

Development Variance Permit

Permit Number: DVP PL2026-10197

Property Owner
Property Address

Conditions of Permit

1. This permit is issued subject to compliance with all of the bylaws of the City, except as specifically varied or supplemented by this Permit.
2. This permit applies to:
 - Legal: Amended Lot 57 (DD 223625F) District Lot 187 Similkameen Division Yale District Plan 306 Except Plans B7385 and M16292
 - Civic: 1150 Munson Avenue
 - PID: 012-563-641
3. This permit has been issued in accordance with Section 498 of the *Local Government Act*, to vary the following sections of Zoning Bylaw 2024-22 to allow for the construction of a two-storey mixed-use building/carriage house, as shown in the plans attached in Schedule 'A':
 - Section 8.2.3.2 of Zoning Bylaw No. 2024-22 to increase the maximum building footprint for a carriage house in a rural zone from 150 m² to 280 m².
 - Section 8.2.3.10 of Zoning Bylaw No. 2024-22 to increase the maximum carriage house floor area in a rural zone from 150 m² to 415 m².

General Conditions

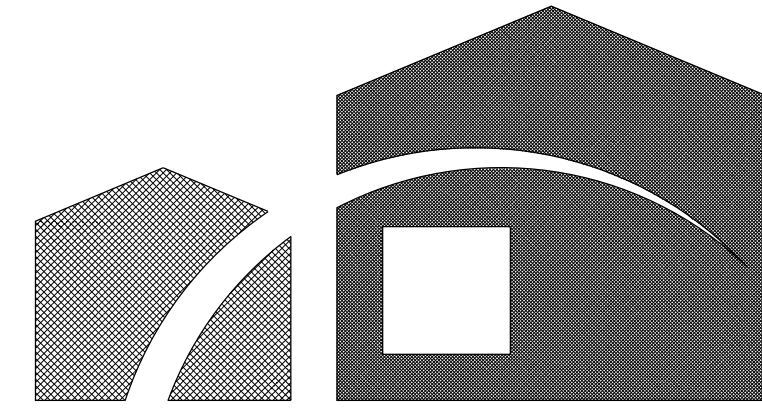
4. In accordance with Section 501 of the *Local Government Act*, the lands subject to this permit shall be developed in general accordance with this permit and the plans attached as Schedule 'A'.
5. In accordance with Section 504 of the *Local Government Act*, if the holder of this permit does not commence the development authorized by this permit within 2 years of the date of this permit, this permit shall lapse.
6. **This permit is not a building permit. In order to proceed with this development, the holder of this permit must hold a valid building permit issued by the Building Inspection Department.**
7. This permit does not constitute any other municipal, provincial or federal approval. The holder of this permit is responsible to obtain any additional municipal, federal, or provincial approvals prior to commencing the development authorized by this permit.
8. This permit does not include off-site infrastructure costs that may be required at the building permit stage, such as Development Cost Charges (DCC's), road improvements and electrical servicing. There may be substantial infrastructure and servicing costs payable at a later date. For more

information on servicing and infrastructure requirements please contact the Development Engineering Department at (250) 490-2501. For more information on electrical servicing costs, please contact the Electric Utility at (250) 490-2535.

Authorized by the City Council, the ____ day of _____, 2026.

Angela Collison
Corporate Officer

Issued this ____ day of _____, 2026.



