



Regular Council Meeting
 to be held at
City of Penticton Council Chambers
 171 Main Street, Penticton, B.C.
 To view the Council Meeting, visit www.penticton.ca

Tuesday, October 6, 2020
 at 1:00 p.m.

1. **Call Regular Council Meeting to Order**

2. **Introduction of Late Items**

3. **Adoption of Agenda**

4. **Recess to Committee of the Whole**

5. **Reconvene the Regular Council Meeting**

6. **Adoption of Minutes:**

6.1 Minutes of the September 15, 2020 Regular Council Meeting 1-5 Adopt

7. **Consent Agenda:**

Recommendation: THAT Council approve the Consent Agenda.

Consent Agenda: 6-18

- 1. Minutes of the September 15, 2020 Committee of the Whole Meeting;
- 2. Economic Prosperity & Development Services Advisory Committee Meeting Draft Minutes of September 18, 2020;
- 3. Arts, Creative & Cultural Innovations Advisory Committee Meeting Draft Minutes of September 18, 2020;
- 4. Special Community Sustainability Advisory Committee Meeting Draft Minutes of September 28, 2020.

8. **Committee and Board Recommendations:**

8.1 Special Community Sustainability Advisory Committee Recommendation from September 28, 2020

Committee Recommendation: THAT Council direct staff to submit a grant funding application to the CleanBC Community Fund for a solar array paired with battery storage for peak shaving at the City Public Works Yard, connected to publically accessible electric car charging stations.

Staff Comments: The recommendation put forward by the Community Sustainability Advisory Committee would see the City applying for a grant for three separate but linked projects all contained in the September 15, 2020 Notice of Motion – Clean BC Grant Memorandum to Council. The proposal would see a solar array generating power which, coupled with power purchased during off peak times, would charge a storage battery. The battery would then contribute power to the electrical grid during peak demand times, thereby reducing the City's electrical

costs. The savings would be able to be passed on to our customers. The Car charging stations would be publically available and would provide a new location for people to charge their electric vehicles.

The three components of the Community Sustainability Advisory Committee recommendation are as follows:

Solar Array – This was looked at in two separate City initiatives. First was the 2017 Natural Resources Canada Smart Grid grant. Second was the 2020 Midgard City of Penticton Generation Study. For grant purposes City staff will, through the use of a consultant, look at ground mounted and roof mounted solar located at the Public Works Yard and at roof mounted solar located at the South Okanagan Event Center. As part of the work updated estimates and power outputs will be prepared. Previous work would indicate that the cost of a solar array could be in the range of \$3,574,000 \$2020.

Battery Storage – This was looked at in the Midgard City of Penticton Generation Study and is currently part of the draft Penticton Electrical Master Plan. The estimated cost of battery storage would be in the range of \$2,500,000 \$2020 for a 2.5 Mw battery.

Publicly Accessible Electric Car Charging Stations – This has been the subject on past grant applications, agreements with BC Hydro and past construction projects. The estimated cost of an Electric Car Charging station would in the range of \$5,000 for a Level 2 charging station (4-6 hour to charge and \$80,000 to \$90,000 plus electrical service upgraded costs for a Direct Current Fast Charging station. NOTE: FBC received NRCan grant funding under the Zero-Emission Vehicle Infrastructure Program or ZEVIP for their DFC's. The total cost of all 3 parts of the project is estimated at \$6,094,000 \$2020. NOTE this assumes 4 Level 2 charging Stations. The source of funding would be the Clean BC Grant and the City Electrical Reserve. The CleanBC Grant has no maximum dollar value for a grant project but suggests that consideration be given to phasing if project costs exceed \$4,739,000. The funding split on the grant is Canada 40%, BC 33.33% and the City 23.67%. As part of the work on writing the grant staff will strategize the best way to approach funding. Should Council approve the Recommendation made by the Community Sustainability Advisory Committee staff would work with a consultant to flesh out and fine tune estimates for the Solar Array portion of the project, work with our Grant Writer to write a grant application, bring a report to the November 3, 2020 Council Meeting seeking a resolution from Council to endorse applying for the grant and committing to the City's portion of the project costs.

9. **Correspondence:**

- 9.1 Penticton Lawn Bowling Club – letter of support 19-22
Recommendation: THAT Council send a letter of support for the Penticton Lawn Bowling Club revitalization program grant-funding request with New Horizons.

10. **Staff Reports:**

- | | | | | |
|-----------|------|--|-------|-------|
| Scandrett | 10.1 | Section 57 Notice on Title – Contraventions against the Building Bylaw
Re: 1060 Government Street
<u>Staff Recommendation:</u> THAT Council resolve to place a Notice on Title under Section 57 of the Community Charter with respect to contravention of the City of Penticton Building Bylaw No. 2018-01 on Lot 1, District Lot 250 SDYD, Plan KAP68055, located at 1060 Government Street (the Property), stating the following:
"Failure to obtain a building permit. Further information about it may be inspected at the municipal hall." | 23-30 | Owner |
| Watkinson | 10.2 | Firesmart Community Funding & Supports Grant
<u>Staff Recommendation:</u> THAT Council support the application for grant funding up to \$150,000.00 from the UBCM under the Community Resiliency Investment (CRI) program which provides 100% funding for the City of Penticton FireSmart program. | 31-32 | |
| Capewell | 10.3 | Development Variance Permit PL2020-8828
Re: 198 Fawn Court
<u>Staff Recommendation:</u> THAT Council approve "Development Variance Permit PL2020-8828" for Lot 1 District Lot 2710 Similkameen Division Yale District Plan EPP74844, located at 198 Fawn Court, a permit to vary Zoning Bylaw Section 10.1.2.5, to reduce the minimum front yard setback from 6.0 m to 3.67 m; AND THAT Council direct staff to issue "Development Variance Permit PL2020-8828". | 33-47 | |
| Collyer | 10.4 | Zoning Amendment Bylaw No. 2020-41
Re: 375 Smythe Drive
<u>Staff Recommendation:</u> THAT Council give first reading to "Zoning Amendment Bylaw No. 2020-41", for Lot 2 District Lot 196 Similkameen Division Yale District Plan KAP90446, located at 375 Smythe Drive, a | 48-66 | |

bylaw to rezone the subject property from A (Agriculture) zone to RM1 (Bareland Strata Housing) zone with the following site-specific provisions:

- In lieu of Section 10.7.1.4, duplexes are not permitted.*
- In lieu of Section 10.7.1.7, townhouses are not permitted.*
- In lieu of Section 10.7.2.3, the maximum density shall be 27 single detached dwellings.*
- In lieu of Section 10.7.2.6, the maximum building height for principal buildings shall be 10.5m.*

AND THAT prior to the adoption of "Zoning Amendment Bylaw No. 2020-41", the developer is required to pay an amount equal to 15% of the upgrade costs based on the final intersection design of Smythe Drive and Lakeside Road determined through the Transportation Masterplan;

AND THAT Council direct staff to refer the application to the October 21, 2020 meeting of the Agricultural Advisory Committee for feedback on "Zoning Amendment Bylaw No. 2020-41" prior to the Public Hearing;

AND THAT Council forward "Zoning Amendment Bylaw No. 2020-41" to the November 3, 2020 Public Hearing.

