



Development Variance Permit

Permit Number: DVP PL2026-10201

Property Owner
Property Address

Conditions of Permit

1. This permit is issued subject to compliance with all of the bylaws of the City, except as specifically varied or supplemented by this Permit.
2. This permit applies to:
 - Legal: Lot 28 District Lot 250 Similkameen Division Yale District Plan 8070 Except Plan 39895
 - Civic: 1258 Main Street
 - PID: 001-524-933
3. This permit has been issued in accordance with Section 498 of the *Local Government Act*, to vary the following sections of Zoning Bylaw 2024-22 to allow for the construction of two duplexes (4 dwelling units), as shown in the plans attached in Schedule 'A':
 - Section 5.2 to not require trees in an exterior side landscape buffer and reduce the width to 1.5 m.
 - Section 11.3.2.8 to reduce the exterior side setback from 4.5 m to 1.5 m.

General Conditions

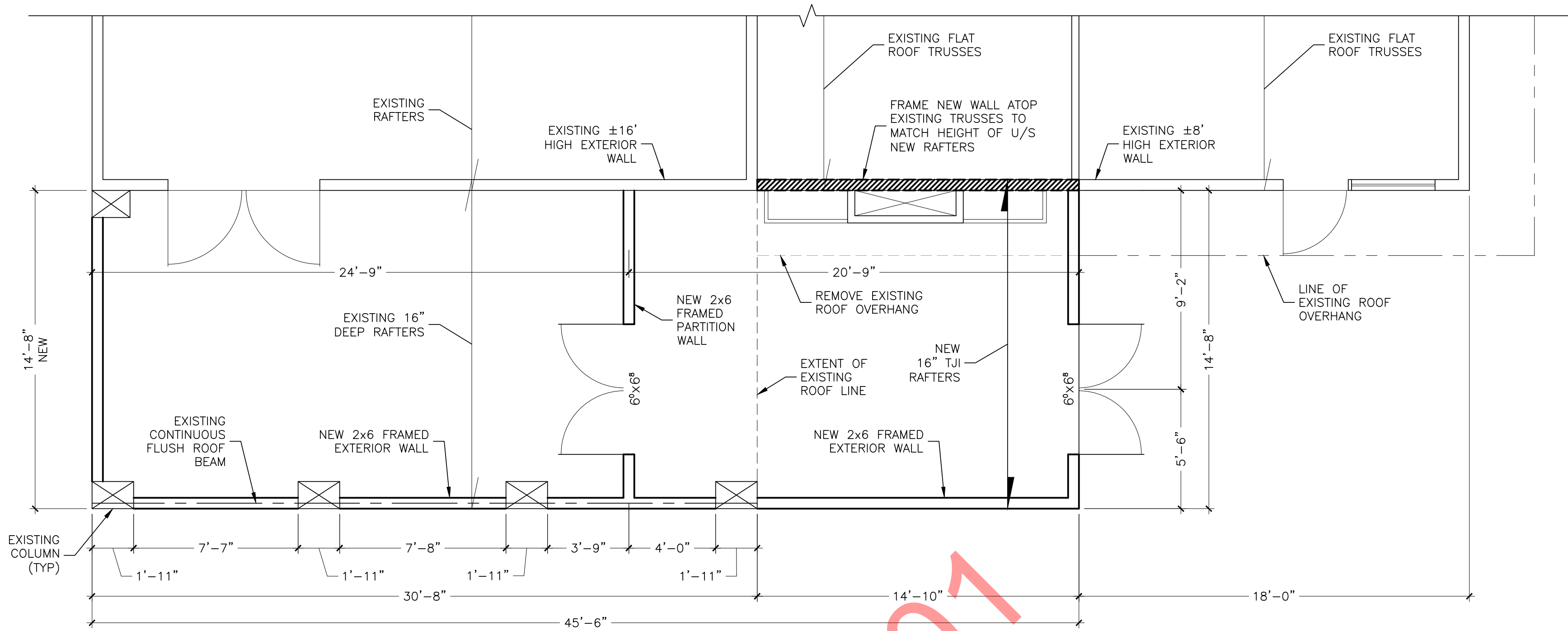
4. In accordance with Section 501 of the *Local Government Act*, the lands subject to this permit shall be developed in general accordance with this permit and the plans attached as Schedule 'A'.
5. In accordance with Section 504 of the *Local Government Act*, if the holder of this permit does not commence the development authorized by this permit within 2 years of the date of this permit, this permit shall lapse.
6. **This permit is not a building permit. In order to proceed with this development, the holder of this permit must hold a valid building permit issued by the Building Inspection Department.**
7. This permit does not constitute any other municipal, provincial or federal approval. The holder of this permit is responsible to obtain any additional municipal, federal, or provincial approvals prior to commencing the development authorized by this permit.
8. This permit does not include off-site infrastructure costs that may be required at the building permit stage, such as Development Cost Charges (DCC's), road improvements and electrical servicing. There may be substantial infrastructure and servicing costs payable at a later date. For more information on servicing and infrastructure requirements please contact the Development