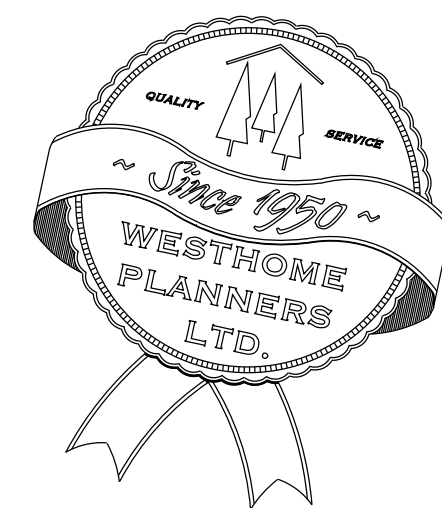
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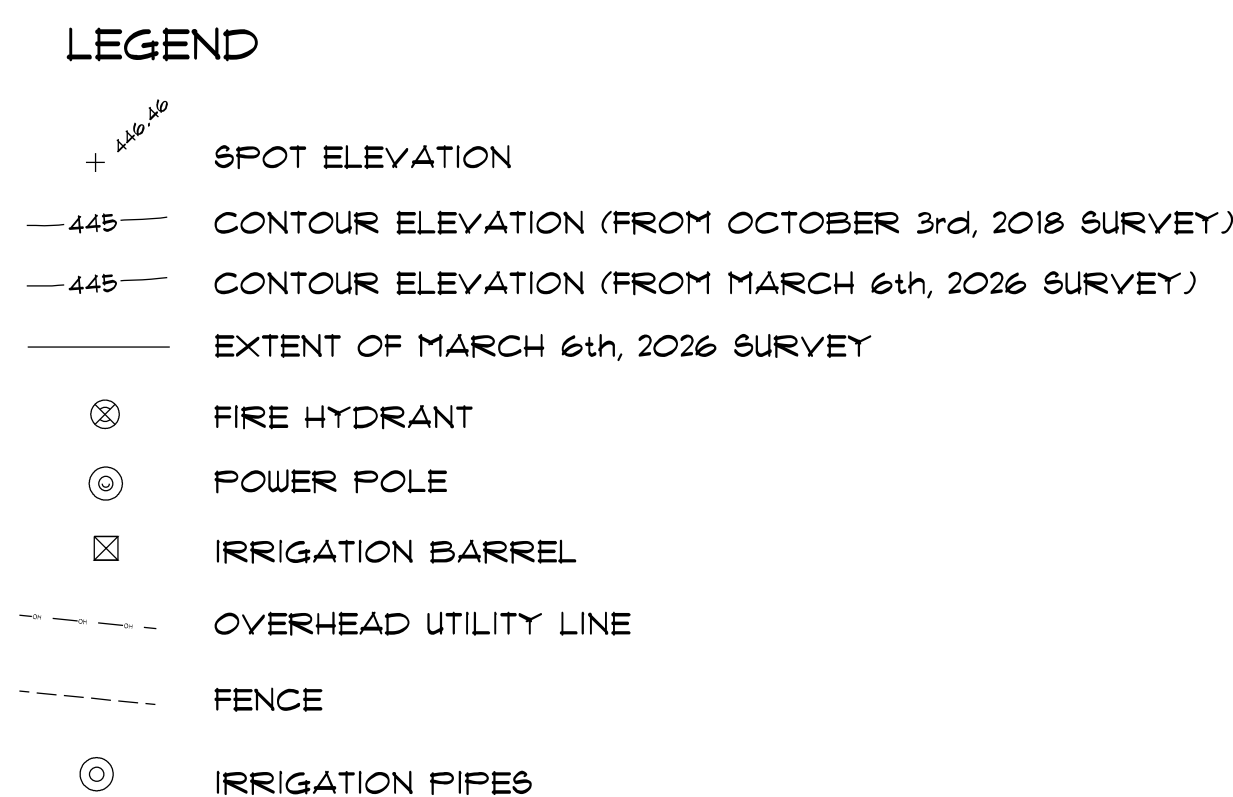
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WP-3148