Moroziuk	10.5	Fees and Charges Amendment Bylaw No. 2020-38 Re: Electric, Sewer, Water and Storm Water <i>Staff Recommendation: THAT Council give first, second and third reading to "Fees and Charges Amendment Bylaw No. 2020-38"; AND THAT Council adopt "Fees and Charges Amendment Bylaw No. 2020-38".</i>	67-94
Bauer	10.6	Fees and Charges Amendment Bylaw No. 2020-37 <i>Staff Recommendation: THAT Council give first, second, and third reading to "Fees and Charges Amendment Bylaw No. 2020-37", a bylaw to set the general 2021 fees and charges; AND THAT Council adopt "Fees and Charges Amendment Bylaw No. 2020-37".</i>	95-137
Bauer	10.7	Bylaw Notice Enforcement Amendment Bylaw No. 2020-39 Municipal Ticketing Information Amendment Bylaw No. 2020-40 Re: Parking Fines <i>Staff Recommendation: THAT Council give first, second, and third reading to "Bylaw Notice Enforcement Amendment Bylaw No. 2020-39", a bylaw to increase "A" Ticket overtime parking and "B" Ticket Infraction fines; AND THAT Council give first, second, and third reading to "Municipal Ticketing Information Amendment Bylaw No. 2020-40".</i>	138-142
Coates	10.8	2021 Permissive Tax Exemption Bylaw No. 2020-36 <i>Staff Recommendation: THAT Council give first, second and third reading to the "2021 Permissive Tax Exemption Bylaw No. 2020-36", a bylaw granting \$588,356 in permissive tax exemptions as listed in Schedule A granting 100% of the allowable exemptions for the 2021 Tax Year; AND THAT Council adopt "2021 Permissive Tax Exemption Bylaw No. 2020-36".</i>	143-154
Collison	10.9	RDOS Director Appointments for 2021 <i>Staff Recommendation: THAT Council approve the following Regional District of Okanagan-Similkameen (RDOS) director appointments and vote distributions effective November 2020: John Vassilaki (5), Judy Sentes (5), Katie Robinson (5), Campbell Watt (4), Frank Regehr, first alternate director, Julius Bloomfield, second alternate director and Jake Kimberley, third alternate director.</i>	155
Kunka	10.10	Local Government approval for Temporary Expanded Liquor Service Areas <i>Staff Recommendation: THAT Council direct staff to inform the Liquor and Cannabis Control Branch (LCRB) of its preference to review and approve all individual requests (Option #02) for liquor primary and manufacturer expansions, prior to licensees submitting their applications to the LCRB for expanded service areas under the Temporary Expanded Service Area Authorization Policy.</i>	156-161

Laven	10.11	200 Block Breezeway Upgrades <i>Staff Recommendation: THAT Council support the Downtown Penticton Association (DPA) Breezeway Improvement Project, by directing \$5,000 towards the initiative and giving approval for the works.</i>	162-167
Laven	10.12	Development Variance Permit PL2020-8855 Re: 903 Vernon Avenue <i>Staff Recommendation: THAT Council approve "Development Variance Permit PL2020-8855" for Lot 2, District Lot 366, Similkameen Division Yale District, Plan EPP37269, located at 903 Vernon Avenue, a permit that increases the permitted lot coverage on the subject property from 40% to 75% and allows for up to 50% of parking to be located offsite, within 200 m of the subject land and subject to the registration of a covenant or lease agreement acceptable to the City securing the parking.</i>	168-174
Laven	10.13	Temporary Use Permit PL2020-8834 Re: 352 Winnipeg Street <i>Staff Recommendation: THAT Council approve "Temporary Use Permit PL2020-8834", a permit to allow the use 'emergency shelter' for Lot A District Lot 4 Group 7 Similkameen Division Yale (Formerly Yale-Lytton) District Plan KAP49367, located at 352 Winnipeg Street, for a period of six-months with the following conditions:</i> <ol style="list-style-type: none"> 1. Permitting the number of beds for winter emergency shelter at 352 Winnipeg Street to a maximum of 42 beds; 2. Requiring all other beds in existing support locations in the community be full before using 352 Winnipeg Street; 3. Requiring appropriate staffing supports to be on-site 24 hours a day; 4. Requiring security to be provided on-site 24 hours a day; 5. Require communication be sent to the neighbouring properties from BC Housing indicating resources available for neighbours; and 6. That operations at Penticton's other shelter location remain operational during the winter months. There may not be a consolidation of shelter services to 352 Winnipeg Street. <i>AND THAT staff be directed to issue "Temporary Use Permit PL2020-8834".</i>	175-185

11. **Bylaws and Permits**

12. **Notice of Motion:**

From Mayor Vassilaki on September 1, 2020:

12.1	<u>Two (2) Additional RCMP Officers</u> <i>THAT Council include funds in the 2021 budget discussion for two additional RCMP members.</i>	186-187	Memo
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12.2	<u>Additional Bylaw Officers / Days of Week & Hours of Operation</u> <i>THAT Council include funds in the 2021 budget discussion for two additional Bylaw Enforcement Officers and increase the hours of bylaw operations to 2:00 am, seven days a week.</i>	188-189	Memo
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From Councillor Regehr on September 1, 2020:

12.3	<u>Increase of Development Cost Charges by 40% on January 1, 2021</u> <i>THAT Council direct staff to bring back an amending bylaw to "Development Cost Charges Bylaw 2007-79" that increases all non-open space (parks) DCCs by 40% on January 1, 2021.</i>	190-191	Memo
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12.4	<u>Amendments to the DCC Reduction Bylaw</u> <i>THAT Council direct staff to bring back a bylaw that repeals "Development Cost Charges Reduction Bylaw 2010-11" and preserves DCC reductions for affordable housing.</i>	192-193	Memo
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From Councillor Sentes on September 1, 2020:

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|------|---|---------|------|
| 12.5 | <u>Heritage Registry Program Review</u>
<i>THAT Council include funds in the 2021 budget discussion for a review and development of a City of Penticton heritage registry program.</i> | 194 | Memo |
| 12.6 | <u>Public Washroom Security / Attendance</u>
<i>THAT Council include funds in the 2021 budget discussion for a plan to address the public washroom safety concerns, this may include security or an attendant.</i> | 195-197 | Memo |
| 12.7 | <u>Parks</u>
<i>THAT Council include funds in the 2021 budget discussion for improved garbage receptacles and maintenance in City parks.</i> | 198 | Memo |

From Councillor Sentes on September 15, 2020:

- | | | | |
|------|---|---------|------|
| 12.8 | <u>Lakawanna Tennis Courts</u>
<i>THAT Council include funds in the 2021 budget discussion for improvements and repair to the two existing tennis courts on Power Street, AND THAT Council direct staff to begin discussions with the local tennis organization as they have proposed funding a tennis bubble on Power Street.</i> | 199-200 | Memo |
|------|---|---------|------|

13. **Business Arising**

14. **Council Round Table**

15. **Public Question Period**

*If you would like to ask Council a question with respect to items that are on the current agenda, please email mayor@penticton.ca before the conclusion of the meeting. Questions will be read in the order they are received. Please limit each question to approximately 60 words or less and use appropriate language.

16. **Adjournment to a Closed Meeting:**

Resolution: THAT Council adjourn to a closed meeting of Council pursuant to the provisions of the Community Charter section 90 (1) as follows:

- (a) personal information about an identifiable individual who holds or is being considered for a position as an officer, employee or agent of the municipality or another position appointed by the municipality;*
- (e) the acquisition, disposition or expropriation of land or improvements, if the Council considers that disclosure could reasonably be expected to harm the interests of the municipality;*
- (g) litigation or potential litigation affecting the municipality.*

Regular Council Meeting¹
held at City of Penticton Council Chambers
171 Main Street, Penticton, B.C.

Tuesday, September 15, 2020
at 1:00 p.m.

- Present:** Mayor Vassilaki
Councillor Bloomfield
Councillor Regehr
Councillor Robinson
Councillor Sentes
Councillor Watt
- Regrets:** Councillor Kimberley
- Staff:** Donny van Dyk, Chief Administrative Officer
Angie Collison, Corporate Officer
Jim Bauer, Chief Financial Officer
Blake Laven, Director of Development Services
Mitch Moroziuk, General Manager of Infrastructure
Caitlyn Anderson, Deputy Corporate Officer

1. Call to Order

The Mayor called the Regular Council Meeting to order at 1:15 p.m.

2. Introduction of Late Items

3. Adoption of Agenda

289/2020

It was MOVED and SECONDED

THAT Council adopt the agenda for the Regular Council Meeting held on September 15, 2020 as presented.

CARRIED UNANIMOUSLY

4. Recess to Committee of the Whole

Council recessed to a Committee of the Whole Meeting at 1:15 p.m.

5. Reconvene the Regular Council Meeting

Council reconvened the Regular Council Meeting at 1:59 p.m.

¹ In accordance with the Province of BC Ministerial Order No. M192, the Council of the City of Penticton is participating in the meeting without public attendance.

6. Adoption of Minutes:

6.1 Minutes of the September 1, 2020 Regular Meeting of Council

290/2020

It was MOVED and SECONDED

THAT Council adopt the minutes of the September 1, 2020 Regular Meeting of Council as presented.

CARRIED UNANIMOUSLY

7. Consent Agenda:

291/2020

It was MOVED and SECONDED

THAT Council approve the Consent Agenda:

1. Minutes of the September 1, 2020 Committee of the Whole Meeting;
2. Minutes of the September 1, 2020 Public Hearing Meetings;
3. Parks and Recreation Advisory Committee Meeting Draft Minutes of August 31, 2020.

CARRIED UNANIMOUSLY

8. Committee and Board Recommendations

9. Correspondence

10. Staff Reports:

- 10.1 Draft concepts for Skaha Lake Park Plan East and next phase of engagement
Consultant via Zoom: Fiona Barton, Outland Design Landscape Architecture

292/2020

It was MOVED and SECONDED

THAT Council direct staff to proceed to the next phase of engagement in the Skaha Lake Park East Plan and review the draft concepts with the community.

CARRIED UNANIMOUSLY

Council recessed the meeting at 2:50 p.m. and reconvened at 3:17 p.m.

- 10.2 Lake-to-Lake AAA Bicycle Route Proposed Preferred Options
Consultant via Zoom: Richard Drdul, Drdul Community Transportation Planning

293/2020

It was MOVED and SECONDED

THAT Council direct staff to proceed to the next phase of engagement in the Lake-to-Lake AAA Bicycle Route project and review with the community the proposed preferred route including Section 1 – South Main Street, Section 2 – Atkinson Street, Section 3 – Fairview Road and Section 4 – Martin Street.

CARRIED UNANIMOUSLY

- 10.3 Section 57 Notice on Title – Contraventions against the Building Bylaw
Re: 101-348 Van Horne Street

Owner/Representative: The owner or agent was not in attendance.

294/2020

It was MOVED and SECONDED

THAT Council resolve to place a Notice on Title under Section 57 of the Community Charter with respect to contravention of the City of Penticton Building Bylaw No. 2018-01 on Lot 1,

District Lot 202 SDYD, Plan KAS1429, located at 101 – 348 Van Horne Street (the Property), stating the following:

“Failure to obtain a building permit. Further information about it may be inspected at the municipal hall.”

CARRIED UNANIMOUSLY

10.4 Agricultural Land Commission Application – 1313 Greyback Road
Andrew Reeder, RDOS

295/2020

It was MOVED and SECONDED

THAT Council refer the request to support the Regional District of Okanagan-Similkameen (RDOS) application to the Agricultural Land Commission to exclude the lands within 1313 Greyback Road from the Agricultural Land Reserve for the purposes of constructing an organics composting facility to the Agriculture Advisory Committee prior to consideration of Council.

DEFEATED

Mayor Vassilaki, Councillors Regehr, Robinson, Sentes, and Watt, Opposed

296/2020

It was MOVED and SECONDED

THAT Council support the Regional District of Okanagan-Similkameen (RDOS) application to the Agricultural Land Commission to exclude the lands within 1313 Greyback Road from the Agricultural Land Reserve for the purposes of constructing an organics composting facility.

CARRIED UNANIMOUSLY

10.5 Capital Planning Update

297/2020

It was MOVED and SECONDED

THAT Council receive into the record the “Capital Planning Update” report dated September 15, 2020.