Engineering Department at (250) 490-2501. For more information on electrical servicing costs, please contact the Electric Utility at (250) 490-2535.

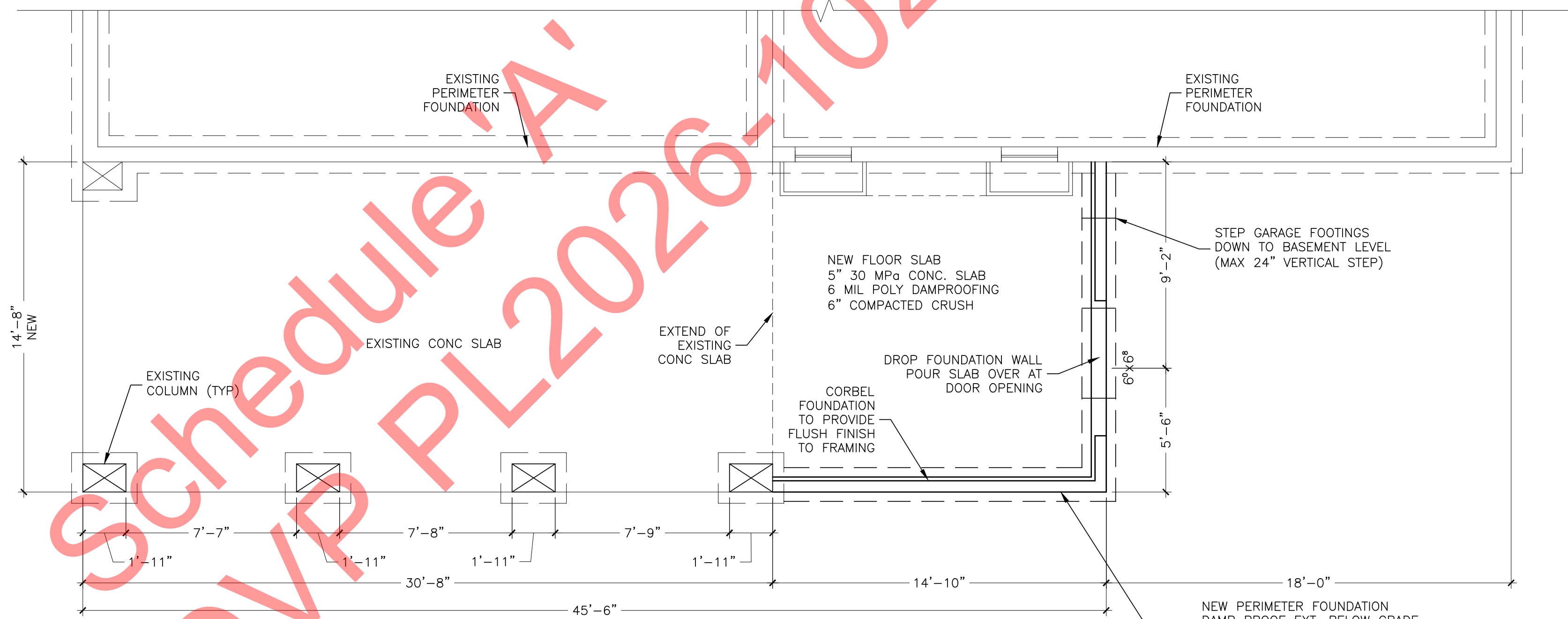
Authorized by City Council, the ____ day of _____, 2026.

Issued this ____ day of _____, 2026.