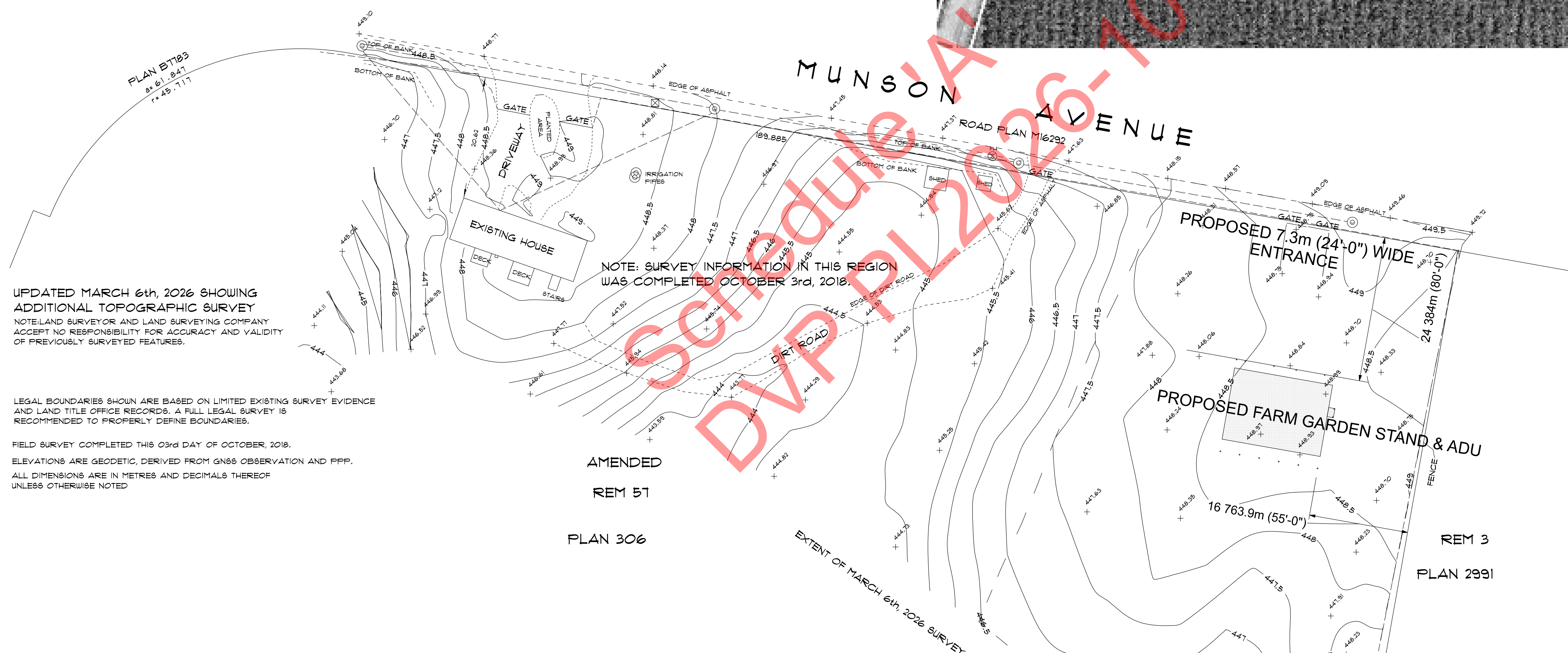


CIVIC ADDRESS: 1150 MUNSON AVENUE, PENTICTON, B.C.
PID: 012-563-641

THIS PLAN LIES WITHIN THE AGRICULTURAL LAND RESERVE



NOT TO SCALE



UPDATED MARCH 6th, 2026 SHOWING
ADDITIONAL TOPOGRAPHIC SURVEY
NOTE: LAND SURVEYOR AND LAND SURVEYING COMPANY
ACCEPT NO RESPONSIBILITY FOR ACCURACY AND VALIDITY
OF PREVIOUSLY SURVEYED FEATURES.

LEGAL BOUNDARIES SHOWN ARE BASED ON LIMITED EXISTING SURVEY EVIDENCE
AND LAND TITLE OFFICE RECORDS. A FULL LEGAL SURVEY IS
RECOMMENDED TO PROPERLY DEFINE BOUNDARIES.

FIELD SURVEY COMPLETED THIS 03rd DAY OF OCTOBER, 2018.

ELEVATIONS ARE GEODETIC, DERIVED FROM GNSS OBSERVATION AND PPP.

ALL DIMENSIONS ARE IN METRES AND DECIMALS THEREOF

UNLESS OTHERWISE NOTED

SITE PLAN

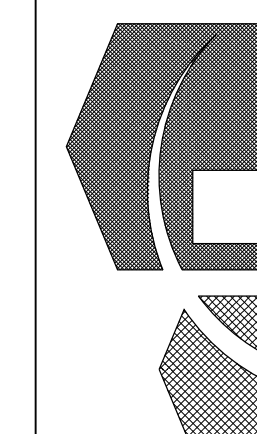
SCALE: 1:400

SIDHU FARM GARDEN STAND & ADU

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PLAN NO.
WP-3148

SHEET NO.
2

DESIGN BY: M.A.G.	DATE: 2026-05-11
DRAWN BY:	REVISED:

NO. **148**

NO.

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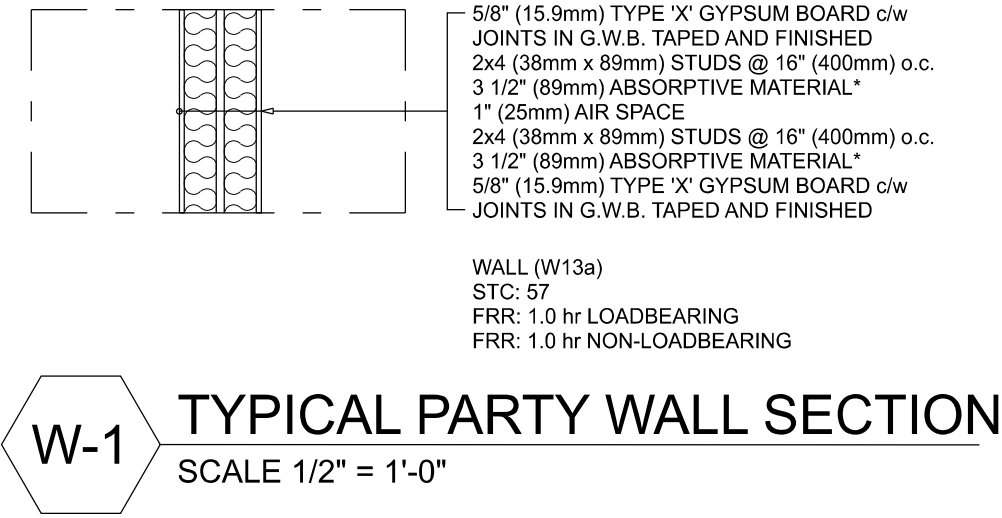
Site Plan

NAME OF PRACTICE: BNR FARMS INC.