CARRIED UNANIMOUSLY

10.6 Opportunity to Implement Penalties on Utilities Billing in 2021

298/2020

It was MOVED and SECONDED

THAT Council direct Staff to implement a 2% per bill penalty on the monthly electric, water, and sanitary sewer utility billing effective the 2021 cycle billings;
AND THAT Council direct Staff to incorporate the penalty into utility rates as part of the 2021 Fees and Charges bylaw amendment to recover the lost revenues associated with moving from a discount model to penalty model.

CARRIED

Councillor Sentes, Opposed

10.7 Metered Parking Expansion – Capital Request and Revenue Projections

299/2020

It was MOVED and SECONDED

THAT Council after receiving the financial analysis of expanding the pay parking throughout the commercial areas of the downtown and increasing rates to \$2.00 an hour, direct staff to proceed with amending the fees and charges bylaw to establish the new hourly rate and including the estimated revenue into the 2021 budget;

AND THAT Council direct staff to amend the 2020 Capital Budget to include \$175,000 for the purchase of equipment (pay machines, meter heads, poles, signage and line painting) for the expansion of the metered parking program throughout the commercial areas of the downtown to begin in 2021.

CARRIED UNANIMOUSLY

10.8 Official Community Plan Amendment Bylaw No. 2020-35
Re: 877, 825 and 813 Westminster Avenue West

300/2020

It was MOVED and SECONDED

THAT Council receive the results of the public engagement completed for the redevelopment of 813, 825 and 877 Westminster Avenue West, also known as the El Rancho site, into the public record.

THAT prior to consideration of "Official Community Plan Amendment Bylaw No. 2020-35" and in accordance with Section 475 of the Local Government Act, Council considers whether early and on-going consultation, in addition to the required Public Hearing, is necessary with:

1. One or more persons, organizations or authorities;
2. The Regional District of Okanagan Similkameen;
3. Local First Nations;
4. School District #67;
5. The provincial or federal government and their agencies.

AND THAT it is determined that the consultations conducted to date is sufficient;

AND THAT "Official Community Plan Amendment Bylaw No. 2020-35", a bylaw that amends Map 1: Future Land Use of Official Community Plan Bylaw 2019-08, by changing the future land use designations from Tourist Commercial to Urban Residential, for:

1. Lot 1 District Lot 2 Group 7 Similkameen Division Yale (Formerly Yale-Lytton) District Plan 13891, located at 813 Westminster Ave West, and
2. Lot 2 District Lot 2 Group 7 Similkameen Division Yale (Formerly Yale-Lytton) District Plan 13891, located at 825 Westminster Ave West, and
3. Lot 1 District Lot 2 Group 7 Similkameen Division Yale (Formerly Yale-Lytton) District Plan 15658, located at 877 Westminster Ave West,

Be given first reading and be forwarded to the October 6, 2020 Public Hearing.

DEFEATED

Mayor Vassilaki, Councillors Robinson, and Sentes, Opposed

11. Bylaws and Permits

12. Notice of Motion:

12.1 From Councillor Bloomfield on September 1:

301/2020

It was MOVED and SECONDED

THAT Council direct staff to use the information provided in (but not limited to) the 2020 Midgard Consulting Inc. report titled "City of Penticton Generation Study" and the 2011 City of Penticton Climate Action Plan to investigate the various options for making grant applications for the Clean BC Community Fund in time for the November 12, 2020 deadline.

CARRIED UNANIMOUSLY

12.2 Councillor Sentes provided the following Notice of Motion for consideration at the October 6, 2020 Regular Council Meeting:

THAT Council include funds in the 2021 budget for improvements and repair to the two existing tennis courts on Power Street, AND THAT Council direct staff to begin discussions with the local tennis organization as they have proposed funding a tennis bubble on Power Street.

13. Business Arising

14. Council Round Table

15. Public Question Period

16. Adjournment:

302/2020

It was MOVED and SECONDED

THAT Council adjourn at 6:11 p.m. to a closed meeting of Council pursuant to the provisions of the *Community Charter* section 90 (1) as follows:

- (c) labour relations or other employee relations;
- (g) litigation or potential litigation affecting the municipality;
- (k) negotiations and related discussions respecting the proposed provision of a municipal service that are at their preliminary stages and that, in the view of the Council, could reasonably be expected to harm the interests of the municipality if they were held in public.

CARRIED UNANIMOUSLY

Certified correct:

Confirmed:

Angie Collison
Corporate Officer

John Vassilaki
Mayor

Committee of the Whole
held at City of Penticton Council Chambers
171 Main Street, Penticton, B.C.

Tuesday, September 15, 2020
Recessed from the Regular Council Meeting at 1:00 p.m.

Present: Mayor Vassilaki
Councillor Bloomfield
Councillor Robinson
Councillor Regehr
Councillor Sentes
Councillor Watt

Regrets: Councillor Kimberley

Staff: Donny van Dyk, Chief Administrative Officer
Angie Collison, Corporate Officer
Jim Bauer, Chief Financial Officer
Blake Laven, Director of Development Services
Mitch Moroziuk, General Manager of Infrastructure
Caitlyn Anderson, Deputy Corporate Officer

1. **Call to order**

The Mayor called the Committee of the Whole meeting to order at 1:16 p.m.

2. **Adoption of Agenda**

It was MOVED and SECONDED

THAT the agenda for the Committee of the Whole meeting held on September 15, 2020 be adopted as presented.

CARRIED UNANIMOUSLY

3. **Delegations and Staff Presentations:**

3.1 Tourism Update from Travel Penticton

Thom Tishchik, Executive Director, Travel Penticton provided Council with an update on the summer and COVID-19 tourism, marketing and visitation statistics for Penticton.

3.2 'Change of Pace' Film

Graham Fraser had another commitment and had to leave the meeting at 2:00 p.m.

4. **Adjourn to Regular Meeting**

It was MOVED and SECONDED

THAT Council adjourn the Committee of the Whole meeting held September 15, 2020 at 1:59 p.m. and reconvene the Regular Meeting of Council.

CARRIED UNANIMOUSLY

Certified correct:

Confirmed:

Angie Collison
Corporate Officer

John Vassilaki
Mayor

Economic Prosperity and Development Services Advisory Committee Meeting

to be held via Zoom
Friday, September 18, 2020
at 8:00 a.m.

