

As part of the Provincial Government's Housing Action Plan and new legislation (s. 464 of the Local Government Act, effective November 30, 2023), the City is prohibited from holding a Public Hearing for Zoning Amendment Bylaws that facilitate residential development and are consistent with the Official Community Plan. As such, there is no opportunity to speak to Council in person.

A new residential development is being proposed in your neighbourhood:

Property:

200 Abbott Street

Lot 1 District Lot 202 Similkameen Division Yale District Plan 7492

Proposal:

The applicant is proposing to construct a four unit townhouse development on the subject property (Figure 1).

In order to proceed with the proposed development, the applicant has requested to:

- 1) Rezone the property from RD2 (Duplex Housing: Lane) to RD4 (Low Density Cluster Housing).
- 2) Vary the following sections of Zoning Bylaw 2023-08:
 - Section 10.7.2.6: to reduce the front yard from 4.5 m to 3.0 m, and;
 - Section 10.7.2.8: to reduce the exterior yard from 4.5 m to 3.5 m;

Information:

You can find the staff report, Zoning Amendment Bylaw No. 2024-04 and Development Variance Permit PL2023-9683 on the City's website at www.penticton.ca/publicnotice or scan the QR code to the right.

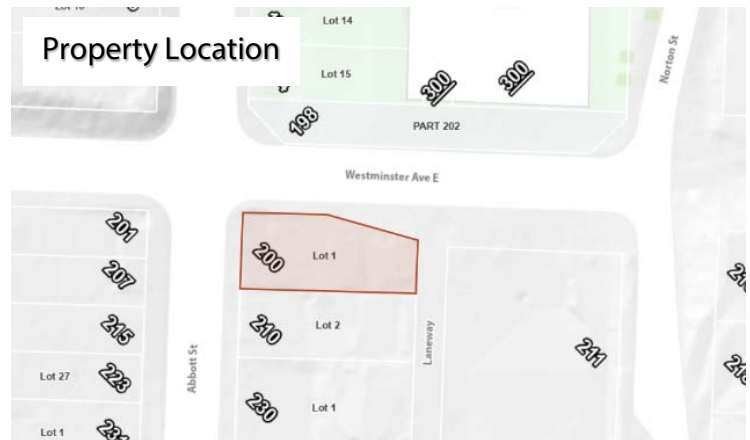


Figure 1 – Rendering of the proposed development

Questions?

Please contact **Jordan Hallam** at 250-490-2429 or jordan.hallam@penticton.ca with any questions.

Council Consideration:

Council will consider giving first reading to Zoning Amendment Bylaw No. 2024-04 at its Regular Council meeting scheduled for **1:00 pm, Tuesday, February 6, 2024** in Council Chambers, Penticton City Hall, 171 Main St.

Consideration of Development Variance Permit PL2023-9683 is subject to adoption of the zoning amendment bylaw. Adoption of the bylaw may occur at a future Council meeting.

All meetings are live streamed via the City's website at: www.penticton.ca/city-hall/city-council/council-meetings. Select the 'Watch Live' button.

Written Submissions:

All submitted comments will be distributed to Council and must be received by mail or email no later than 9:30 am, Tuesday, February 6, 2024, to:

Attention: Corporate Officer, City of Penticton
171 Main Street, Penticton, BC V2A 5A9
Email: corpadmin@penticton.ca

Please note that all correspondence submitted to the City of Penticton in response to this Notice must include your name and address and will form part of the public record and will be published in a meeting agenda when this matter is before the Council or a Committee of Council. The City considers the author's name and address relevant to Council's consideration of this matter and will disclose this personal information. The author's phone number and email address is not relevant and should not be included in the correspondence if the author does not wish this personal information disclosed.

Audrey Tanguay
Planning & Licencing Manager

Date: February 6, 2024
To: Anthony Haddad, City Manager
From: Jordan Hallam, Planner II
Address: 200 Abbott Street
Subject: Zoning Amendment Bylaw No. 2024-04
 Development Permit PL2023-9684
 Development Variance Permit PL2023-9683

File No: RMS/200 Abbott St

Staff Recommendation

THAT Council give first, second, and third reading to "Zoning Amendment Bylaw No. 2024-04", for Lot 1 District Lot 202 Similkameen Division Yale District Plan 7492, located at 200 Abbott Street, a bylaw to rezone the subject property from RD2 (Duplex Housing: Lane) to RD4 (Low Density Cluster Housing);

AND THAT Council, subject to adoption "Zoning Bylaw Amendment Bylaw No. 2024-04", consider "Development Variance Permit PL2023-9683" for Lot 1 District Lot 202 Similkameen Division Yale District Plan 7492, located at 200 Abbott Street, a permit to vary the following sections Zoning Bylaw 2023-08:

- Section 10.7.2.6: to reduce the front yard from 4.5 m to 3.0 m, and;
- Section 10.7.2.8: to reduce the exterior yard from 4.5 m to 3.5 m;

AND THAT Council, subject to adoption of "Zoning Amendment Bylaw No. 2024-04", approve "Development Permit PL2023-9684", for Lot 1 District Lot 202 Similkameen Division Yale District Plan 7492, located at 200 Abbott Street, a permit to approve the form and character of cluster housing (four dwelling unit rowhouse);

AND THAT Council direct staff to issue "Development Permit PL2023-9684";

AND THAT Council require that a 5 m x 5 m corner cut be completed prior to the issuance of the Occupancy Permit.



Figure 1 – Property

Strategic Priority Objective

Livable and Accessible:

Proactively plan for deliberate growth; focused on an inclusive, healthy, safe and desirable place to live.

Proposal

The applicant is proposing to construct a cluster housing (four dwelling unit rowhouse) development on the subject lot (Figure 1). In

order to advance with the development, the applicant has requested to rezone the property from RD2 (Duplex Housing: Lane) to RD4 (Low Density Cluster Housing). Further, the applicant requires variances to reduce the front yard from 4.5 m to 3.0 m, a variance to reduce the exterior yard from 4.5 m to 3.5 m, and a Development Permit approval for the form and character of the buildings, which has been included for Council's consideration.

Background

The subject property is presently zoned R2 (Small Lot Residential) and is designated as 'Infill Residential' (Figure 3) by the Official Community Plan (OCP). The property contains a boarded up single family dwelling.



Figure 2 – Rendering of the proposed development

Land Use	Description	Building Type(s)	Uses	Height / Density	Zone(s)
Infill Residential 	Transitional lower-height residential areas with new housing types compatible with existing single detached houses in character and scale but providing more units per lot.	• Single detached houses with or without secondary suites and/or carriage houses • Duplexes with or without suites • Triplexes • Lower-density rowhouses • Small-scale neighbourhood commercial building (e.g., corner store, coffee shop).	• Residential • Limited retail/service	• 1 to 4 units per single lot • Consolidation of lots possible for lower scale multifamily developments • Generally up to 2 ½ storeys	• R1 • R2 • R3 • RD1 • RD2 • RD3 • C2

Figure 3 – OCP Land Use Designation

The surrounding area features a mixture of uses, including mostly single family dwellings, multifamily, and infill development. The property is within walking distance of downtown, Ellis Street, and close driving distance of Uplands Elementary School. The property's proximity to these amenities makes it suitable for increased density. This area is also well serviced by transit running along Abbott Street.

No Public Hearing

The proposed rezoning aligns with the underlying OCP designation of the City's OCP, therefore the City is prohibited from holding a public hearing as per the *Local Government Act*.

Financial Implication

The applicant is responsible for all development costs, including any service upgrades and the payment of Development Cost Charges (DCC's) to help offset the added demand on City services from the proposed development.

Climate Impact

The development proposes cluster housing (four dwelling units) on the property, increasing density in a core area of the city and is well served by transit and in close proximity to services and employment. The proposed development has a bicycle parking compound for Class 1 bicycle parking spaces, resulting in 4 Class 1 spaces, and 1 Class 2 space. Each dwelling unit is required to provide 1 (4 total) Level 2 Electric Vehicle ready spaces.

These buildings will be required to meet Step 3 of the BC Energy Step Code. Step 3 requires new builds to be at minimum 20% more efficient than standard, with a goal of being Net Zero Ready for new construction by 2032.

Technical Review

This application was reviewed by the City's Technical Planning Committee (TPC). Typical servicing requirements have been identified for the Building Permit stage of the project, if the rezoning, variance permit and development permit applications are supported by Council. These items have been communicated to the applicant. A 5 m x 5 m corner cut on the northwest corner of the property is required.

Development Statistics

The following table outlines the proposed development statistics on the plans submitted with the development application:

	RD4 Zone Requirement	Provided on Plans
Minimum Lot Width*:	19.5 m	15.9 m
Minimum Lot Area*:	540 m ²	534.2 m ²
Maximum Lot Coverage:	40%	39.7%
Maximum Density:	0.8 Floor Area Ratio (FAR)	.78 FAR

Vehicle Parking:	Total Required: 1 per dwelling unit plus 0.25 spaces/unit for visitors	Total Per Dwelling: 4 spaces Total Visitor: 1 spaces
	Total Required: 5 spaces	Total Provided: 5 spaces
Level 2 Electric Vehicle (EV) Ready Chargers:	Total Required: 1 per dwelling unit	Total EV Ready Chargers Provided: 5 chargers
	Total Required: 5 chargers	
Bicycle Parking:	Total Class 1: 0.5 per unit Total Class 1 Required: 2	Total Class 1 Provided: 4 spaces (in bicycle shed)
	Total Class 2: 0.1 per unit Total Class 2 Required: 0	Total Class 2 Provided: 2 spaces
Landscape Buffer (south):	Total Required: Minimum 3.0 m wide and one tree for every 10.0 m buffer area. One shrub for every meter of buffer area.	Total Provided: 3.0 m wide, 4 trees, and 48 shrubs.
	Total Required: Minimum 3.0 m wide, 3 trees, and 36 shrubs.	
Required Setbacks		
Front Yard (Abbott St):	4.5 m	3.0 m – variance requested
Exterior Side Yard (north):	4.5 m	3.5 m – variance requested
Interior Side Yard (south):	3.0 m	3.0 m
Rear Yard (lane):	6.0 m	6.0 m
Maximum Building Height	12 m	9.9 m
Other Information:	*Lot width and lot area are only applicable at the time of subdivision.	