NAME OF PROJECT: BNR FARMS INC. FRUIT STAND & ACCESSORY DWELLING UNIT (ADU)

LOCATION: 1150 MUNSON AVENUE, PENTICTON, BC

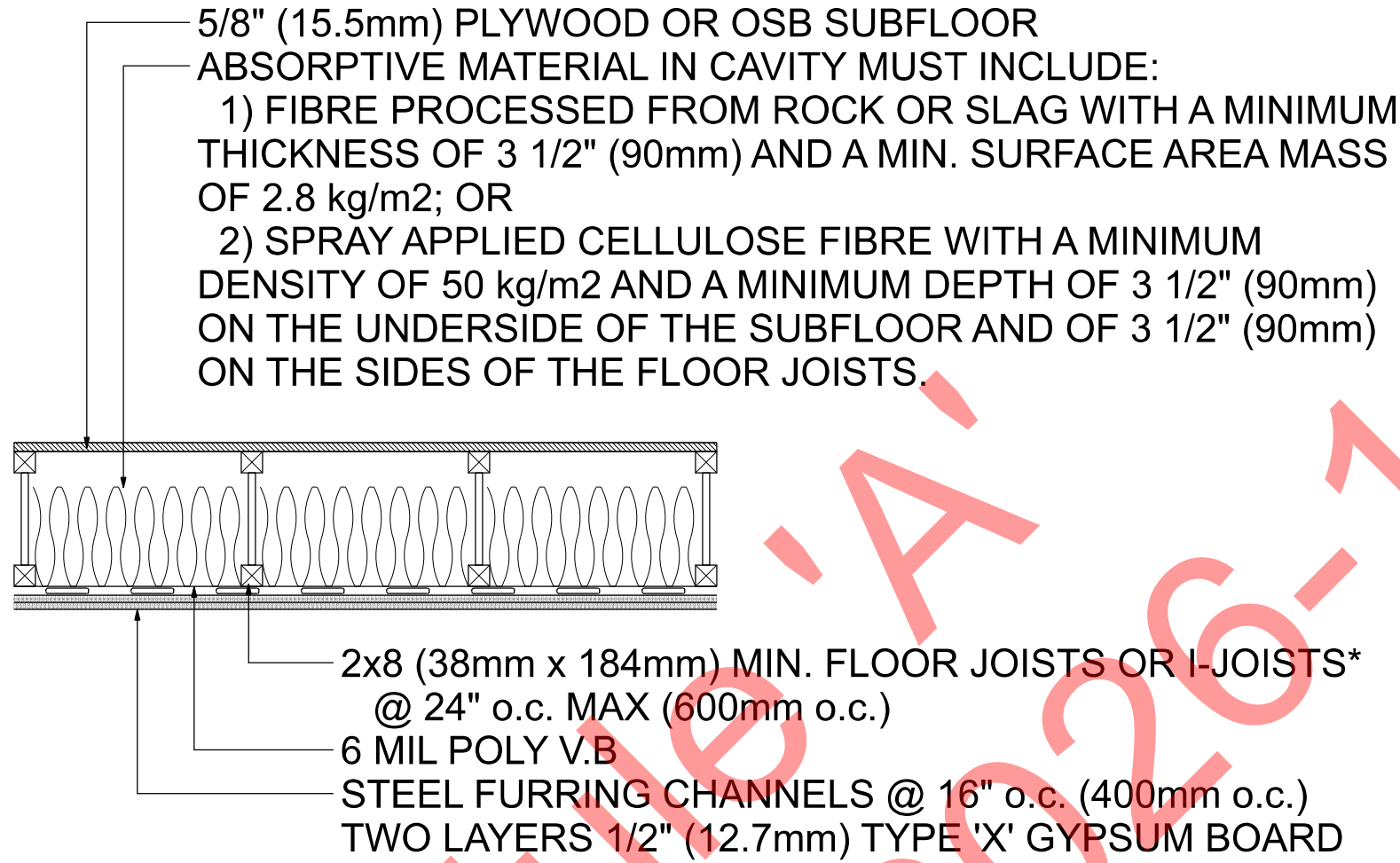
						BCBC REFERENCES ARE TO DIVISION B U.N.O. [A] for DIV. A or [C] for DIV. C																		
1	PROJECT DESCRIPTION: MERCANTILE & ACCESSORY DWELLING UNIT (ADU) ☒ New ☐ Addition ☐ Change of Use ☐ Alteration					☒ BCBC PART 9					☐ BCBC PART 3													
2	MAJOR OCCUPANCY(S) MERCANTILE, GROUP E (317.3 m2) RESIDENTIAL, GROUP C (89.5 m2)										SEE A-1.4.1.2.(1)													
3	BUILDING AREA (m²)		Existing		N/A		New		204.3 m2		Total		204.3 m2		[A] 1.4.1.2.									
4	GROSS AREA		Existing		N/A		New		408.7 m2		Total		408.7 m2		Architects Regulation									
5	NUMBER OF STOREYS		Above grade		2		Below grade		0						[A] 1.4.1.2.									
6	NUMBER OF STREETS/FIRE FIGHTER ACCESS				1										3.2.2.10.									
7	BUILDING CLASSIFICATION: MERCANTILE GROUP E OCCUPANCY (317.3 m2)										3.1.2.1.(1) SEE A-1.4.1.2.(1)													
8	SPRINKLER SYSTEM PROPOSED ☐ Entire Building ☐ Selected Compartments ☐ Select Floor Areas ☐ Basement ☐ In Lieu of Roof Rating ☒ Not Required					9.10.14.																		
9	TWO EXITS REQUIRED					☒ Yes ☐ No					3.2.1.1.													
10	MAXIMUM TRAVEL DISTANCE TO EXIT					15 m					3.2.1.5.(1)(b)													
11	FIRE ALARM REQUIRED					☐ Yes ☒ No					9.10.18.2.(2) Table													
12	WATER SERVICE/SUPPLY IS ADEQUATE					☒ Yes ☐ No					3.2.5.7.(2)													
13	PERMITTED CONSTRUCTION ACTUAL CONSTRUCTION					☐ Combustible ☐ Non-combustible ☒ Both ☐ Combustible ☐ Non-combustible ☒ Both					9.10.14.5.(1) Table 9.10.14.5.-A					3.1.2.1.(1)								
14	OCCUPANT LOAD BASED ON					☒ m²/person ☐ design of building					9.9.1.3.(1) Table 3.1.17.1													
					BELOW GRADE MERCANTILE RESIDENTIAL					Area per Person N/A N/A N/A					Occupancy Load N/A Occupancy Load Occupancy Load					11 persons 2 persons				