Present:

Frank Conci, Chair
Sharon Fletcher, Vice Chair
Nathan Little
Chris Allen
Sandra Oldfield (*Left the meeting at 9:00 a.m.*)
Diane Kereluk
Derek Badger
Eric Corneau
Drew Barnes
Josie Tyabji
Cary Berger
Judy Richards
Larry Olson

Council Liaison:

Campbell Watt, Councillor

Staff:

Blake Laven, Director of Development Services
Ken Kunka, Deputy Director of Development Services
Paula McKinnon, Legislative Assistant

Regrets:

John Vassilaki, Mayor
Jeff McGinley
Brian Murphy
Jonathan Rheaume
Taras Kinash

Guest(s):

Katya Irwin, Wordcount Consulting

1. **Call Regular Committee Meeting to Order**

The Economic Prosperity and Development Services Advisory Committee meeting was called to order by the Chair at 8:01 a.m.

2. **Adoption of Agenda**

It was MOVED and SECONDED

2.1 THAT the Economic Prosperity and Development Services Advisory Committee adopt the agenda for the meeting held on September 18, 2020 as amended to include item 4.10 – Review of Item 4.4 of July 10, 2020 Meeting Minutes re Committee Work Plan/Objectives.

CARRIED UNANIMOUSLY

3. **Adoption of Minutes**

- 3.1 Minutes of the July 10, 2020 Economic Prosperity and Development Services Advisory Committee

It was MOVED and SECONDED

THAT the Economic Prosperity and Development Services Advisory Committee adopt the minutes of the July 10, 2020 meeting as presented.

CARRIED UNANIMOUSLY

4. **New Business**

- 4.1 Roundtable Introductions

The Committee was informed that two new voting members have been appointed to the Committee for the remainder of the term. Roundtable introductions were done by Committee members and staff.

- 4.2 June 2020 Monthly Building Statistics

This item was provided for information purposes only.

- 4.3 July 2020 Monthly Building Statistics

This item was provided for information purposes only.

- 4.4 August 2020 Monthly Building Statistics

This item was provided for information purposes only.

- 4.5 Committee Terms of Reference Update – Paula McKinnon, Legislative Assistant

The Legislative Assistant provided a brief overview of the notable changes made to the Committee's updated Terms of Reference.

- 4.6 Economic Development Role Update – Blake Laven, Director of Development Services

The Director of Development Services informed the Committee that Andrew Kemp, Economic Development Specialist, is no longer with the City and that the Economic Development Specialist position will remain vacant through 2020 and a review of the position will take place in 2021.

The Director of Development Services also provided an update on the City's plans moving forward with economic development and briefly reviewed the four standard functions of Economic Development which include business retention and expansion, business attraction, workforce development and resident attraction. The Committee was informed that COVID-19 has challenged the City to deliver services in more efficient manners as the City is currently expecting a \$2.9 million revenue shortfall and expecting an equal or higher number for 2021. To help with cost savings moving forward, the Committee was informed that the following services will be on hold for 2020/2021: Futurebiz, Housing and Hiring Forum/Job Fair, Economic Development has traditionally prepared an Annual report, quarterly Economic Development updates to Council, cluster work, Start-here-Okanagan and PNP Program community lead.

Continued...

Economic Development Role Update – Blake Laven, Director of Development Services – Continued

Members at Large provided their feedback regarding the presented changes to economic development services for 2020/2021. Members expressed their concerns with losing momentum with certain functions as they could aid with the economic recovery process but through general consensus, the Committee supported the changes for the time being considering the City's financial situation.

The Director of Development Services also informed the Committee that Anthony Haddad is returning to the City as the General Manager of Community Services which will aid in filling in some of the current gaps.

4.7 Airport Recovery Strategy – Blake Laven, Director of Development Services

The Director of Development Services provided the Committee with an update on the City's work with the Penticton Airport (YYF) communication/marketing reset.

The Committee was informed of the impacts of COVID on YYF, importance of YYF to our region as well as background information including that YYF is federally owned and that the City does not receive any revenue from YYF which results in low parking fees and no airport improvement fees. The Committee was also informed that as a result of the airport being federally owned, there is a lack of revenue put towards marketing making YYF more susceptible to loss of service. As a result, the City, through an unofficial partnership with the airport manager, will aid in minor rebranding which will include a website redesign as well as a building plan for a targeted media push to raise awareness.

Members at large inquired about the relationship between YYF and the Penticton Indian Band, possibility of the City fully taking on the communication role, federal COVID relief programs that YYF has access to that the City could leverage, possibility of the federal government disposing YYF and potential partnership ideas.

4.8 COVID City Hall Hours Feedback – Blake Laven, Director of Development Services

The Director of Development Services informed the Committee that the City is currently operating on reduced hours of 9:00 a.m. to 12:00 p.m. resulting in minor cost savings, higher utilization of digital means, minor service level reductions and minor productivity improvements.

Members at large provided their feedback on the City/Yards hours of operation which included lack of clear communication from staff when electronically submitting applications (building, business permits) to the City, the need to review the online penalty/extra fee for citizens making online payments and the possibility of alternating days with morning and afternoon operating hours for more flexibility.

Sandra Oldfield returned to the meeting at 9:28 a.m.

4.9 City of Penticton 2021 Budget Update – Blake Laven, Director of Development Services

The Director of Development Services notified the Committee for information purposes of the following upcoming key budget dates

- October 6 – Fees and Charges Bylaw to Council;
- November 16-20 – Public engagement; and
- November 24-26 – Council deliberations.

Continued...

City of Penticton 2021 Budget Update – Blake Laven, Director of Development Services – Continued

The Committee was also briefly informed about proposed projects for Economic and Social Development, Building and Licensing, Planning, Development Engineering and Bylaw Enforcement which are planned to be included as part of the 2021 Development Services Department budget.

4.10 Review of Item 4.4 of July 10, 2020 Meeting Minutes re Committee Work Plan/Objectives – Frank Conci, Chair

The Chair briefly reviewed the objectives noted in the July 10, 2020 meeting minutes and asked the Committee for any feedback on necessary revisions due to the recent service changes to economic development.

Members at large provided the following feedback

- consider an online Futurebiz rather than eliminating it altogether for 2020/2021;
- continue simplifying the building application process to improve online efficiencies;
- continue to have Penticton Airport strategy discussions;
- continue to focus on economic development (recovery, identifying any roadblocks, etc.)
- continue the opportunity for consideration with upcoming large developments (ie. Spiller Road for next meeting)

Director of Development Services informed the Committee that the City is partnering with Travel Penticton, the Downtown Penticton Association and Chamber of Commerce to do a business climate survey coming out of COVID. The survey results will be shared with the Committee for review and potential recommendations to Council moving forward.

5. **Next Meeting**

The next Economic Prosperity and Development Services Advisory Committee meeting is scheduled to be held on Friday, October 23, 2020 at 8:00 a.m.