Analysis

Zoning Amendment

The Official Community Plan (OCP) designation for the subject property is 'Infill Residential', which supports transitional lower-height residential areas with new housing types compatible with existing single detached houses in character and scale but providing more units per lot (Figure 3). Single detached houses with or without secondary suites and/or carriage houses, duplexes with or without suites, triplexes, and lower-density rowhouses are some of the building types envisioned in this designation. The applicant is proposing to construct cluster housing (four dwelling unit rowhouse) on the subject property. The development and density proposed on the property are aligned with the vision of properties designated within the 'Infill Residential' designation.

In addition to alignment with the future land use designation, staff consider that the proposed zoning amendment will also allow for a development that is supported through the following OCP Goals and Policies:

OCP Policy 4.1.1.1	Focus new residential development in or adjacent to existing developed areas.
OCP Policy 4.1.3.1	Encourage more intensive “infill” residential development in areas close to the Downtown, to employment, services and shopping, through zoning amendments for housing types compatible with existing neighbourhood character, with form and character guided by Development Permit Area Guidelines.
OCP Policy 4.1.3.5	Ensure through the use of zoning that more-intensive forms of residential development are located close to transit and amenities, such as parks, schools and shopping.
OCP Policy 4.1.4.1	Work with the development community – architects, designers and buildings – to create new residential developments that are attractive, high-quality, energy efficient, appropriately scaled and respectful of their context.
OCP Policy 4.1.5.1	Recognize that some traditionally single-family neighbourhoods will see intensification as the city grows, but ensure that new forms of residential development are compatible with the neighbourhood in scale and design, and are appropriately located (e.g., greater density closer to collector roads, services and amenities).
OCP Policy 4.2.5.2	Encourage land use planning that results in neighbourhoods that can be easily serviced by transit.

Staff consider that the application proposes an appropriately scaled development in an area of the city that has been identified for increased residential density by the OCP. The proposed rezoning to RD4 to allow a total of 4 dwelling units on the property is consistent with the increased density and building forms envisioned by the ‘Infill Residential’ designation.

Staff also wish to acknowledge the recent Province of BC announcements that will require the City of Penticton to update their zoning bylaw by June 30, 2024 to allow for up to 4 units on any single or two family zoned properties and potentially 6 on lots in close proximity to frequent transit. While there are still details to be worked out, the proposed development will likely be permitted by the zoning changes when the changes occur. The applicants made their application prior to these announcements and have indicated a willingness to continue through the zoning process, rather than wait for the larger changes to occur.

Given that there is adequate policy through the OCP to support the proposed development, staff recommend that Council give first, second, and third reading to “Zoning Amendment Bylaw No. 2024-04”.

Development Permit Variance

When considering a variance to a City bylaw, staff encourage Council to consider whether approval of the variance would cause a negative impact on neighbouring properties, and if the variance request is reasonable.

Staff have reviewed the requested variance to reduce the front yard setback from 4.5 m to 3.0 m and are recommending support for the following reason:

1. Parking

The requested variance is to reduce the front yard setback from 4.5 m to 3.0 m. To accommodate four units and the requirement to have five parking spaces (one for visitor), the building had to be pushed toward Abbott St to allow all the parking off the rear lane. Staff consider the request minor and do not anticipate negative impact on the neighboring properties.

Staff have also reviewed the requested variance to reduce the exterior yard setback from 4.5 m to 3.5 m and are recommending support for the following reasons:

1. Unique shape of property

The requested variance is to reduce the exterior yard setback from 4.5 m to 3.5 m. The property has a unique shape in that it is not a rectangle and the northern property line (red outline) is reduced as it goes towards the lane (Figure 4). Staff consider this a hardship as the building had to be reduced in size. Additionally, exterior side yards have greater setback requirements than interior side yards making this proposal more challenging for the applicant. Staff do not anticipate negative impacts on the neighboring properties if the variance is granted.

As such, staff recommend that Council consider approving the Development Variance Permits after adoption of the Zoning Amendment Bylaw.

Support Development Permit

The proposed development is considered within the Multifamily Residential Development Permit Area of the OCP, which is established to enhance neighbourhoods and create sensitive transitions in scale and density by addressing issues such as privacy, landscape retention and neighbourliness. The proposed development has been designed with the OCP design guidelines in mind.

Staff have completed a development permit analysis (Attachment 'D') that shows how the development conforms to the applicable design guidelines. The applicant has also provided an analysis within their letter of intent (Attachment 'E'), which outlines the project and its conformance to the OCP design guidelines.



Figure 4 – Property Shape

As such, staff recommend that Council consider approving the Development Permit after adoption of the Zoning Amendment Bylaw.

Alternate Recommendations

Council may consider that while the zoning amendment is aligned with the OCP by increasing density in a desirable area of the city, the development as proposed does not fit the character of the neighbourhood. If this is the case, Council may choose the alternate recommendation.

- 1. THAT Council deny first, second, and third reading of “Zoning Amendment Bylaw No. 2024-04”.

Attachments

- Attachment A – Zoning Map
- Attachment B – Official Community Plan Map
- Attachment C – Photos of Property
- Attachment D – Development Permit Analysis (staff)
- Attachment E - Letter of Intent and Development Permit Analysis (applicant)
- Attachment F – Draft Development Permit PL2023-9684
- Attachment G – Draft Development Variance Permit PL2023-9683
- Attachment H – Zoning Amendment Bylaw No. 2024-04

Respectfully submitted,

Jordan Hallam
Planner II

Concurrence

Director of Development Services	GM of Infrastructure	City Manager
<i>BL</i>		

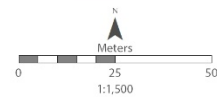


200 Abbott St Zoning Map



Legend

- | | | |
|---|--|--|
| Subject Parcel | RD1 - Duplex Housing | RM3 - Medium Density Multiple Housing |
| RD2 - Duplex Housing: Lane | RM4 - High Density Multiple Housing | |
| RD3 - Residential Infill | C5 - Urban Centre Commercial | |
| RM2 - Low Density Multiple Housing | P2 - Parks and Recreation | |



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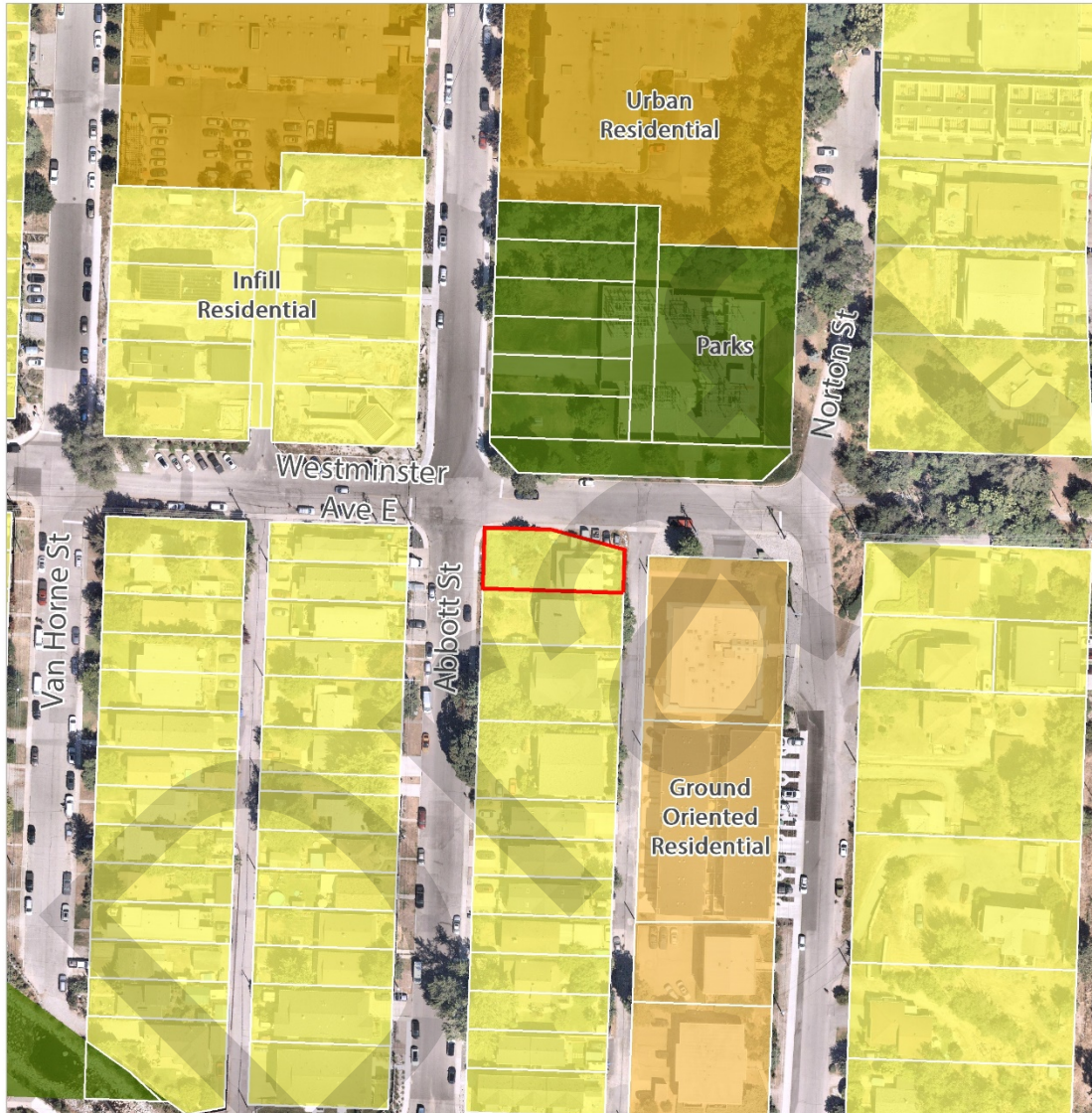
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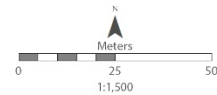
200 Abbott St

OCP Map



Legend

- Subject Parcel
- Ground Oriented Residential
- Urban Residential
- Parks
- Infill Residential



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Attachment C – Photos of Property





The proposed development is located within the Multifamily Residential Development Permit Area. The following analysis demonstrates how the proposal is aligned with the applicable design guidelines.