Angela Collison
Corporate Officer



MAIN FLOOR PLAN



FOUNDATION PLAN

NEW PERIMETER FOUNDATION
DAMP PROOF EXT. BELOW GRADE
8" MIN 20 MPa CONC. WALL REINF'D
W/ HORIZ. 15M BARS @ TOP & BTM
VERT. 15M BARS @ 48" O.C. TIED TO
18"x8" MIN 25 MPa CONT. CONC. FTG.
REINF'D W/ 2-ROWS 15M BAR
R-20 RIGID FOAM INSULATION ON
INTERIOR SIDE BELOW SLAB
STEP AS PER SITE REQ.
PROVIDE MIN. 24" FROST COVER
ON FULL PERIMETER

NOTES

Contractor to verify all measurements prior to construction. Any discrepancies must be reported to the Owner for clarification prior to commencement of construction.

All bearing wall openings supported with 2-ply 2x10 spf#2 on double cripples unless otherwise noted.

Flash all exterior wall penetrations as per current B.C.B.C.

Contractor to ensure all construction and installation meets the requirements set forth in the current B.C.B.C.

These plans do not show all details of the requirements of the current B.C.B.C. and have not been reviewed for full compliance. It is the responsibility of the Owner/Contractor to ensure compliance with the Code and all local municipal bylaws.

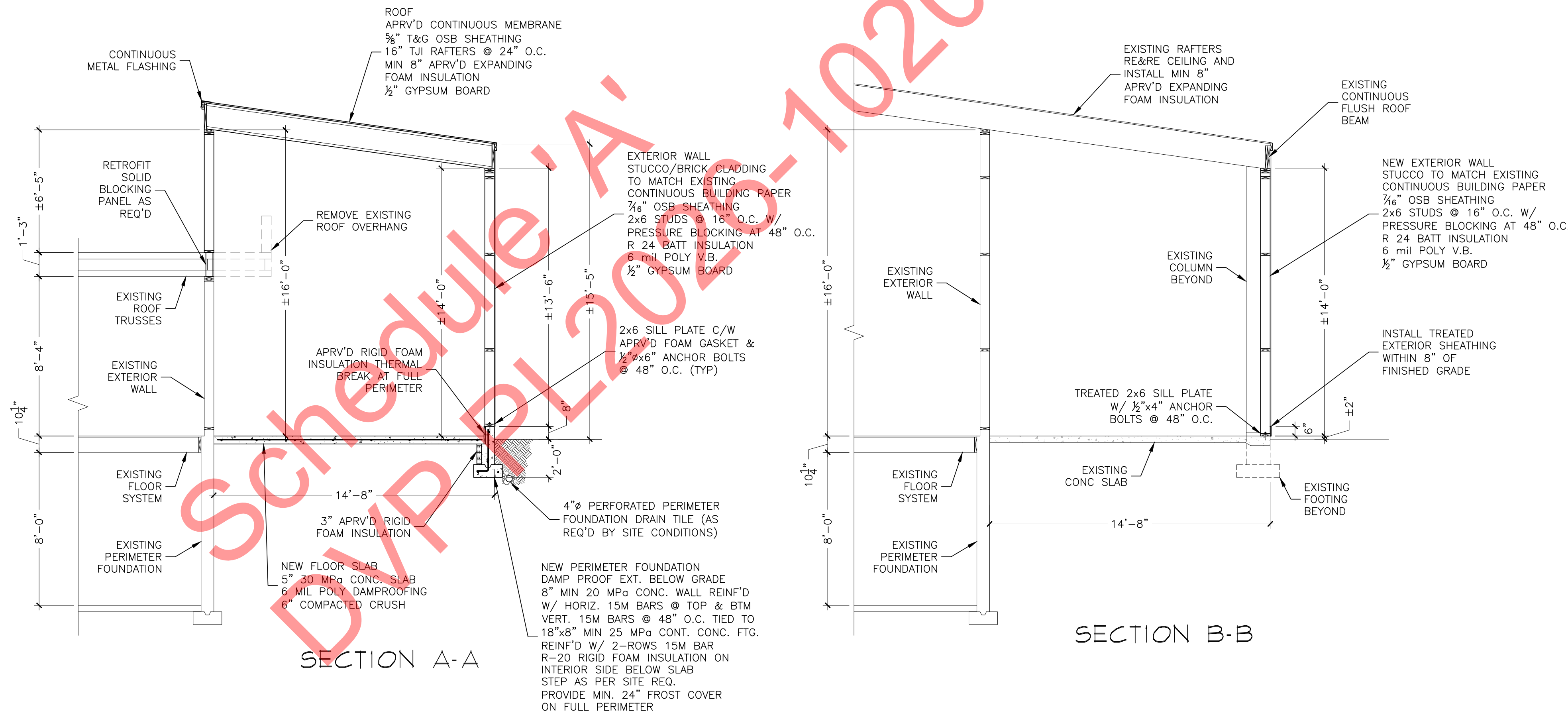
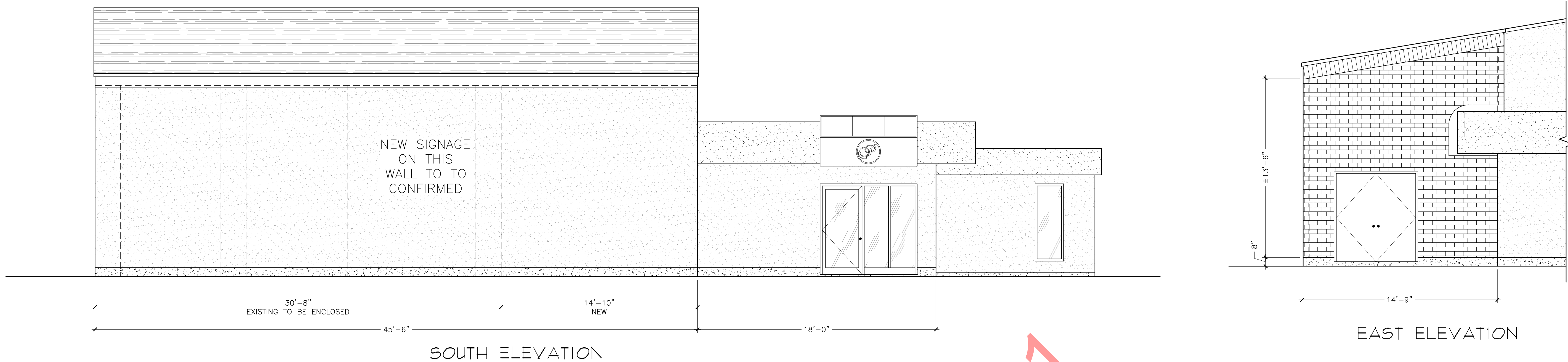
These drawings have been checked by the Owner/Contractor. Aztech Drafting holds no responsibility for any errors or omissions related to design or otherwise.