15	ACCESSIBLE DESIGN					☒ Yes ☐ No (explain)					9.5.2.1.(1)													
16	ACCESSIBLE WASHROOMS					☒ Yes ☐ No (explain)					9.31.1.1.(2)													
17	REQUIRED FIRE RESISTANCE RATING (FRR)		HORIZONTAL ASSEMBLIES FRR (HOURS)		F6f		Listed Design No. or Description		Table A-9.10.3.1.A		Exception 9.10.9.13.3 "not more than two dwelling units...1 hr"													
				Floors		60		Minutes																
				Roof		N/A		Hours																
								FRR of Supporting Members		Listed Design No. or Description														
								Floors		60		Minutes		W6b, EW1a										
								Roof		N/A		Hours												
18	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS (BCBC 9.10.14.)																							
		WALL		AREA OF E.B.F. (m²)		L.D. m		L/H OR H/L		PERMITTED MAXIMUM % OF OPENINGS		PROPOSED MAXIMUM % OF OPENINGS		FRR (HRS)		LISTED DESIGN DESCRIPTION		COMB. CONST.		NON-COMB CLADDING		NON-COMB CONSTR.		
		NORTH		97.1 m2		8.35				31.9%		27.4%		1		EW1a		OPTIONAL		OPTIONAL		NO		
		SOUTH		N/A		102				100%		35%		1		EW1a		OPTIONAL		OPTIONAL		NO		
		EAST		70.8 m2		8.88				45.2%		14.8%		1		EW1a		OPTIONAL		OPTIONAL		NO		
		WEST		N/A		112				100%		37%		1		EW1a		OPTIONAL		OPTIONAL		NO		
		AS THE FIRE RESPONSE TIME EXCEEDS 10 min. THE LIMITING DISTANCES SHOWN ABOVE ARE REDUCED BY 50%																						
19	PLUMBING FIXTURE REQUIREMENT																							
		9.31.1.1.(2); 3.7.2.2.(14); 3.7.2.10. SEE A-3.7.2.2.(1) WATER CLOSETS SHARED BY MALES AND FEMALES ON TWO STOREYS, ONLY LOWER FLOOR REQUIRED TO BE ACCESSIBLE																						
		OCCUPANT LOAD		BLDG. CODE REFERENCE		FIXTURES REQUIRED		FIXTURES PROVIDED																
		H.C. MALE		6		3.7.2.2.(14)		1		1														
		H.C. FEMALE		5		3.7.2.2.(14)		1		1														
		ACCESSIBLE				3.8.2.8.(1)		1		1														