- Guideline G1 Applications shall include a comprehensive site plan – considering adjacent context for building and landscape architectural design and neighbourhood character analysis - to demonstrate that the development is sensitive to and integrated within its context and surrounding uses and neighbours.*
- The applicant has labelled geodetic elevations on the site plan, to show they have reviewed the topography of the property, which is relatively flat.
- Guideline G5 Siting of buildings should support strong street definition by minimizing front yard setbacks while sensitively transitioning to neighbouring building setbacks.*
- The applicant has located the proposed building at 3.0 m from the front yard with a variance, the minimum required is a 4.5 m front yard setback, which helps to maintain a connection with the street. They have proposed a front door on the unit closest to Abbott Street that faces the street to add a pedestrian scale to the development.
 - The subject property is a corner lot, with the side units facing Westminster Ave E, which helps to maintain a connection with the street.
- Guideline G7 All designs shall consider Crime Prevention Through Environmental Design (CPTED) principles and balance the reduction of crime and nuisance opportunities with other objectives to maximize the enjoyment of the built environment.*
- The proposed front yard fencing is limited to 1.2m (4ft.) in height, which is aligned with the Zoning Bylaw requirements and also helps to retain 'eyes on the street' by keeping sightlines open from private property to the public streetscape.
- Guideline G11 Barrier-free pedestrian walkways to primary building entrances must be provided from municipal sidewalks, parking areas, storage, garbage and amenity areas.*
- Abbott Street to the west side of the development, and Westminster Ave E to the north provides pedestrian access to the development.
 - The proposed development has a sidewalk access from Abbott St and Westminster Ave E to allow barrier-free pedestrian access to all building unit entrances.
- Guideline G21 Orientation of buildings should face public spaces (e.g., street and lane) with a preference for ground-oriented types (e.g., a front door for everyone or every business).*
- The proposed development provides private outdoor amenity area to the south behind each dwelling unit.
 - Each dwelling unit has a front door for access from either Abbott St or Westminster Ave E, and the rear lane.
- Guideline G33 Water Conservation and Plant Maintenance: Xeriscaping, Irrigation & Mulching*
- The proposed development includes a landscaping plan that provides adequate and appropriate designs.
 - The plans indicate a fully automatic underground irrigation system, which helps to reduce overwatering and utilizes a drip system.
- Guideline G35 Tree planting...*

- Trees and shrubs have been provided at the front of the property as well along the north, and south property lines with the landscape buffer.

Guideline MF1 All multifamily developments should incorporate community amenity spaces that provide opportunity for recreation and play and address the needs of all age groups likely to reside within the development.

- The proposed development includes approximately 28.0 m² of outdoor grass amenity space for each unit. Each amenity space is separated by a fence to allow privacy for every unit.

Guideline MF3 Amenity spaces should incorporate vegetation for the purposes of active and passive recreation and/or visual interest, and incorporate safe play areas in interior court yards.

- The proposed development has a tree proposed in the yard for each unit and multiple shrubs. This creates visual interest for the residents or tenants living in the units, and provides area of shade during the summer months.

Guideline MF4 Visitor parking should be:

- *In public view,*
- *Easily accessible near the main entry to the site, and*
- *Clearly indicated by pavements markings and/or signs*
- The proposed development has one visitor parking space off the lane.
- The visitor parking space is in good public view from the lane for drivers who come to visit residents or tenants of the proposed development.



November 28, 2023

Giroux Design Group Inc.

City of Penticton
171 Main Street
Penticton BC, V2A 5A9

Re: 200 Abbott Street Rezoning and Development Permit Application

To City of Penticton Planning Department,

This letter is regarding the proposal to rezone and develop the property located at 200 Abbott Street from RD2 Duplex Housing: Lane to RD4 Low Density Cluster Housing. The OCP for the property is Infill Residential which allows for a four unit townhouse development.

The development will provide 4 townhouse units, each with 3 bedrooms. The area of town is suitable for a development such as this as there are a number of new infill developments. It is close to downtown and trails and will be suitable for a wide demographic of the population. The townhouses are a mix of two and three storey units and the building has been designed to follow the contour of the property and maintain the existing rock retaining wall along the south and west property lines. The lot has an irregular shape that necessitates three variances to the required setbacks. The first is to the side exterior setback facing Westminster Ave from 4.5 meters to 3.5 meters. The City planning department was consulted about this variance before planning of the units began to confirm whether it was reasonable. The city boulevard is very large where the setback is requested and will not create any issues to the community. A second setback reduction is required from the northwest corner of the property. The City website indicated a 1.5 meter corner cut was required, however after the application was made this changed to a 5.0 meter corner cut which is significant. Because of this large corner cut another variance is required to reduce the setback from the corner cut from 4.5 m to 1.8 m. We feel this is a reasonable request as the corner cut creates a hardship to the development. A third setback is required for the front yard setback from 4.5 m to 3.0 m, this is needed as the original submission was for RM2 zoning which requires a 3.0 m front yard, after discussion with the planning department the application was changed to RD4 zoning and this variance became necessary.

We believe the project meets the intent of providing modest densification to an area of town that has a mix of single family homes, townhouses and high-density apartment buildings. In contrast to nearby apartment buildings, this development will provide much needed family housing in the area with private outdoor green areas and amenity space for families with children.

Thank you for considering our proposal.

Best regards,

Tony Giroux **ASTTBC, CTech, RBD, BCABD**
Owner/Registered Building Designer
Giroux Design Group Inc.

200 ABBOTT STREET: DEVELOPMENT PERMIT ANALYSIS

Site Planning

Designing in Context

Contextual designs feel better because they 'fit.' In light of Penticton's complex and unique landscape, views and urban patterns, it is important that designs reflect this character. Guidelines address site conditions and context, including: sensitivity to on-site features (e.g., terrain and sun angle), adjacencies (e.g., street interface and existing uses), potential impacts (e.g., overlook and shading) and other related opportunities (e.g., energy conservation).

G1. Prior to site design, analysis shall be undertaken to identify significant on-site and off-site opportunities and constraints, including built and natural elements (e.g., structures, slopes and drainage, significant landscape features, etc.)

The City Planning Department was consulted early on in the planning stages while considering options and variances for the project. The slope of the lot, the easement on the south property line, and the wedge shape of the lot pose challenges to development that were considered in this proposal.

G3. Private and semi-private open spaces should be designed to optimize solar access (see Figure G3).

Each unit has a private yard with morning and afternoon sun allowing all residents to enjoy a period of sun and shade each day in an outside environment. A common amenity space at the north east corner of the property also has exposure to the sun throughout the day. The building is located on a corner lot which allows for solar access to North side of the units.

G4. Views through to the mountains and the lakes should be carefully considered and incorporated into the design of new development.

The units have a view primarily facing north towards Okanagan Lake.

Framing Space

In consideration of Penticton's relatively low-scale urban form, future intensification and development should explore how buildings actively frame space(s) as a means to expand and enhance the public realm. The following guidelines aim to promote positive interactions with particular care and attention to transitions between private and public spaces.

G5. Siting of buildings should support strong street definition by minimizing front yard setbacks while sensitively transitioning to neighbouring building setbacks.

The existing buildings on the street are varied in the setbacks from Abbott. The front setback for the proposed development is similar to the setbacks for the newer developments at 248, 256, 262, 290 Abbott Street and 323 Nanaimo Ave E. The proposed 3.0 m setback allows for easy pedestrian access to the building. The Westminster Ave. building face is setback further than the duplex at 201 Westminster Ave., the property at 211 Westminster Ave is offset to the south.

G7. All designs shall consider Crime Prevention Through Environmental Design (CPTED) principles and balance the reduction of crime and nuisance opportunities with other objectives to maximize the enjoyment of the built environment.

Parking spaces for each unit are visible from the respective units. Each unit will have its own gated private yard for additional protected outdoor space. The common area at the northeast corner of the property is open to view and the landscaping on the property does not leave areas for concealed illicit activity. A gated and locked bicycle compound is provided.

Prioritizing Pedestrians

A high-quality pedestrian environment is a central quality of any welcoming neighbourhood. Penticton is fortunate to have an extensive neighbourhood street network that links distinct areas in a reasonable walking distance. The following guidelines aim to optimize the quality and connectivity of pedestrian infrastructure and reduce conflict between pedestrians and vehicles.

G9. Pedestrian connectivity to adjacent properties is encouraged. With the exception of private yards, open spaces shall be designed for public access and connectivity to adjacent public areas (and publicly-accessible private spaces).

The development is within walking distance to the downtown core, and easily accessible to the KVR trail and Penticton Creek trail. Okanagan Lake Park and the Art Gallery are approximately 6 blocks away from the development.

G12. Where feasible, indicate pedestrian ways with continuity of paving treatments/paving materials.

1.2 m wide sidewalks provides access to the units from the City sidewalk that runs along the west and north property lines.

G13. Entry to ground-level residential units should be no more than 1.8m (6.0 ft.) above the grade of adjacent public sidewalks and walkways (see Figure G14).

Entrance to the units are level with the City sidewalk.

Cars and Parking

The following guidelines are intended to reduce the impacts of automobile infrastructure – including access and parking – and to further support a high quality pedestrian realm. (see Figure 5-3 and Figure 5.4)

G16. Site and building access must prioritize pedestrian movement, minimize conflict between various modes of transportation and optimize use of space:

- Off-street parking and servicing access should be provided from the rear lane (where one exists) to free the street for uninterrupted pedestrian circulation and boulevard landscaping (see Figure 5-4).
- Where possible, shared automobile accesses should be considered to optimize land use, and to reduce impermeable surface coverage and sidewalk crossings.

Outdoor parking is provided for the units with 3 spaces accessed from Westminster Ave and two spaces from the lane. The spaces accessed from Westminster Ave are separated by at least 1.0 m.

G17. On-site parking location and design should minimize visual impact and provide safe connections for pedestrians:

- Parking between the front of buildings and the street is not permitted.
- Parking should be located at the rear of buildings/sites.
- Shared parking (where varying uses have parking demands that peak at different times of the day) is encouraged to reduce parking requirements.
- Outdoor surface parking areas should incorporate pathways that provide safe, accessible and comfortable pedestrian connections to entries/destinations.

