5 SQFT		AREA ALLOWED: 777.2 SQFT AREA PROVIDED: 235.5 SQFT	
LEFT ELEVATION A		LEFT ELEVATION B	
TOTAL EBF = 92.81M ² (999.0 SQFT)		TOTAL EBF = 92.81M ² (999.0 SQFT)	
LIMITING DISTANCE = 2.78M 12.81% ALLOWED		LIMITING DISTANCE = 2.58M 100% ALLOWED	
AREA ALLOWED: 127.97 SQFT AREA PROVIDED: 112.0 SQFT		AREA ALLOWED: 117.58 SQFT AREA PROVIDED: 112.0 SQFT	
BACK ELEVATION A		BACK ELEVATION B	
TOTAL EBF = 72.20M ² (777.2 SQFT)		TOTAL EBF = 72.20M ² (777.2 SQFT)	
LIMITING DISTANCE = 6.00M 46.88% ALLOWED		LIMITING DISTANCE = 6.00M 100% ALLOWED	
AREA ALLOWED: 361.91 SQFT AREA PROVIDED: 248.0 SQFT		AREA ALLOWED: 361.91 SQFT AREA PROVIDED: 248.0 SQFT	
RIGHT ELEVATION A		RIGHT ELEVATION B	
AREA GLAZING PROVIDED: 0 SQFT		AREA GLAZING PROVIDED: 0 SQFT	
		HOUSE 126B SPRINKLERED TO NFPA 13D	

5

E.B.F.

2

SITE INFORMATION

DVP PL2023-9638

3

GENERAL NOTES

UPRISE HOUSE PLANS

BY UPRISE DESIGN + DRAFTING INC.

#110 - 3121 HILL RD, LAKE COUNTRY, BC

PH: 778.480.0341

126 A/B DEER PLACE

DHILLON - SPEC HOME

DATE: JULY 19, 2023

SCALE: AS NOTED

GENERAL NOTES

1. ALL PLANS AND DIMENSIONS MUST BE REVIEWED BY CONTRACTOR BEFORE CONSTRUCTION AND MUST VERIFY ANY DISCREPANCIES BETWEEN THE DRAWING AND EXISTING CONDITIONS PRIOR TO WORK BEING DONE.

2. CONTRACTOR MUST COMPLY WITH ALL CURRENT BUILDING CODES, BY-LAWS AND REGULATIONS.

3. THESE PLANS ARE FOR A SINGLE PROJECT AND THE COPYRIGHT BELONGS TO UPRISE DESIGN + DRAFTING INC. THE DESIGN MUST NOT BE COPIED AND THESE DRAWINGS MUST NOT BE DUPLICATED BY ANY PERSONS.

REVISIONS

#	DATE	DESCRIPTION
2	07/19/2023	REVISED - TECHNICAL PLANNING COMMITTEE COMMENTS
1	02/17/2023	ISSUED FOR BUILDING PERMIT

SITE PLAN

0.1

SHEET 2 OF 9

DRAWN BY: AW

DESIGNED BY: CD