ISSUED FOR BUILDING PERMIT

AZTECH DRAFTING SERVICES
1288 Lyon Street, Penticton, B.C.
Phone: 250-492-3344 e-mail: service@aztechdrafting.com

REVISIONS				
No.	DATE	DRAWN	CHK'D	DESCRIPTION

PLAN VIEWS	
PROPOSED ADDITION	
1258 MAIN STREET PENTICTON BC	
DRAWN BY: MBW	DATE: MAY 1/26
DESIGN BY:	PROJECT No.: 262306
CHK'D BY:	FILE No.:
SCALE: 1/4"=1'	SHEET No.: 1 OF 2
	REV 0



NOTES

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ISSUED FOR BUILDING PERMIT

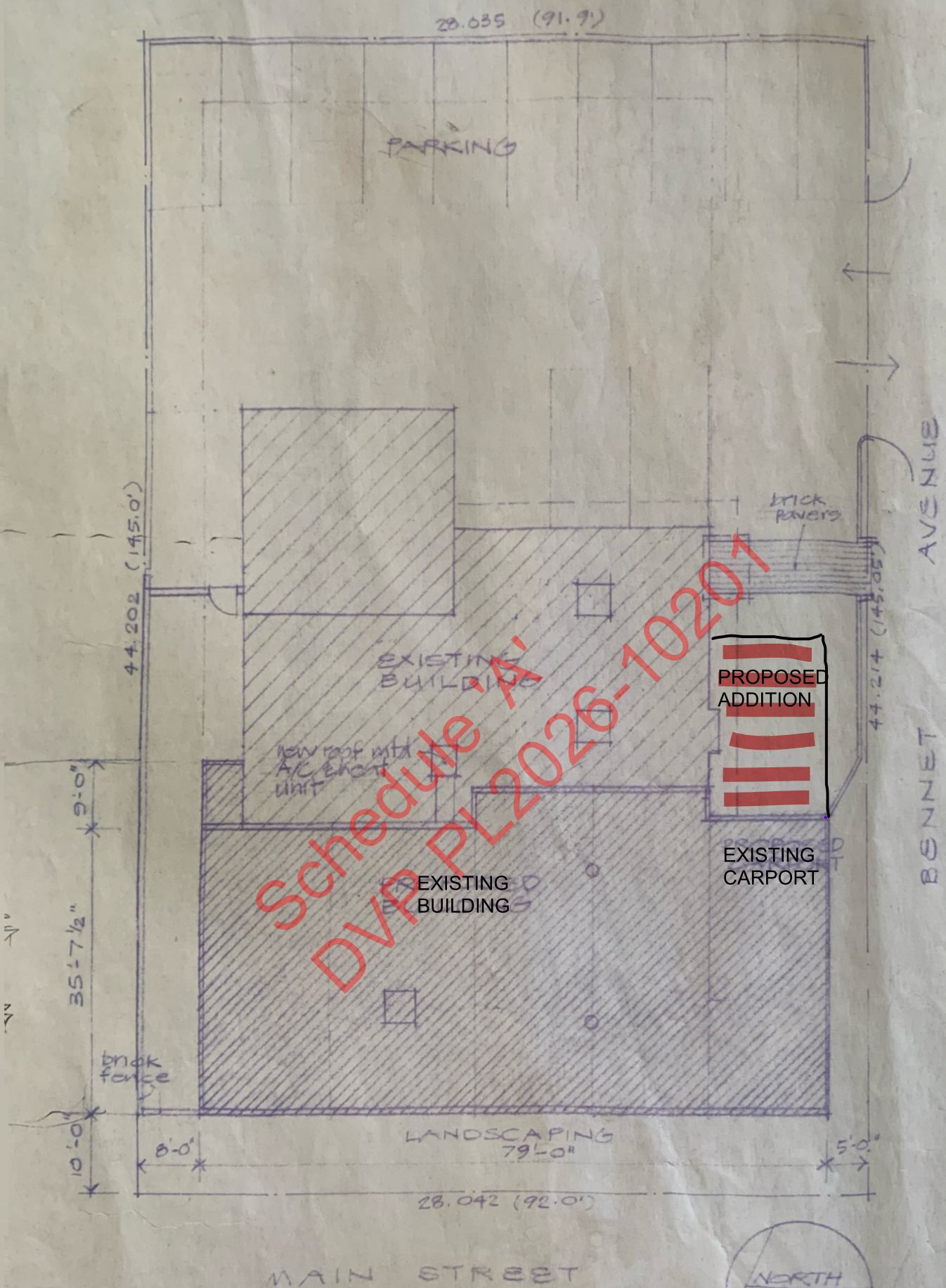
CROSS SECTIONS & ELEVATIONS PROPOSED ADDITION

1258 MAIN STREET
PENTICTON BC

AZTECH DRAFTING SERVICES
1288 Lyon Street, Penticton, B.C.
Phone: 250-492-3344 e-mail: service@aztechdrafting.com

REVISIONS				
No.	DATE	DRAWN	CHK'D	DESCRIPTION

DRAWN BY: MBW	DATE: MAY 1/26
DESIGN BY:	PROJECT No.: 262306
CHK'D BY:	FILE No.:
SCALE: 1/4"=1'	SHEET No.: 2 OF 2
	REV 0



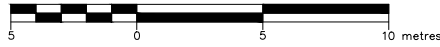
SITE PLAN
 1/16" = 1'-0"

LOT 28 PLAN 250 R.P. 8070 S.D.Y.D.

SITE PLAN SHOWING CERTAIN FEATURES ON PART OF LOT 28, DL 250, SDYD, PLAN 8070 except PLAN 39895

CIVIC ADDRESS: 1258 MAIN STREET, PENTICTON, B.C.
PID: 001-524-933

SCALE 1:150



THE INTENDED PLOT SIZE OF THIS PLAN IS 560mm IN WIDTH BY
432mm IN HEIGHT(C SIZE) WHEN PLOTTED AT A SCALE OF 1:150
THIS PLAN WAS PREPARED FOR BUILDING DESIGN PURPOSES
PREPARED FOR THE EXCLUSIVE USE OF PROVIDENCE FUNERAL HOMES