6. **Public Question Period**

7. **Adjournment**

It was MOVED and SECONDED

THAT the Economic Prosperity and Development Services Advisory Committee adjourn the meeting held on September 18, 2020 at 9:57 a.m.

CARRIED UNANIMOUSLY

Certified Correct:

Paula McKinnon
Legislative Assistant

Arts, Creative and Cultural Innovations Advisory Committee Meeting

held via Zoom
Friday, September 18, 2020
at 2:30 p.m.

- Present:** Timothy Tweed (*Chair*)
Brenda Longland (*Vice Chair*)
Kim Palmer
Anita Petersen
Juliana Buitenhuis
Erica Stewart
Calvin Meiklejohn
- Council:** Judy Sentes, Councillor (*Liaison*) (*Left the meeting at 3:47 p.m.*)
- Staff:** Blake Laven, Director of Development Services
Kelsey Johnson, Recreation Business Supervisor
Paula McKinnon, Legislative Assistant
- Regrets:** Paul Crawford
Mairoula Dimopoulos
- Guest(s):** Lynn Allin, Downtown Penticton Association (*Left the meeting at 3:09 p.m.*)
Amber Belcourt, Downtown Penticton Association (*Left the meeting at 3:09 p.m.*)
Katya Irwin, Wordcount Consulting

1. **Call to Order**

The Arts, Creative and Cultural Innovations Committee was called to order by the Chair at 2:30 p.m.

2. **Application of Rules of Procedure**

It was MOVED and SECONDED

THAT the Arts, Creative & Cultural Innovations Advisory Committee temporarily suspend the voting meeting procedures (Council Procedure Bylaw No. 2018-35 25 (1)(b)) and when ready to vote and the question is called those in favor will say "in favour" and those opposed will say "opposed" for the duration of the British Columbia provincial state of emergency in response to the COVID-19 pandemic.

CARRIED UNANIMOUSLY

3. **Adoption of Agenda**

It was MOVED and SECONDED

THAT the Arts, Creative and Cultural Innovations Committee adopt the agenda for the meeting held on September 18, 2020 as amended removing the title of the Shatford Centre organization from item 6.4 (b) of the agenda.

CARRIED UNANIMOUSLY

4. **Adoption of Minutes**

4.1 Minutes of the February 18, 2020 Arts, Creative and Cultural Innovations Advisory Committee

It was MOVED and SECONDED

THAT the Arts, Creative and Cultural Innovations Advisory Committee adopt the minutes of the February 18, 2020 meeting as presented.

CARRIED UNANIMOUSLY

5. **Correspondence**

5.1 200 Block Breezeway Project – Lynn Allin and Amber Belcourt, Downtown Penticton Association

Lynn Allin and Amber Belcourt, Downtown Penticton Association (DPA), presented to the Committee the Breezeway Project which entails murals in a digital format being printed on vinyl anti-graffiti wraps with the initiative of safety, economic development and parking in mind.

Calvin Meiklejohn entered the meeting at 2:39 p.m.

The Committee was provided with an overview of the project budget which includes a \$10,000 grant from Tweed Collective, \$2,000 from the DPA and \$4,500 in-kind from the City for clean-up and preparation work resulting in a budget of \$16,500. The Committee was also informed that the DPA is struggling to determine how to pay artists equally and fairly with a budget of \$1,000 per artist/board in mind. The DPA asked the Committee for funding of \$5,000 to increase the budget to pay artists a higher rate. The Committee and DPA was reminded that Advisory Committees do not have a budget, however, they do have the capacity to make recommendations to Council.

Members at large inquired about a theme, lighting in the breezeway to increase the safety and security of the area, curation and continuity, indicators to attract traffic to the breezeway, whether an open call for local artists would take place, the type of artwork being sought (new, original, exclusive), contacting local downtown art galleries to help procure art for the project and the project timeline.

It was MOVED and SECONDED

THAT the Arts, Creative and Cultural Innovations Advisory Committee recommend to Council to support the Downtown Penticton Association’s ask for \$5,000 towards the 200 Block Breezeway Project;

AND THAT preference be provided to local artists and indigenous representation.

CARRIED UNANIMOUSLY

6. **New Business**

6.1 Roundtable Introductions

Committee members and staff participated in roundtable introductions to welcome two new appointed voting members to the Committee for the remainder of the term.

6.2 Committee Terms of Reference Update – Paula McKinnon, Legislative Assistant

The Legislative Assistant provided a brief overview of the notable changes made to the Committee's updated Terms of Reference.

6.3 City of Penticton COVID-19 & 2021 Budget Process Updates – Blake Laven, Director of Development Services

The Director of Development Services provided the Committee with an overview of the City's response efforts to COVID-19 to date. The Committee was informed that COVID-19 has challenged the City to deliver services in more efficient manners as the City is currently expecting a \$3.9 million revenue shortfall and expecting an equal or higher number for 2021 challenging the City to balance the budget.

6.4 Representative Updates

- a. Penticton Art Gallery
- b. Okanagan School of Arts (OSA)
 - Lost revenue stream due to no public gatherings
 - School District not renewing lease, City negotiated on OSA's behalf for an extension to the end of August
 - Offering fall classes – Story Catcher, Painting with Exuberant Colour and Guided Autobiography - using the Elks Lodge and Zoom
- c. Penticton Arts Council
 - Had to move programming to online format and remain active throughout pandemic with the exception of closing Lier House
 - Currently in process of slowly re-opening Lier House with necessary COVID precautions
 - Supplied 125-150 art packs to various elders in the community
 - Currently in process of completing various grant applications to get funding in place for next year
 - Virtual Annual General Meeting scheduled for Wednesday, September 30 at 6 p.m.

7. **Next Meeting**

The next Arts, Creative and Cultural Innovations Advisory Committee meeting is scheduled to be held on October 23, 2020 at 2:30 p.m. via Zoom, if required.

CARRIED UNANIMOUSLY

8. **Public Question Period**

9. **Adjournment**

It was MOVED and SECONDED

THAT the Arts, Creative and Cultural Innovations Advisory Committee meeting held on September 18, 2020 be adjourned at 3:49 p.m.

CARRIED UNANIMOUSLY

Certified Correct:

Paula McKinnon
Legislative Assistant

Special Community Sustainability Advisory Committee Meeting

to be held via Zoom
Monday, September 28, 2020
at 9:00 a.m.