B.C.B.C. 3.1.4.6. & 3.1.4.7. ALL ENG. BEAMS PENETRATING FIRE SEPARATION SHALL BE GLULAM BEAMS WITH MINIMUM DIMENSIONS OF 80mm x 152mm AS THEY ARE CONSIDERED HEAVY TIMBER AND MEET THE REQUIREMENTS FOR A 45 MINUTE FIRE-RESISTANCE RATING.

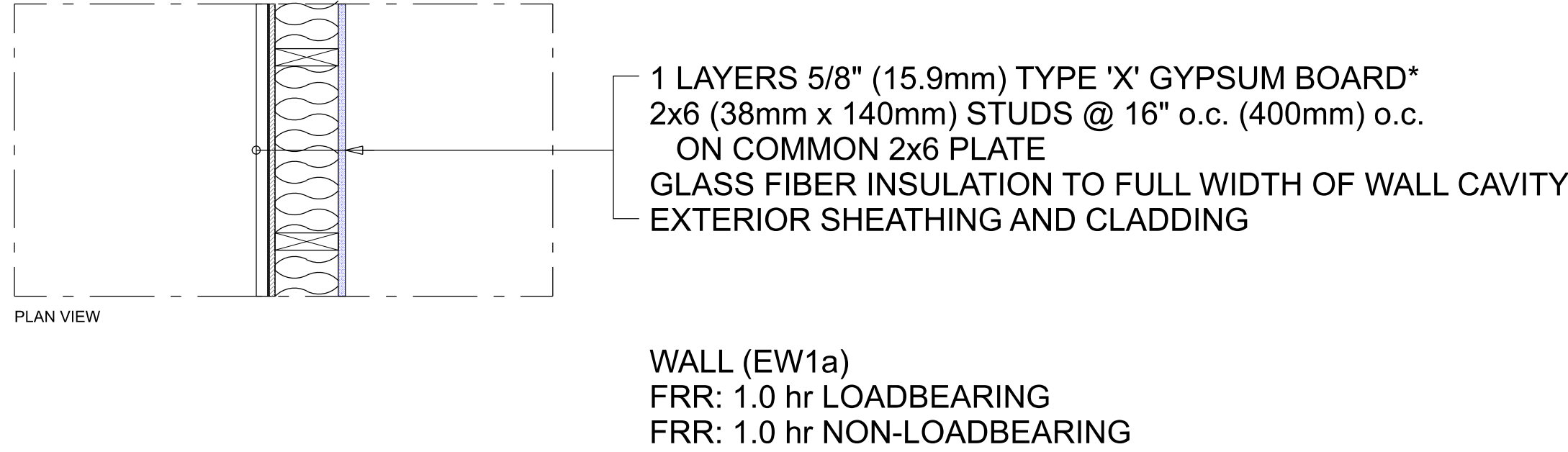
*ABSORPTIVE MATERIAL INCLUDES FIBRE PROCESSED FROM ROCK, SLAG, GLASS OR CELLULOSE FIBRE. IT MUST FILL 90% OF THE CAVITY THICKNESS FOR THE WALL TO HAVE THE LISTED STC VALUE. THE ABSORPTIVE MATERIALS SHOULD NOT OVERFILL THE CAVITY TO THE POINT OF PRODUCING SIGNIFICANT OUTWARD PRESSURE ON THE FINISHES; SUCH ASSEMBLY WILL NOT ACHIEVE THE STC RATING.

ALL EXPOSED JOINTS IN DRYWALL TO BE TAPED AND SANDED CAULK ALL CONNECTIONS BETWEEN ROOF SHEATHING AND DRYWALL.



F9g FIRE SEPARATION DETAIL
FLOOR & CEILING ASSEMBLY
FIRE RESISTANT RATING: 1 hr [1.5 hr]
SOUND TRANSMISSION CLASS: 51 [53]
IMPACT INSULATION CLASS: 44