MAIN STREET

PLAN 8070

PLAN 8070

REM 28
PLAN 8070

EXISTING BUILDING
(MEASURED TO FINISHED EXTERIOR)

LEGEND

- - STANDARD IRON POST FOUND
- - WATER CURBSTOP
- - POWER METER
- - STREET SIGN
- - LIGHT POST
- PP - POWER POLE
- ↑ - POWER POLE ANCHOR
- X 362.34 - SPOT ELEVATION
- - OVERHEAD WIRES

THIS DOCUMENT SHOWS THE RELATIVE LOCATION
OF BUILDINGS WITH RESPECT TO
THE BOUNDARIES OF THE PARCEL DESCRIBED.
THIS DOCUMENT SHALL NOT BE USED TO
DEFINE PROPERTY LINES OR PROPERTY CORNERS

OFFSET DIMENSIONS TO PROPERTY LINES ARE MEASURED FROM EXTERIOR
OF BUILDING AND ARE PERPENDICULAR TO PROPERTY LINES

THE EXTERIOR OF THE BUILDING(S) HAS BEEN DEFINED BY
FINISHED EXTERIOR (STUCCO OR BRICK)

NOTE: SUBJECT TO THE NON-FINANCIAL
CHARGES AND INTERESTS WHICH MAY
AFFECT THE PROPERTY
SEE CERTIFICATE OF TITLE AND RELATED
CHARGE DOCUMENTS FOR CONFIRMATION

THIS PLAN IS BASED ON LAND TITLE AND
SURVEY AUTHORITY RECORDS AND A FIELD SURVEY.
UNREGISTERED INTERESTS HAVE NOT BEEN CONSIDERED.

PARCEL DIMENSIONS DERIVED FROM PLANS 8070, 39895 AND KAP84416

LAND SURVEYING COMPANY AND SURVEYOR ACCEPT NO RESPONSIBILITY
FOR AND HEREBY DISCLAIM ALL OBLIGATIONS AND LIABILITIES FOR DAMAGES
INCLUDING, BUT NOT LIMITED TO, DIRECT, INDIRECT, SPECIAL, AND CONSEQUENTIAL
DAMAGES ARISING OUT OF OR IN CONNECTION WITH ANY DIRECT OR INDIRECT USE

THIS PLAN IS PREPARED SOLELY FOR A LIMITED
CONTRACTUAL USE BETWEEN MANDEVILLE LAND SURVEYING
AND OUR CLIENT. IT IS NOT TO BE USED FOR THE LOCATION
OF PROPERTY LINES. WE ACCEPT NO RESPONSIBILITY FOR ANY
UNAUTHORIZED USE.

ELEVATIONS ARE GEODETIC (ORTHOMETRIC CGVD28 HTV2.0) DERIVED FROM
GNSS OBSERVATION AND PENTICTON MONUMENT #4325
ALL DIMENSIONS ARE IN METRES AND DECIMALS THEREOF

LEGAL BOUNDARIES SHOWN ARE BASED ON LIMITED EXISTING SURVEY EVIDENCE
AND LAND TITLE OFFICE RECORDS. A FULL LEGAL SURVEY IS
RECOMMENDED TO PROPERLY DEFINE BOUNDARIES.

BENNETT AVENUE

PARCEL AREA = 13,156 SQ. FT.
EXISTING FOOTPRINT = 4761 SQ. FT.
(COMBINED BUILDING & CARPORT FOOTPRINTS)
PROPOSED ADDITION FOOTPRINT = 217 SQ. FT.
TOTAL PROPOSED BUILDING FOOTPRINT = 4978 SQ. FT.
PROPOSED NET PARCEL COVERAGE = 37.8%

THE FIELD SURVEY WAS COMPLETED
ON THE 10th DAY OF MARCH, 2026.

Certified Correct as to the practice of land surveying in
accordance with Part 11-5(2) of the Survey and Plan Rules.

ROSS MANDEVILLE
BCLS 918, CLS 1873
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DIGITALLY AUTHENTICATED

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MANDEVILLE LAND SURVEYING INC.
PROFESSIONAL B.C. AND CANADA LAND SURVEYORS
582 MARTIN STREET, PENTICTON, B.C.
PH: 250-488-6377 WEB: MANSURVEYING.COM

FILE: 26-031 DWG: 26-031-SITE

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