Present: Chris Allen, Chair
Brad Dollevoet, Vice Chair
Margaret Holm
Nicolas Stulberg
Philip Hawkes
Randy Boras
Jacqueline Duncan

Council Liaison: Julius Bloomfield, Councillor

Staff: Mitch Moroziuk, General Manager of Infrastructure
David Kassian, Community Sustainability Coordinator
Chris Schmidt, Facilities Supervisor
Shawn Filice, Electric Utility Manager
Paula McKinnon, Legislative Assistant

Regrets: Brian Rippy

Guest: Katya Irwin, Wordcount Consulting

1. **Call to Order**

The Community Sustainability Advisory Committee was called to order by the Chair at 9:01 a.m.

2. **Adoption of Agenda**

It was MOVED and SECONDED

THAT the Community Sustainability Advisory Committee adopt the agenda for the meeting held on September 28, 2020 as presented.

CARRIED UNANIMOUSLY

3. **New Business**

3.1 Notice of Motion from Councillor Bloomfield on September 1 Re: Clean BC Grant – Mitch Moroziuk, General Manager of Infrastructure

Councillor Bloomfield introduced his September 1 notice of motion endorsed by Council at the September 15 regular meeting for the Committee’s consideration.

The General Manager of Infrastructure provided the Committee with a review of the applicable projects that fit within the criteria of the Clean BC Grant outlined in the provided report titled ‘Notice of Motion – Clean BC Grant’, dated September 15, 2020. The applicable projects came from the 2020 Midgard report as well as the 2011 Community Action Plan and Corporate Climate Action Plan.

Members at large inquired about the two noted submitted projects to the National Research Council – 190KW Parking lot Solar City Hall and 400 KW Parking lot Solar City Public Works Yard, project budget limitation, the Penticton Indian Band’s hydrogen power peak shaving project, and rooftop solar project cost updates and the consideration of rooftop solar at any other high-use City facilities.

The following potential projects were brought forward by members at large for consideration:

- Purchase of a zero emissions Zamboni
- Electric car charging stations
- Composting program
- Solid waste facility project
- Trenchless technology for infrastructure improvements

Discussions ensued regarding each of the above mentioned potential projects and whether they fit the criteria and timing of the Clean BC grant. The following items were further discussed for consideration by the Committee to recommend to Council:

- Parking lot Solar City Public Works Yard and battery storage for peak shaving
- Rooftop solar at City Hall and battery storage
- Charging stations in-front of City Hall and other high-use areas

The Committee was reminded that in order to qualify for the grant the applicable project must benefit the broader public and not only the City.

It was MOVED and SECONDED

THAT the Community Sustainability Advisory Committee recommend to Council to direct staff to submit a grant funding application to the CleanBC Community Fund for a solar array paired with battery storage for peak shaving at the City Public Works Yard, connected to publically accessible electric car charging stations.

CARRIED UNANIMOUSLY

4. **Public Question Period**

5. **Adjournment**

The Community Sustainability Advisory Committee meeting held on Monday, September 28, 2020 adjourned at 10:37 a.m.

CARRIED UNANIMOUSLY

Certified Correct:

Paula McKinnon
Legislative Assistant

Penticton Lawn Bowling Club

260 Brunswick Street,
Penticton, BC

September 19, 2020

Penticton City Hall
171 Main Street
Penticton, BC A V2S4A9
Mayor and Council

Dear Sirs or Madam;

The Penticton Lawn Bowling Club launched a revitalization program last year. Unfortunately due to the Covid-19 virus we were unable to put our plan in place as far as recruitment of new members. This program has not been abandoned, it is simply on hold until we can put the plan in place.

We did not receive approval for our submission to The New Horizons Program for Seniors last year, however we plan to submit an application again this year. One of the requirements of this program is a letter of support from a local authority. Our requirements have not changed materially from last year and we will be asking for a grant for new appliances, new Bowls and carpets for indoor bowling. You provided a letter to us last year and I am writing to request a similar letter for this year. I have attached last year's letter for reference.

On behalf of The Penticton Lawn Bowling Club we would also like to thank you for the grant we received last year. We had hoped to put up a mural on the wall built by the OneSky building next to us. Unfortunately the owners would not approve this. We have decided instead to use these funds for a fence along the south side of the property. The hedges along that side are dying and something needs to replace these. This will enhance the look and value of the property.

Please contact me if you require any further information.

Yours truly,

Ron Crawford

Ron Crawford



June 19, 2019

To Whom it May Concern

Dear Sir/Madam;

Re: Penticton Lawn Bowling Club Revitalization Program

At the June 18, 2019 Regular meeting, Council unanimously endorsed the following resolution:

THAT Council send a letter of support for the Penticton Lawn Bowling Club revitalization program grant-funding request with New Horizons.

The Penticton Lawn Bowling Club has been a valuable member of the Penticton community since its inception in 1929. They are embarking on a program to revitalize the club including attracting more members.

I have been provided with a copy of the draft application and support the request for funding from the Penticton Lawn Bowling Club. I understand the club will also be applying to the City to supplement this application when our Municipal Grant Program opens up in July. We will give full consideration for the portion asked of us when we receive their application.

Your consideration of this funding is very much appreciated.

Sincerely,

John Vassilaki
Mayor

Penticton Lawn Bowling Club
 Revitalization – Phase I
 Recruitment and Retention

This document sets out the planned recruitment and retention strategy for new members. Previous efforts using advertising to encourage prospective members to attend an open house have only met with limited success.

It is anticipated that we will advertise in Penticton, Summerland, Keremeos, Kaleden, Okanagan Falls and Naramata newspapers and other means such as bulletin boards etc. The advertising will attempt to have prospects attend a meeting in their local community where PLBC members would present the game to them. These presentations will take place in March.

Prospects will be encouraged to attend 4 to 6 free carpet/lawn bowling combinations during April and May. Prizes will be available to the winners of this tournament. Special door prizes will also be given at each session. After these sessions prospects will be canvassed to see if they wish to join the club. We may also want to consider offering a discounted membership for the first year.

All new members will attend a one-hour training session to educate them on lawn bowling rules and protocol. New members will be assigned a “buddy” from the existing members. These members will be responsible for ensuring that each new member becomes comfortable with the club and help with instruction and befriend them until they become accustomed to the club.

The following is a breakdown of the costs along with further explanation of each line item:

	RDOS	Penticton	Bowls BC	Total
Video		1,200		1,200
Newspaper Advertising				
Penticton Newspaper		600		600
Skaha News 4 X \$200	800			800
Hall Rental 4 X \$75/2 X \$100	300	200		500
Travel	100	-		100
Refreshments	200	200		400
Door Prizes	100	200		300
Brochures		500		500

Open House Costs		100		100
Promotional Pens			150	150
Coffee/Refreshments			50	50
New Member Tournament			300	300
	1,500	3,000	500	5,000

Video – This is anticipated to be a one or two minute video to show the basic aspects of the game; the benefits of the game and the physical benefits as well as the friendship aspect of being a part of a club.