Parking is easily accessible to each unit with landscaping and walkways along and between the spaces along Westminster Ave. There is no parking in the front yard of the development.

Architecture

Design for Our Climate

In response to Penticton's semi-arid climate, design buildings and landscape architecture that reflect a love for indoor/outdoor living resulting from low annual rainfall and hot summer temperatures.

G20. Designs should respond to Penticton's setting and climate through use of:

- passive solar strategies;
- optimized placement of windows to maximize natural light;
- energy-efficient building design;
- passive solar principles;
- landscape design and plantings that provide cooling through shade in summer months;
- selecting roof materials to minimize heat loading and increase reflectivity.; and,
- strategies for cross-ventilation.

The units have windows facing both north and south, allowing for solar gain throughout the year. Each unit has its own private yard giving the option for indoor/outdoor living. Some of the new trees are deciduous providing shade in the summer and sun in the winter. Windows are openable on the north and south facades of the building allowing for cross ventilation. Buildings are designed to Step 3 of the Energy Code.

Friendly Faces, Friendly Neighbours (Orientation & Massing)

Massing (the three-dimensional form) and articulation (how the parts fit together) of architecture are tools that can reduce the apparent size of large buildings and help ensure the sensitive transition to adjacent buildings and open spaces. It can also provide visual interest for pedestrians. New development should consider the scale of its neighbours and avoid abrupt transitions in height and massing between adjacent buildings.

G21. Orientation of buildings should face public spaces (e.g., street and lane) with a preference for ground-oriented types (e.g., a front door for everyone or every business).

The end unit to the west of the development is oriented with the front door and additional windows facing Abbott Street with landscaping in the front yard and City boulevard.

G23. Articulation of building mass should include horizontal (minor) setbacks and stepbacks (along upper storeys) to provide visual interest and enrich the pedestrian experience. Balconies and/or cantilevered upper floors may be considered as a means to breaking up massing while promoting overlook and/or weather protection.

On all sides of the buildings cantilevered projections, porches, and varied cladding materials breakup the mass of the building giving the buildings visual interest on all sides. Cantilevered projections over the drive aisle help add more visual interest and provide more living space per unit. The building is designed to follow the contour of the sloping lot to reduce the visual impact.

Eyes on the Street

Create active and safe shared spaces through orientation of primary building entrances, windows, porches/ balconies to the public realm, sidewalks and other shared open spaces.

G28. Entries should be visible and clearly identifiable from the fronting public street.

The entrances to each townhouse unit is at ground level, with a driveway for vehicle access in front of each respective unit. Sidewalks are provided between the street and the building entrances. A public sidewalk runs along the west and north property lines.

G29. Development should orient windows, porches, balconies and patios toward the public realm, allowing for casual overlook of parks, open spaces, and parking areas (see Figure 5-7).

Windows on all levels of the street facing units provide for visual overlook onto Abbott Street, Westminster Ave, the lane and the public realm.

Landscape Architecture

Enhance the Urban Forest

Urban forests are recognized for the economic, social, and environmental benefits they provide. In addition to considerations for form & character, enhancement of Penticton's urban forest will support health and well-being for all.

G35. Tree planting

- Where space permits, landscaped areas, boulevards and setback areas adjacent to streets should be planted with trees with appropriate soil volumes to ensure longevity.
- All areas with planted trees must be irrigated
- All development fronting a public street shall plant a landscaped area fronting the public road with regularly spaced street trees no further than 10 metres apart, and at least 2.5 meters tall at the time of planting.
- The planting of additional trees is strongly encouraged, particularly if existing trees cannot be preserved, in order to maintain and expand the urban forest canopy.

9 new trees are included in the landscape plan with a mix of deciduous and coniferous trees. These trees and other proposed landscaping provide buffering between the public realm and adjacent properties.

Utilities, Mechanical Services and Servicing

As essential components of the city's built infrastructure, these elements must be intentionally integrated in the overall design to mitigate impacts on form and character.

G54/55. Mechanical/Utility cabinets and transformer pads (units) shall be located at the rear of the property, behind the building. Where this is unachievable, units may be located at the edge of the front yard and must be incorporated into landscaped areas and screened from the street.

Electrical transformer is placed in the front yard and wrapped with vinyl decorative wrap with a 1.2 m fence screen to the east. The water meters are placed in the side exterior yard in the front northwest corner of the property behind a 1.8 m high privacy fence, also wrapped in decorative vinyl wrap.

G58. Garbage/recycling areas and other similar structures should be located out of public view in areas that mitigate noise impacts and which do not conflict with pedestrian traffic.

Garbage and recycling bins are placed on a concrete apron on the southeast corner of the property. Bins will be moved to the edge of the driveways on collection days.

G59. Garbage and recycling bins should be contained within screened enclosures that are coordinated with the overall design.

A 6' high wood fence with a locked gate is located at the south west corner of the property to house the garbage and recycling bins. The fence screen will be of the same material as the privacy fencing to fit into the landscape theme.

G60. Clear access to refuse/recycling areas must be provided.

The compound will be locked with each unit having a key for access.

Fences

Notwithstanding the fencing regulations in the Zoning Bylaw, fencing design should provide a level of privacy to the development but not present an unfriendly solid wall to the public street.

G63. All plans should show intended fencing.

Fencing is shown on landscape plans. Fencing along the east, west and south property lines is 6' tall wood privacy fence with the exception that the fence is 4' high in the front yard. There is no fence on the front (north) property line. There are 6' fences between each private yard in the side setbacks.

MF1. All multifamily developments should incorporate community amenity spaces that provide opportunity for recreation and play and address the needs of all age groups likely to reside within the development.

Amenity space is provided with each unit having it's own private fenced yard. In addition to the private amenity space there is a common amenity area at the northeast corner of the property with landscaping and a lawn suitable for play or relaxing. The development is located within walking distance to trails and parks.

MF3. Amenity spaces should incorporate vegetation for the purposes of active and passive recreation and/or visual interest, and incorporate safe play areas in interior courtyards.

The fenced private yards each have a landscaped section placed to maximize the usefulness of the yard as a play area for children or pets, or for outdoor enjoyment for all age groups. Two of the rear yards have tiered levels to follow the contour of the property and work with the easement restrictions on the south property line. The landscaping is a mixture of ornamental grasses that are variant in shape, size, and colour. A mixture of evergreen and deciduous trees creates visual interest year round.

MF4. Visitor parking should be:

- in public view,
- easily accessible near the main entry to the site, and
- clearly indicated by pavement markings and/or signs

Visitor parking is located at the rear of the property and accessible to all units. This space will be clearly marked for visitors. Directly across the street on Westminster Ave is an electrical transformer station, additional street parking is available along this property if needed.

Development Permit

Permit Number: DP PL2023-9684

Owner Name
Owner Address

Conditions of Permit

1. This permit is issued subject to compliance with all of the bylaws of the City, except as specifically varied or supplemented by this Permit.
2. This permit applies to:
 - Legal: Lot 1 District Lot 202 Similkameen Division Yale District Plan 7492
 - Civic: 200 Abbott Street
 - PID: 009-985-280
3. This permit has been issued in accordance with Section 489 of the *Local Government Act*, to permit the construction of cluster housing (four dwelling units) as shown in the plans attached in Schedule 'A'.
4. In accordance with Section 502 of the *Local Government Act* a deposit or irrevocable letter of credit, in the amount of \$_____ must be deposited prior to, or in conjunction with, an application for a building permit for the development authorized by this permit. The City may apply all or part of the above-noted security in accordance with Section 502 of the *Local Government Act*, to undertake works or other activities required to:
 - a. correct an unsafe condition that has resulted from a contravention of this permit,
 - b. satisfy the landscaping requirements of this permit as shown in Schedule 'A' or otherwise required by this permit, or
 - c. repair damage to the natural environment that has resulted from a contravention of this permit.
5. The holder of this permit shall be eligible for a refund of the security described under Condition 4 only if:
 - a. The permit has lapsed as described under Condition 8, or
 - b. A completion certificate has been issued by the Building Inspection Department and the Director of Development Services is satisfied that the conditions of this permit have been met.
6. Upon completion of the development authorized by this permit, an application for release of securities (Landscape Inspection & Refund Request) must be submitted to the Planning Department. Staff may carry out inspections of the development to ensure the conditions of this permit have been met. Inspection fees may be withheld from the security in accordance with the City of Penticton Fees and Charges Bylaw (as amended from time to time).