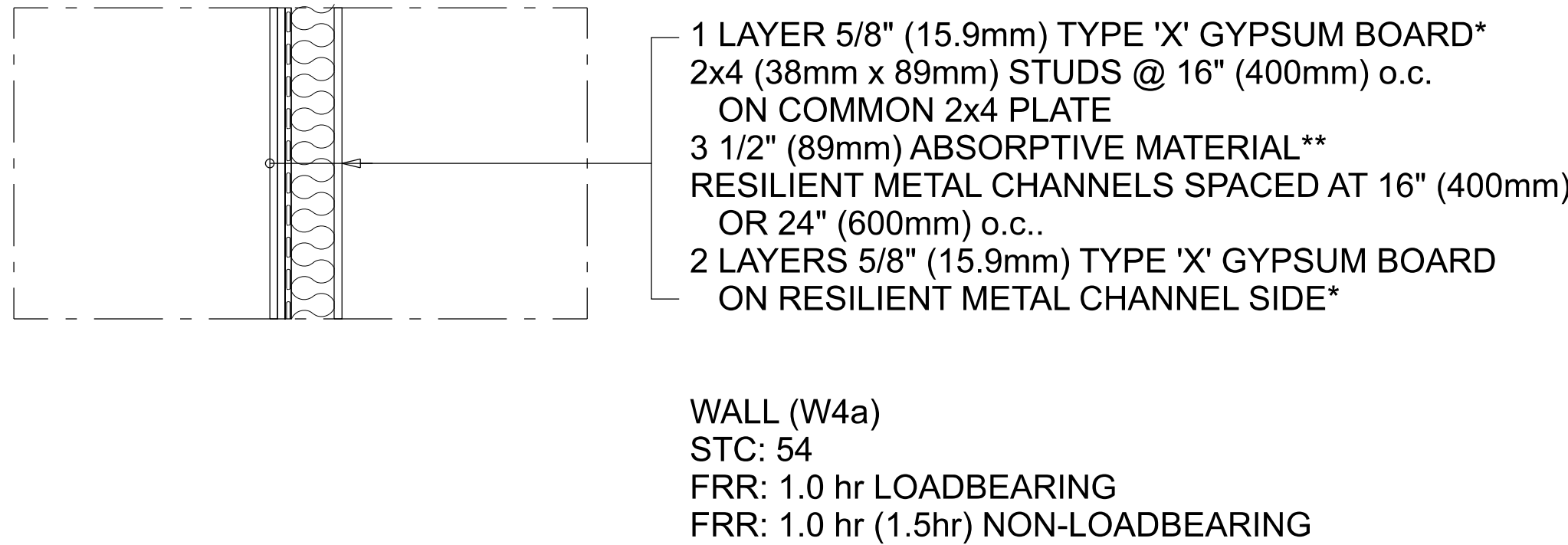
NOTES:
(1) THE FIRE-RESISTANCE RATING AND SOUND TRANSMISSION CLASS VALUES GIVEN ARE FOR A MINIMUM THICKNESS OF SUBFLOOR OR DECK AS SHOWN. MINIMUM SUBFLOOR THICKNESS REQUIRED IS DETERMINED BY STRUCTURAL MEMBER SPACING. THICKER SUBFLOORING OR DECKING IS ALSO ACCEPTABLE.
(2) THE FIRE-RESISTANCE RATING, SOUND TRANSMISSION CLASS AND IMPACT INSULATION CLASS VALUES GIVEN ARE ALSO APPLICABLE TO ASSEMBLIES WITH 38 mm (WIDTH) x 184 mm (DEPTH) SOLID WOOD JOISTS.
(3) THE FIRE-RESISTANCE RATING VALUE WITHIN SQUARE BRACKETS IS ACHIEVED ONLY WHERE ABSORPTIVE MATERIAL INCLUDES: (i) FIBRE PROCESSED FROM ROCK OR SLAG WITH A MINIMUM THICKNESS OF 90 mm AND A MINIMUM SURFACE AREA MASS OF 2.8 kg/m2; OR (ii) SPRAY-APPLIED CELLULOSE FIBRE WITH A MINIMUM DENSITY OF 50 kg/m3 AND A MINIMUM DEPTH OF 90 mm ON THE UNDERSIDE OF THE SUBFLOOR AND OF 90 mm ON THE WEBS OR THE SIDES OF THE STRUCTURAL MEMBERS.



EW2a FIRE RATED EXTERIOR WALL
SCALE 1/2" = 1'-0"

*ALL EXPOSED JOINTS IN DRYWALL TO BE TAPED AND SANDED CAULK ALL CONNECTIONS BETWEEN ROOF SHEATHING AND DRYWALL.

**FIRE-RESISTANCE RATINGS AND STC RATINGS OF WOOD-FRAME CONSTRUCTION WERE EVALUATED ONLY FOR CONSTRUCTIONS WITH SOLID-SAWN 38 mm x 89 mm LUMBER. HOWEVER, THE FIRE-RESISTANCE RATINGS AND STC RATINGS PROVIDED FOR 38 mm x 89 mm WOOD-FRAME CONSTRUCTION MAY BE APPLIED TO WOOD-FRAME CONSTRUCTIONS WITH SOLID-SAWN 38 mmx140mm LUMBER; IN SOME CASES THE RATINGS MAY BE CONSERVATIVE. WHERE 38 mm x 140 mm FRAMING IS USED AND ABSORPTIVE MATERIAL IS CALLED FOR, THE ABSORPTIVE MATERIAL MUST BE 140 mm THICK.



W4a PARTY WALL AT COMMON AREAS
SCALE 1/2" = 1'-0"

*ALL EXPOSED JOINTS IN DRYWALL TO BE TAPED AND SANDED CAULK ALL CONNECTIONS BETWEEN ROOF SHEATHING AND DRYWALL.

**ABSORBATIVE MATERIAL REQUIRED FOR THE HIGHER FIRE-RESISTANCE RATING IS MINERAL FIBRE PRCESSED FROM ROCK OR SLAG WITH A MASS OF AT LEAST 2.8 kg/m.sq. FOR 3 1/2" (89 mm) THICKNESS AND COMPLETELY FILLING THE WALL CAVITY.

SIDHU FARM GARDEN STAND & ADU

DESIGN BY: M.A.G. DATE: 2026-05-11

DRAWN BY: REVISED:

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PLAN NO.