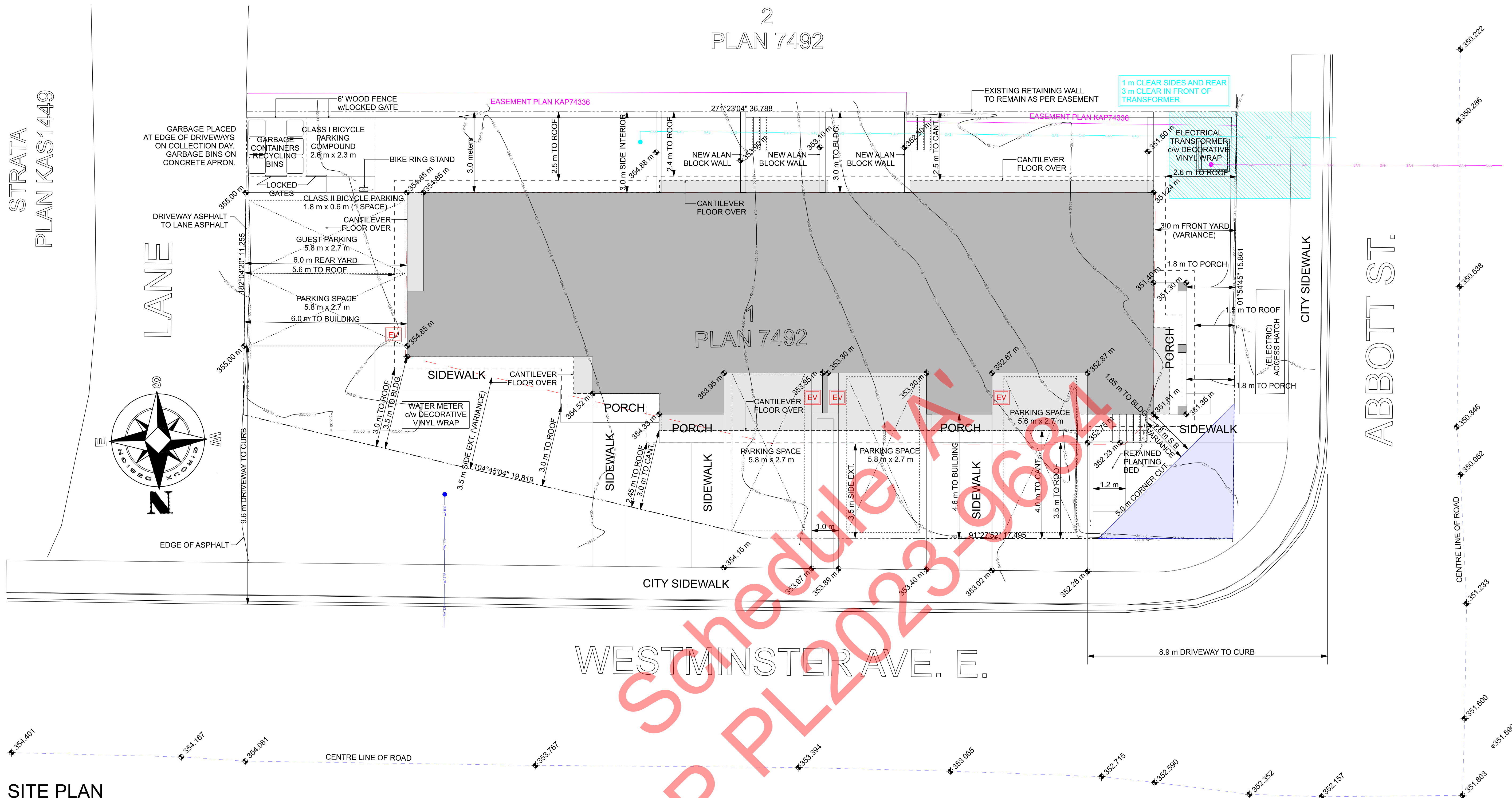
General Conditions

7. In accordance with Section 501(2) of the *Local Government Act*, the lands subject to this permit shall be developed in general accordance with this permit and the plans attached as Schedule 'A'.
8. In accordance with Section 504 of the *Local Government Act*, if the holder of this permit does not commence the development authorized by this permit within 2 years of the date of this permit, this permit shall lapse.
9. **This permit is not a building permit. In order to proceed with this development, the holder of this permit must hold a valid building permit issued by the Building Inspection Department.**
10. This permit does not constitute any other municipal, provincial or federal approval. The holder of this permit is responsible to obtain any additional municipal, federal, or provincial approvals prior to commencing the development authorized by this permit.
11. This permit does not include off-site infrastructure costs that may be required at the building permit stage, such as Development Cost Charges (DCC's), road improvements and electrical servicing. There may be substantial infrastructure and servicing costs payable at a later date. For more information on servicing and infrastructure requirements please contact the Development Engineering Department at (250) 490-2501. For more information on electrical servicing costs, please contact the Electric Utility at (250) 490-2535.

Authorized by City Council, the 6th day of February, 2024.

Issued this ____ day of February, 2024.

Angela Collison
Corporate Officer



SITE PLAN

SCALE: 1:75

CIVIC ADDRESS: 200 ABBOTT STREET, PENTICTON, BC
LEGAL DESCRIPTION: LOT 1 DISTRICT LOT 202 SIMILKAMEEN DIVISION YALE DISTRICT PLAN 7492
PID: 009-985-280

ELECTRIC VEHICLE READY REQUIREMENTS
IN ACCORDANCE WITH ZONING BYLAW NO. 2023-08

TO ENSURE NEW HOMES ARE BUILT WITH READY ACCESS
TO A POWER SUPPLY CAPABLE OF PROVIDING LEVEL 2 EV
CHARGING, THE FOLLOWING REQUIREMENTS MUST BE MET:

- MINIMUM NUMBER OF ENERGIZED OUTLETS FOR LEVEL 2 CHARGING: 1 PER DWELLING UNIT.
- CONSTRUCTION REQUIREMENTS THAT INCLUDE: ELECTRICAL PANEL CAPACITY, WIRING, AND CONTINUOUS CONDUIT OR RACEWAY (AS APPLICABLE) FROM THE PANEL, TERMINATION AT AN ELECTRICAL PANEL, AND THE DESIGNATED EV PARKING SPACE(S). ADDITIONAL ELECTRICAL AND EV CHARGING INFRASTRUCTURE IS REQUIRED TO ENERGIZE THE CIRCUIT AND TO SUPPLY POWER TO FUTURE LEVEL 2 EVSE AND EVMS (IF APPLICABLE).
- A POINT CONNECTED TO A SOURCE OF VOLTAGE IN AN ELECTRICAL WIRING INSTALLATION AT WHICH CURRENT IS TAKEN AND CAN BE CONNECTED TO SUPPLY UTILIZATION EQUIPMENT. AN OUTLET WHEN COVERED
- TERMINATION BOX, NEMA 3B 50K RECEPTACLE, OR NEMA 6-50 RECEPTACLE. ADDITIONAL TERMINATION MEANS MAY BE APPROVED BY THE CITY OF PENTICTON ELECTRIC UTILITY MANAGER.
- ELECTRIC VEHICLE CHARGING AT 208 V OR 240 V THROUGH SUPPLY UTILIZATION EQUIPMENT THAT MEETS THE DEFINITION OF LEVEL 2 BY THE CITY OF PENTICTON ELECTRIC UTILITY MANAGER.
- VEHICLE AND PLUG IN HYBRID ELECTRIC VEHICLE CONDUCTIVE CHARGE COUPLER", J1772.

ZONING COMPLIANCE TABLE (PROPOSED ZONING RD4)			
REGULATION	REQUIRED/CURRENT	PROPOSED/PROVIDDED	VARIANCE REQUIRED
OCP DESIGNATION	INFILL RESIDENTIAL	INFILL RESIDENTIAL	NO
ZONING	RD2	RD4	YES
LOT AREA (SUBDIVISION ONLY)	540 m2	538.83 m2	N/A
MINIMUM LOT WIDTH (SUBDIVISION ONLY)	18.0 m	15.81 m	N/A
MAXIMUM LOT COVERAGE	40%	40% (215 m2)	NO
MAXIMUM DENSITY	0.80 FAR	0.80 FAR (430.4 m2)	NO
MAXIMUM HEIGHT	12 m	8.8 m	NO
MINIMUM FRONT YARD	4.5 m	3.0 m	YES
MINIMUM INTERIOR SIDE YARD	3.0 m	3.0 m	NO
MINIMUM EXTERIOR SIDE YARD	4.5 m	3.0 m	YES
MINIMUM REAR YARD	6.0 m	6.0 m	NO
PARKING SPACES (1 PER UNIT+0.25 GUEST)	5	5	NO
BICYCLE PARKING (CLASS I/CLASS II)	2/1	2/1	NO
AMENITY AREA (20 m2 PER UNIT)	80 m2	132 m2	NO

AMENITY SPACE
AMENITY SPACE SHALL BE PROVIDED AT THE RATE OF 20 M2 FOR EACH DWELLING UNIT.
25% OF THE REQUIRED AMENITY SPACE MUST BE PROVIDED AT THE GROUND FLOOR LEVEL.
A MAXIMUM OF 20% OF THE TOTAL REQUIRED AMENITY SPACE MAY BE PROVIDED AS AMENITY SPACE, INDOOR

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Site Plan



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PLAN NO.
WP-5804

SLAB

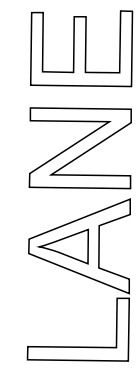
SHEET NO.
A1

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ANIL MEGHJANI
200 ABBOTT STREET
PENTICTON, BC

DESIGN BY: AJG
DRAWN BY: AJG



DRIVEWAY ASPHALT TO EXTEND TO STREET AND LANE ASPHALT.

Due to local codes, regulations and building practices and/or because of specific site conditions, these drawings may not be suitable or legal for use in the construction of a building in all localities. Consequently, these drawings are not to be used as a guide for construction unless the builder has confirmed their suitability and until the drawings have been brought into conformity with all local requirements. Additionally, Growth Design Group is unable to accept any liability for the accuracy or omissions. The drawings are drawings in the form of original drawings price. The owner hereby releases and holds Growth Design Group and its original drawings and drawings and assume responsibility for the same.

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Landscape Plan



Main Floor Plan



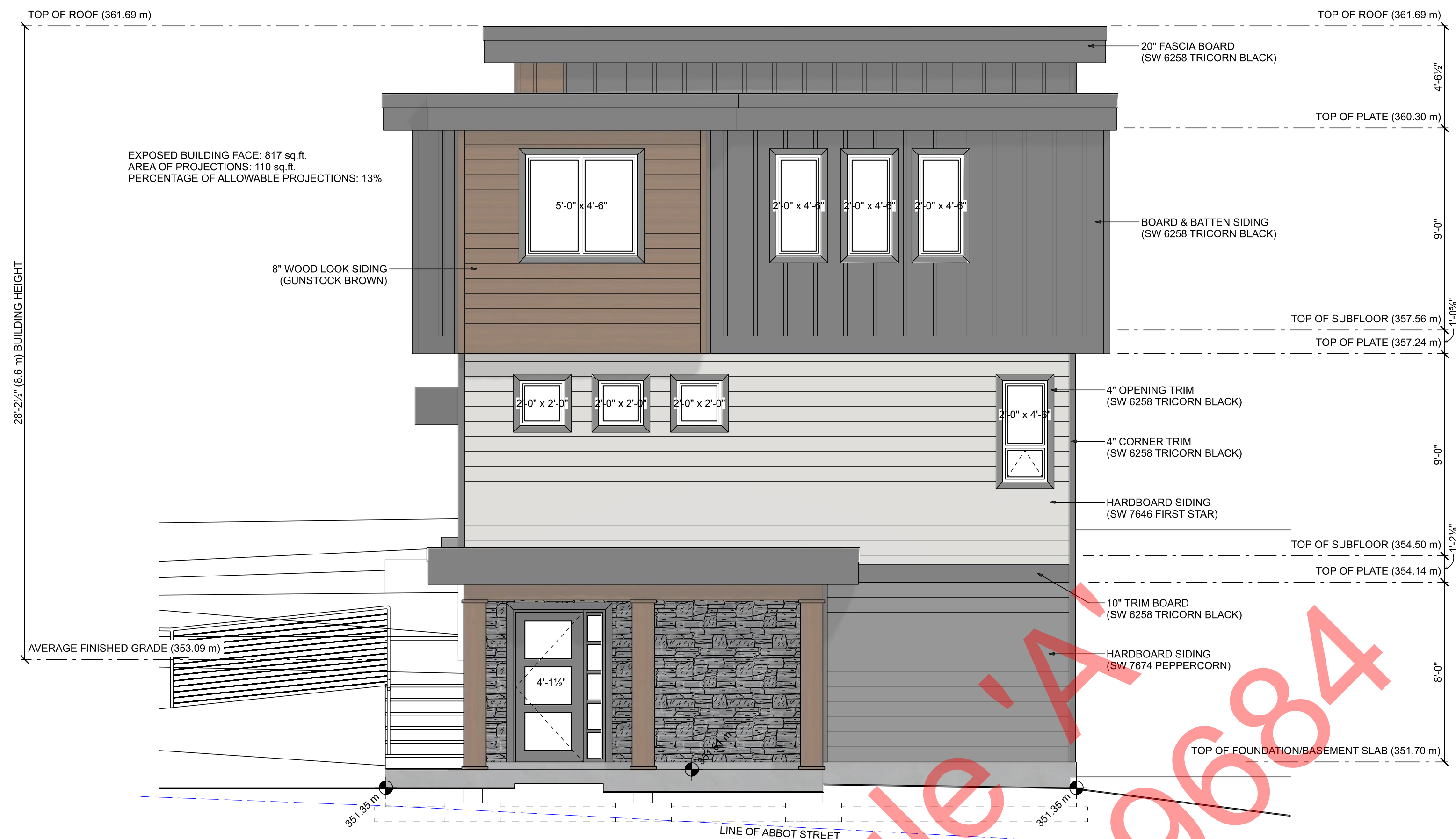
Upper Floor Plan

PLAN NO. WP-5804
SLAB
SHEET NO. A6

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DATE: 2023-11-28
REVISED:

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Exterior Elevations (West & North)

ANIL MEGHJANI 200 ABBOTT STREET PENTICTON, BC	DESIGN BY: AJG	DATE: 2023-11-28
	DRAWN BY: AJG	REVISED:

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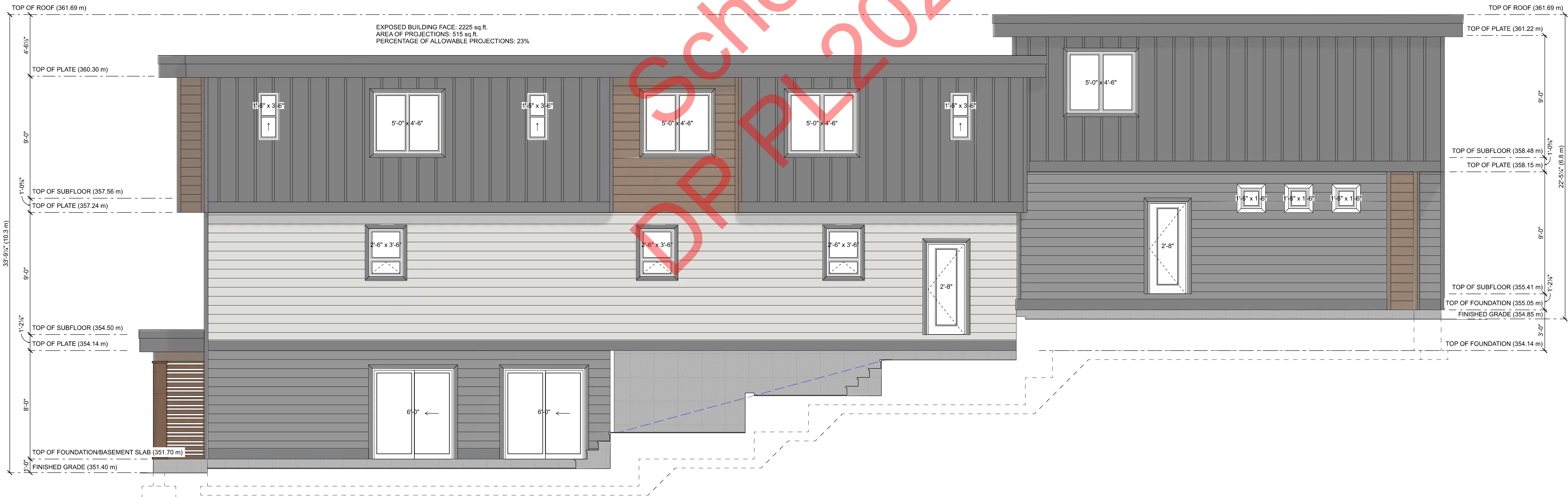
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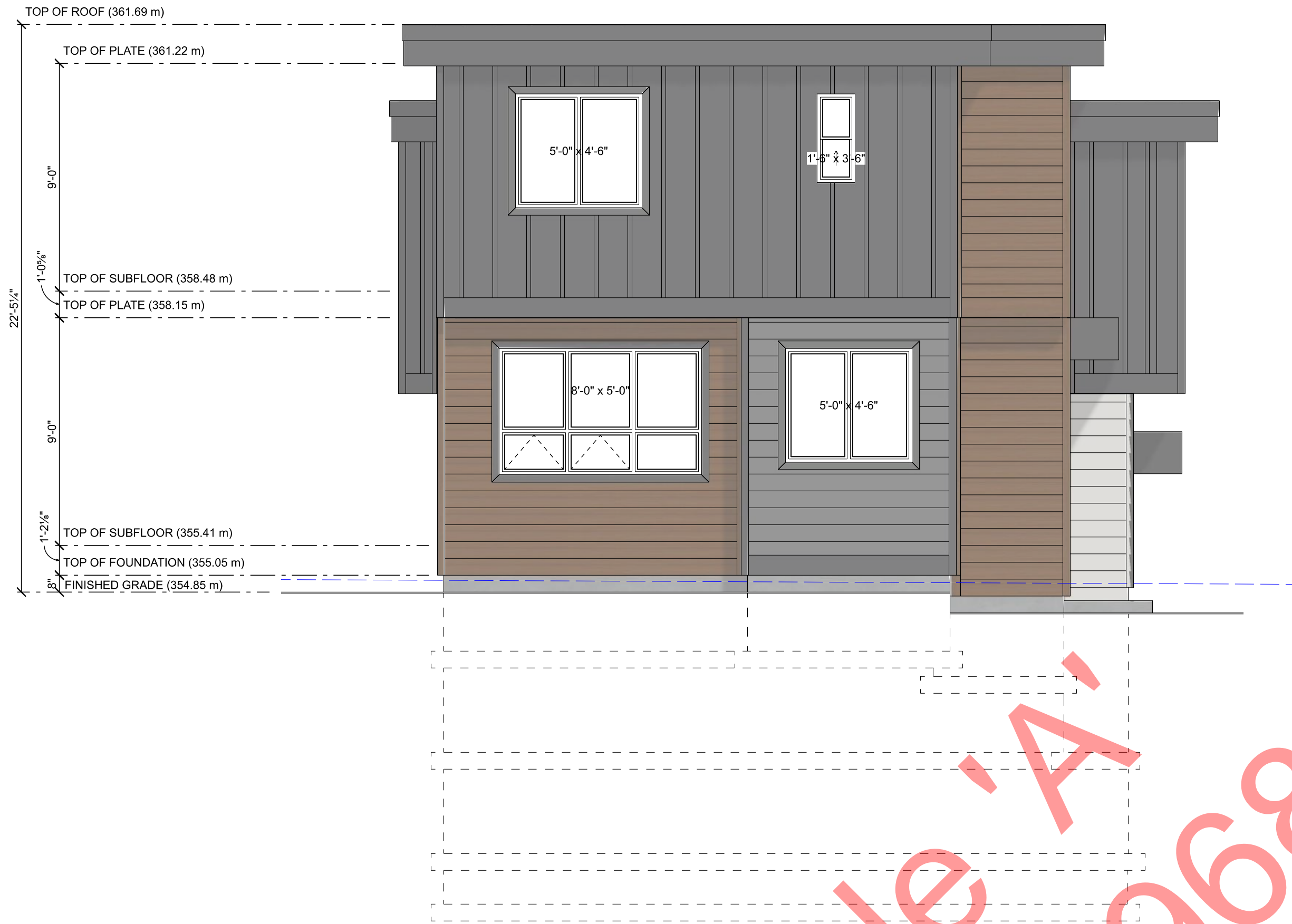
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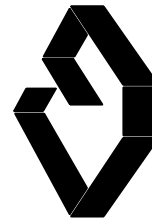
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION (FACING LANE)
SCALE: 1/4" = 1'-0"

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Exterior Elevations (East & South)



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PLAN NO.
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SLAB
SHEET NO.
A8

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ANIL MEGHJANI
200 ABBOTT STREET
PENTICTON, BC

DESIGN BY: AJG
DRAWN BY: AJG

DATE: 2023-11-28
REVISED:

Development Variance Permit

Permit Number: DVP PL2023-9683

Owner Name

Owner Address

Conditions of Permit

1. This permit is issued subject to compliance with all of the bylaws of the City, except as specifically varied or supplemented by this Permit.
2. This permit applies to:
 - Legal: Lot 1 District Lot 202 Similkameen Division Yale District Plan 7492
 - Civic: 200 Abbott Street
 - PID: 009-985-280
3. This permit has been issued in accordance with Section 498 of the *Local Government Act*, to vary the following sections of Zoning Bylaw 2021-01 to allow for the construction of cluster housing (four dwelling units), as shown in the plans attached in Schedule 'A':
 - a. Section: 10.7.2.6: to reduce the front yard from 4.5 m to 3.0 m, and;
 - b. Section: 10.7.2.8: to reduce the exterior yard from 4.5 m to 3.5 m.