WP-3148

SHEET NO.

3

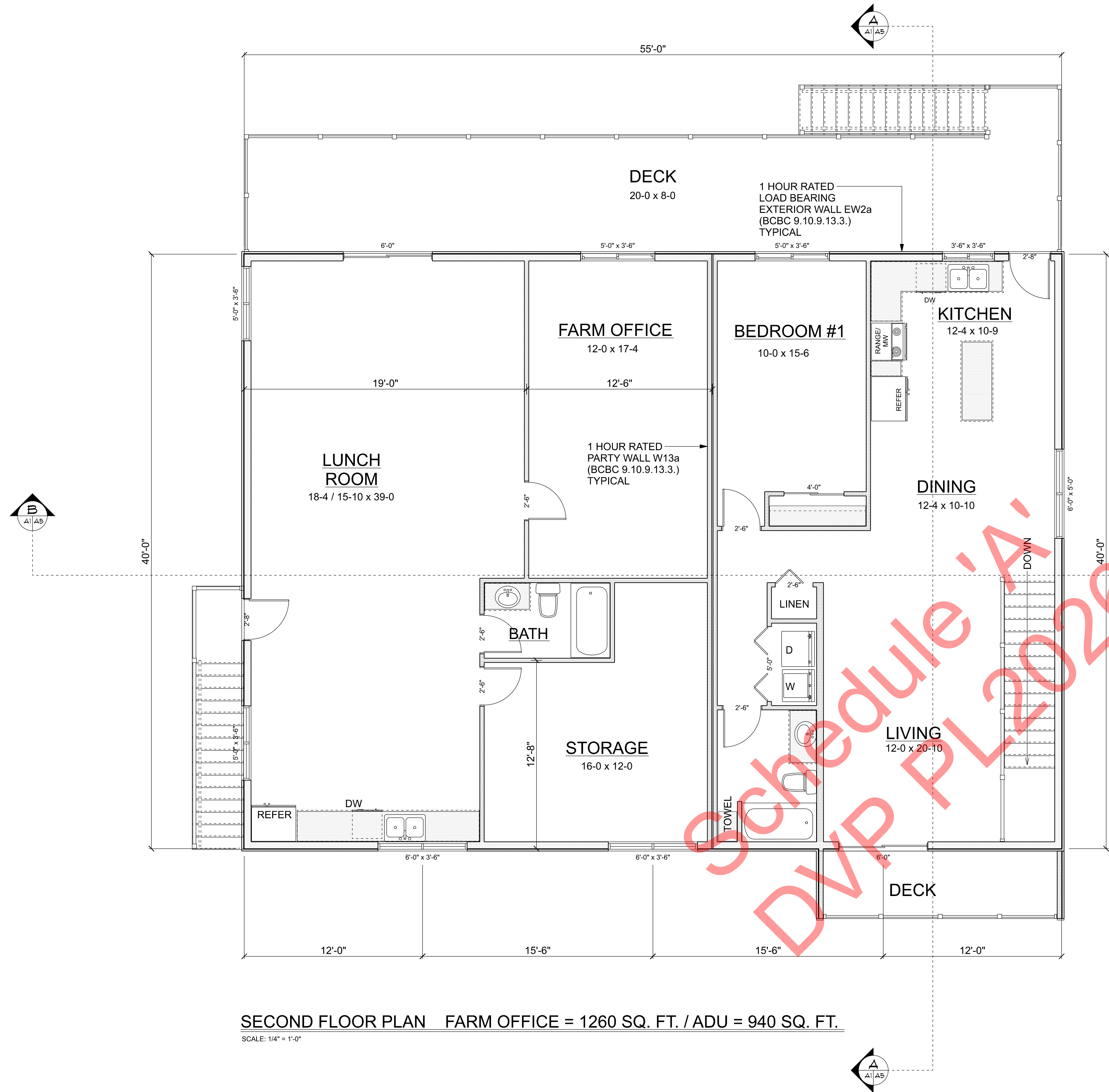
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Building Code Matrix, Wall & Floor Separation Details

DVP PL2026-10197

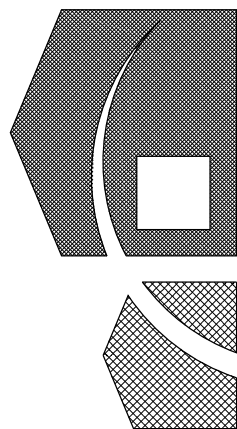
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SECOND FLOOR PLAN FARM OFFICE = 1260 SQ. FT. / ADU = 940 SQ. FT.

SCALE: 1/4" = 1'-0"

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PLAN NO.
WP-3148

SHEET NO.
A3

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SIDHU FARM GARDEN STAND & ADU

DESIGN BY: M.A.G. DATE: 2026-05-11
DRAWN BY: REVISED:

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