General Conditions

4. In accordance with Section 501 of the *Local Government Act*, the lands subject to this permit shall be developed in general accordance with this permit and the plans attached as Schedule 'A'.
5. In accordance with Section 504 of the *Local Government Act*, if the holder of this permit does not commence the development authorized by this permit within 2 years of the date of this permit, this permit shall lapse.
6. **This permit is not a building permit. In order to proceed with this development, the holder of this permit must hold a valid building permit issued by the Building Inspection Department.**
7. This permit does not constitute any other municipal, provincial or federal approval. The holder of this permit is responsible to obtain any additional municipal, federal, or provincial approvals prior to commencing the development authorized by this permit.
8. This permit does not include off-site infrastructure costs that may be required at the building permit stage, such as Development Cost Charges (DCC's), road improvements and electrical servicing. There may be substantial infrastructure and servicing costs payable at a later date. For more information on servicing and infrastructure requirements please contact the Development Engineering Department at (250) 490-2501. For more information on electrical servicing costs, please contact the Electric Utility at (250) 490-2535.

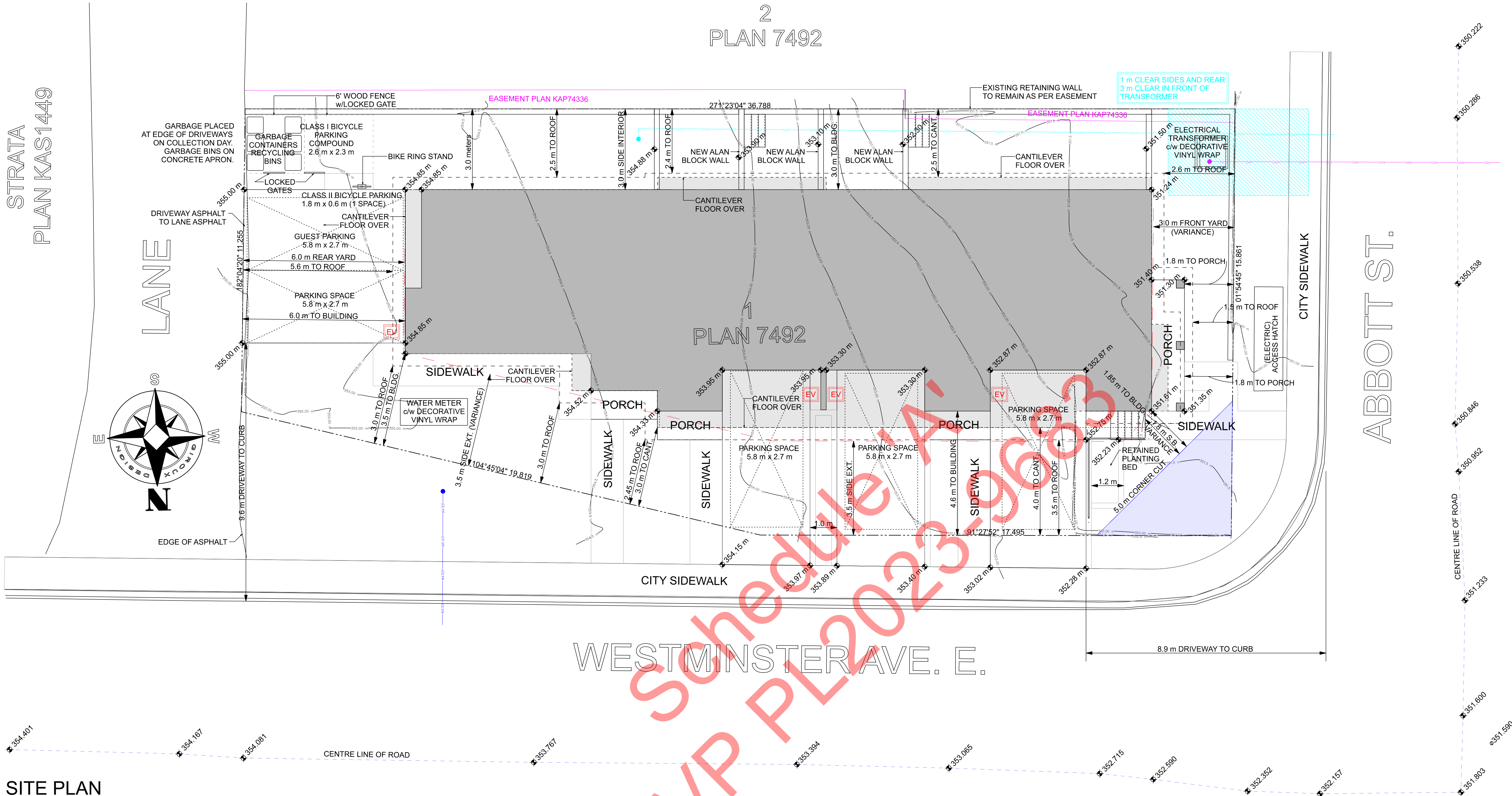
Authorized by City Council, the 6th day of February, 2024.

Issued this ____ day of February, 2024.

Angela Collison
Corporate Officer

DRAFT

2
PLAN 7492



SITE PLAN

SCALE: 1:75

CIVIC ADDRESS: 200 ABBOTT STREET, PENTICTON, BC

LEGAL DESCRIPTION: LOT 1 DISTRICT LOT 202 SIMILKAMEEN DIVISION YALE DISTRICT PLAN 7492

PID: 009-985-280

ELECTRIC VEHICLE READY REQUIREMENTS
IN ACCORDANCE WITH ZONING BYLAW NO. 2023-08

TO ENSURE NEW HOMES ARE BUILT WITH READY ACCESS TO A POWER SUPPLY CAPABLE OF PROVIDING LEVEL 2 EV CHARGING, THE FOLLOWING REQUIREMENTS MUST BE MET:

MINIMUM NUMBER OF ENERGIZED OUTLETS FOR LEVEL 2 CHARGING: 1 PER DWELLING UNIT.

-CONSTRUCTION REQUIREMENTS THAT INCLUDE:

- ELECTRICAL PANEL CAPACITY, WIRING, AND CONTINUOUS CONDUIT OR RACEWAY (AS APPLICABLE) FROM THE PANEL, TERMINATING AT EACH OUTLET, NEAR THE DESIGNATED EV PARKING SPACE(S), ADDITIONAL ELECTRICAL AND EV CHARGING INFRASTRUCTURE IS REQUIRED TO ENERGIZE THE CIRCUIT AND TO SUPPLY POWER TO FUTURE LEVEL 2 EVSE AND EVSE (IF APPLICABLE).
- A POINT CONNECTED TO A SOURCE OF VOLTAGE IN AN ELECTRICAL WIRING INSTALLATION AT WHICH CURRENT IS TAKEN AND CAN BE CONNECTED TO SUPPLY UTILIZATION EQUIPMENT. AN OUTLET INCLUDES A COVERED RECEPTACLE OR BE TERMINATED BY A RECEPTACLE, OR NEMA 6-50R RECEPTACLE. ADDITIONAL TERMINATION MEANS MAY BE APPROVED BY THE CITY OF PENTICTON ELECTRIC UTILITY MANAGER.
- ELECTRIC VEHICLE CHARGING AT 208 V OR 240 V THROUGH SUPPLY UTILIZATION EQUIPMENT THAT MEETS THE DEFINITION OF LEVEL 2 BY THE STANDARD FOR ELECTRIC VEHICLE AND PLUG IN HYBRID ELECTRIC VEHICLE CONDUCTIVE CHARGE COUPLER", J1772.

ZONING COMPLIANCE TABLE (PROPOSED ZONING RD4)			
REGULATION	REQUIRED/CURRENT	PROPOSED/PROVIDDED	VARIANCE REQUIRED
OCF DESIGNATION	INFILL RESIDENTIAL	INFILL RESIDENTIAL	NO
ZONING	RD2	RD4	YES
LOT AREA (SUBDIVISION ONLY)	540 m2	538.83 m2	N/A
MINIMUM LOT WIDTH (SUBDIVISION ONLY)	18.0 m	15.81 m	N/A
MAXIMUM LOT COVERAGE	40%	40% (215 m2)	NO
MAXIMUM DENSITY	0.80 FAR	0.80 FAR (430.4 m2)	NO
MAXIMUM HEIGHT	12 m	8.6 m	NO
MINIMUM FRONT YARD	4.5 m	3.0 m	YES
MINIMUM INTERIOR SIDE YARD	3.0 m	3.0 m	NO
MINIMUM EXTERIOR SIDE YARD	4.5 m	3.0 m	YES
MINIMUM REAR YARD	6.0 m	6.0 m	NO
PARKING SPACES (1 PER UNIT+0.25 GUEST)	5	5	NO
BICYCLE PARKING (CLASS I/CLASS II)	2/1	2/1	NO
AMENITY AREA (20 m2 PER UNIT)	80 m2	132 m2	NO

AMENITY SPACE
AMENITY SPACE SHALL BE PROVIDED AT THE RATE OF 20 M2 FOR EACH DWELLING UNIT.
25% OF THE REQUIRED AMENITY SPACE MUST BE PROVIDED AT THE GROUND FLOOR LEVEL.
A MAXIMUM OF 20% OF THE TOTAL REQUIRED AMENITY SPACE MAY BE PROVIDED AS AMENITY SPACE, INDOOR.

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Site Plan



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PLAN NO.
WP-5804

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ANIL MEGHJANI
200 ABBOTT STREE

DESIGN BY: AJG	DATE: 2023-11-28
DRAWN BY: AJG	REVISED:

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Development Variance Permit

Permit Number: DVP PL2023-9683

Owner Name

Owner Address

Conditions of Permit

1. This permit is issued subject to compliance with all of the bylaws of the City, except as specifically varied or supplemented by this Permit.
2. This permit applies to:
 - Legal: Lot 1 District Lot 202 Similkameen Division Yale District Plan 7492
 - Civic: 200 Abbott Street
 - PID: 009-985-280
3. This permit has been issued in accordance with Section 498 of the *Local Government Act*, to vary the following sections of Zoning Bylaw 2021-01 to allow for the construction of cluster housing (four dwelling units), as shown in the plans attached in Schedule 'A':
 - a. Section: 10.7.2.6: to reduce the front yard from 4.5 m to 3.0 m, and;
 - b. Section: 10.7.2.8: to reduce the exterior yard from 4.5 m to 3.5 m.

General Conditions

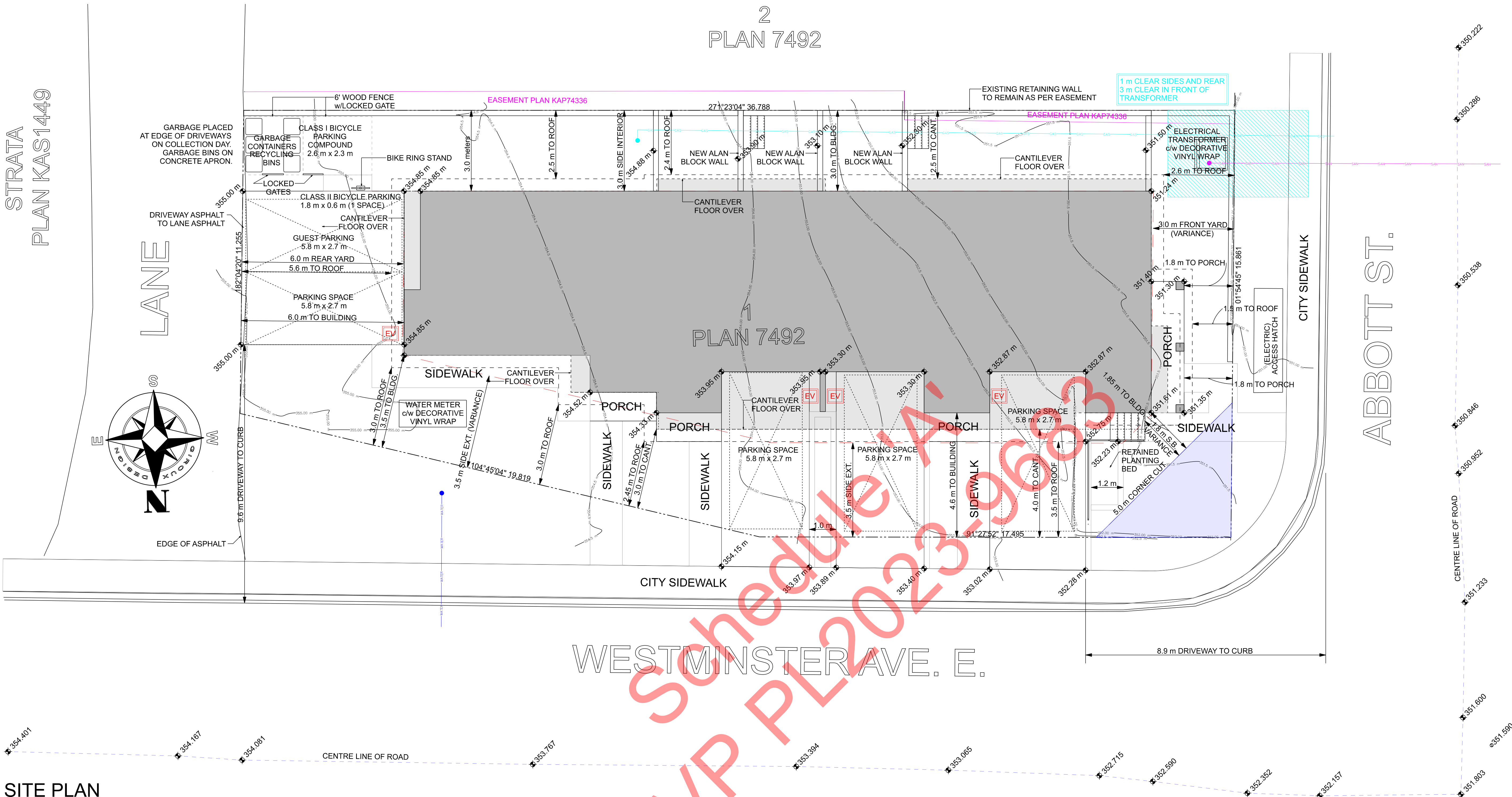
4. In accordance with Section 501 of the *Local Government Act*, the lands subject to this permit shall be developed in general accordance with this permit and the plans attached as Schedule 'A'.
5. In accordance with Section 504 of the *Local Government Act*, if the holder of this permit does not commence the development authorized by this permit within 2 years of the date of this permit, this permit shall lapse.
6. **This permit is not a building permit. In order to proceed with this development, the holder of this permit must hold a valid building permit issued by the Building Inspection Department.**
7. This permit does not constitute any other municipal, provincial or federal approval. The holder of this permit is responsible to obtain any additional municipal, federal, or provincial approvals prior to commencing the development authorized by this permit.
8. This permit does not include off-site infrastructure costs that may be required at the building permit stage, such as Development Cost Charges (DCC's), road improvements and electrical servicing. There may be substantial infrastructure and servicing costs payable at a later date. For more information on servicing and infrastructure requirements please contact the Development Engineering Department at (250) 490-2501. For more information on electrical servicing costs, please contact the Electric Utility at (250) 490-2535.

Authorized by City Council, the 6th day of February, 2024.

Issued this ____ day of February, 2024.

Angela Collison
Corporate Officer

DRAFT



SITE PLAN

SCALE: 1:75

CIVIC ADDRESS: 200 ABBOTT STREET, PENTICTON, BC
LEGAL DESCRIPTION: LOT 1 DISTRICT LOT 202 SIMILKAMEEN DIVISION YALE DISTRICT PLAN 7492
PID: 009-985-280

ELECTRIC VEHICLE READY REQUIREMENTS
IN ACCORDANCE WITH ZONING BYLAW NO. 2023-08

TO ENSURE NEW HOMES ARE BUILT WITH READY ACCESS
TO A POWER SUPPLY CAPABLE OF PROVIDING LEVEL 2 EV
CHARGING, THE FOLLOWING REQUIREMENTS MUST BE MET:

- MINIMUM NUMBER OF ENERGIZED OUTLETS FOR LEVEL 2
CHARGING: 1 PER DWELLING UNIT.
- CONSTRUCTION REQUIREMENTS THAT INCLUDE:
ELECTRICAL PANEL CAPACITY, WIRING, AND CONTINUOUS
CONDUIT OR RACEWAY (AS APPLICABLE) FROM THE PANEL,
TERMINATING AT AN ENERGIZED OUTLET NEAR THE
DESIGNATED EV PARKING SPACE(S). ADDITIONAL
ELECTRICAL AND EV CHARGING INFRASTRUCTURE IS
REQUIRED TO ENERGIZE THE CIRCUIT AND TO SUPPLY
POWER TO FUTURE LEVEL 2 EVSE AND EVEMS (IF
APPLICABLE).
- A POINT CONNECTED TO A SOURCE OF VOLTAGE IN AN
ELECTRICAL WIRING INSTALLATION AT WHICH CURRENT IS
TAKEN AND CAN BE CONNECTED TO SUPPLY UTILIZATION
EQUIPMENT. AN OUTLET INCLUDES A COVERED
TERMINATION BOX, NEMA 14-50R RECEPTACLE, OR NEMA
6-50R RECEPTACLE. ADDITIONAL TERMINATION MEANS MAY
BE APPROVED BY THE CITY OF PENTICTON ELECTRIC
UTILITY MANAGER.
- ELECTRIC VEHICLE CHARGING AT 208 V OR 240 V THROUGH
SUPPLY UTILIZATION EQUIPMENT THAT MEETS THE
DEFINITION OF LEVEL 2 BY THE STANDARD "SAE ELECTRIC
VEHICLE AND PLUG-IN HYBRID ELECTRIC VEHICLE
CONDUCTIVE CHARGE COUPLER", J1772.

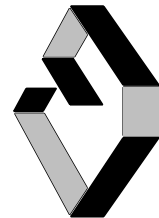
ZONING COMPLIANCE TABLE (PROPOSED ZONING RD4)			
REGULATION	REQUIRED/CURRENT	PROPOSED/PROVIDED	VARIANCE REQUIRED
OCP DESIGNATION	INFILL RESIDENTIAL	INFILL RESIDENTIAL	NO
ZONING	RD2	RD4	YES
LOT AREA (SUBDIVISION ONLY)	540 m2	538.83 m2	N/A
MINIMUM LOT WIDTH (SUBDIVISION ONLY)	18.0 m	15.81 m	N/A
MAXIMUM LOT COVERAGE	40%	40% (215 m2)	NO
MAXIMUM DENSITY	0.80 FAR	0.80 FAR (430.4 m2)	NO
MAXIMUM HEIGHT	12 m	8.6 m	NO
MINIMUM FRONT YARD	4.5 m	3.0 m	YES
MINIMUM INTERIOR SIDE YARD	3.0 m	3.0 m	NO
MINIMUM EXTERIOR SIDE YARD	4.5 m	3.0 m	YES
MINIMUM REAR YARD	6.0 m	6.0 m	NO
PARKING SPACES (1 PER UNIT+0.25 GUEST)	5	5	NO
BICYCLE PARKING (CLASS I/CLASS II)	2/1	2/1	NO
AMENITY AREA (20 m2 PER UNIT)	80 m2	132 m2	NO

AMENITY SPACE
AMENITY SPACE SHALL BE PROVIDED AT THE RATE OF 20 M2 FOR EACH DWELLING UNIT.
25% OF THE REQUIRED AMENITY SPACE MUST BE PROVIDED AT THE GROUND FLOOR LEVEL.
A MAXIMUM OF 20% OF THE TOTAL REQUIRED AMENITY SPACE MAY BE PROVIDED AS AMENITY SPACE, INDOOR.

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Site Plan

GIROUX DESIGN GROUP



PLAN NO.
WP-5804

SLAB
SHEET NO.
A1

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ANIL MEGHJANI
200 ABBOTT STREET
PENTICTON, BC
DESIGN BY: AIG
DRAWN BY: AIG
DATE: 2023-11-28
REVISED:

www.girouxdesigngroup.com - www.westhomeplanners.com - www.houseplanhunters.com



200 Abbott St.

Zoning Amendment Bylaw No. 2024-04

Date:

Corporate Officer:

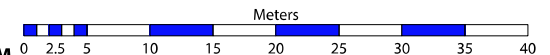


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1:600

Monday, January 22, 2024 3:58 PM



Coordinate System: NAD 1983 CSRS UTM Zone 11N