Penticton Newspaper – Two large advertisements in the local newspaper to encourage prospects to attend an introduction to the game.

Skaha News – Advertisements in local newspapers, bulletin boards etc. to encourage prospects from outlying areas to attend an introduction to the game. These presentations would take place in the communities of Okanagan Falls, Keremeos, Kaleden, Summerland and Naramata.

Hall Rental – Halls will be rented in the outlying areas as well as in Penticton to give presentations.

Travel – Minimal travel by auto is required to outlying areas. Approximate distance is expected to be between 150 and 200 kilometres.

Refreshments – Allows for coffee, tea and snacks both in outlying areas and in Penticton.

Door prizes – Door prizes to be given out at presentations.

Brochures – This allows for updating existing brochures.

Open House Costs – An open house will be held in early May for any other prospects who might be interested in trying the game. This does not include those who will be part of March advertising to form a new prospects league.

Promotional Pens – Pens to be given at the presentation meetings and the open house as well as other promotions.

Coffee/Refreshments – Refreshments during league play for new prospects.

New Member Tournament Prizes – This will consist of 4 to 6 games played on both indoor carpeting and outdoor lawn in April and early May. Prizes will be given to the top bowlers. Prizes could be a free or discounted membership.

The target number of new members for this first phase is 25. The total new members targeted for all phases is 50.

Council Report

penticton.ca

Date: October 6, 2020
To: Donny van Dyk, Chief Administrative Officer
From: Ken Kunka, Deputy Director of Development Services
Address: 1060 Government Street

File No: Civic

Subject: Section 57 Notice on Title – Contraventions against the Building Bylaw

Staff Recommendation

THAT Council resolve to place a Notice on Title under Section 57 of the *Community Charter* with respect to contravention of the City of Penticton *Building Bylaw No. 2018-01* on Lot 1, District Lot 250 SDYD, Plan KAP68055, located at 1060 Government Street (the *Property*), stating the following:

“Failure to obtain a building permit. Further information about it may be inspected at the municipal hall.”

Executive Summary

This report recommends that pursuant to Section 57 of the *Community Charter*, a Notice be registered with the Land Title and Survey Authority against the *Property* for failure to comply with the City of Penticton *Building Bylaw No. 2018-01* and the *British Columbia Building Code*, contraventions which are related to the safety of the building and the above ground pool on the property. This report recommends Council support the notice and provide the property owner with an opportunity to be heard.

Strategic priority objective

Community Safety: The City of Penticton will support a safe, secure and healthy community.

Background

On May 12, 2020, staff sent a first letter to the property owner regarding a suspected illegal secondary suite in the basement of the single detached dwelling at the property. From May 15, 2020 to July 23, 2020, the property owner continued to deny access to staff, because the property owner claimed that the tenants were refusing all entry due to the COVID pandemic. To show good faith, staff initially agreed to suspend action on the file for 30 days, but with the mutual understanding that the provincial re-opening would render the property owner's claims unsubstantiated.

On July 24, 2020, staff sent a demand letter to the property owner, and posted the demand letter to the property. As the tenants allowed staff entry to the secondary suite on July 28, 2020, staff discovered an illegal secondary suite and an illegal above ground pool. After the letter dated August 6, 2020 was sent to the property owner, a pre-application meeting was agreed to by the property owner. During the pre-application meeting, the property owner agreed to submit, by August 21, 2020, a building permit application for both the decommissioning of the illegal secondary suite and the removal of the above

ground pool. On August 27, 2020, as the property owner failed to submit a permit application, staff warned the property owner that enforcement would be commenced.



Photograph of Secondary Suite Kitchen from July 28, 2020



Photograph of Above Ground Pool from July 28, 2020

On September 17, 2020, staff completed a final review of the case file, and determined that no building permit applications had been submitted to legalize the secondary suite and/or the above ground pool. As outlined within the Chronology of Events (Attachment A), the Property has generated significant enforcement history and staff are now recommending escalating enforcement action as outlined in Council's *Building Compliance Policy (Resolution No. 437/2018)* - to ensure compliance and requesting Council place a Notice on the property title via section 57 of the *Community Charter* (Attachment C).

City of Penticton – Building Bylaw No. 2018-01

As outlined in division 1 of the *Community Charter*, local governments have the authority to regulate construction. In the City of Penticton, the power to regulate construction is exercised through *Building Bylaw No. 2018-01*. The illegal construction of the secondary suite and above ground pool both fall under *Building Bylaw No. 2018-01*.

Financial implication

The City's expenditure to registering a Notice on Title is \$74.16 plus staff time.

Analysis

During the course of this enforcement action, staff have followed Council's approved *Building Compliance Policy*, as well as section 57(1) of the *Community Charter*, which allows for a building inspector to recommend that council consider a resolution to have a notice placed on the title of the property.

As further enforcement efforts have not brought the property into a safe, conforming situation, staff are now recommending a notice on title and would like Council to consider the following information when considering this action:

- The potential safety risks related to occupants, emergency responders and to neighbouring properties for works completed without permits;
- The potential for legal claims as a result of injury or damage to property if the City did not choose to enforce;
- The reputation of not enforcing bylaws to ensure compliance with City and Provincial health and safety regulations;
- Chronology of Events that details actions staff have taken to remedy the safety concerns (Attachment A).

Under the authority of the Section 57(3) of the *Community Charter*, it is appropriate for Council to consider a resolution to place a Notice on Title for the illegal construction of a secondary suite, and an above ground pool. As the property owner has remained only in intermittent contact with city staff to resolve this matter, staff are recommending the registration of the Section 57 due to the history of non-compliance. When the works have been completed, then the Notice on Title can be requested to be removed by the property owner under Section 58 of the *Community Charter* (Attachment C).

Staff will also look at further enforcement such as remedial action, should the works not be brought into compliance in a realistic timeframe.

Attachments

Attachment A – Chronology of Events

Attachment B – Letter dated August 6, 2020

Attachment C – Sections 57 & 58 of the *Community Charter*

Respectfully submitted,

Ken Kunka ASCT, RBO
Deputy Director of Development Services

Concurrence

Director of Development Services BL	A/Chief Administrative Officer JB
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Attachment A – Chronology of Events

Chronology of Events

1060 Government Street

Date of Documentation	Description	Associated Document
September 21, 2020	Letter sent to the property owner that stated that Council would consider placing a Notice on Title for the property.	
August 27, 2020	E-mail sent to the property owner regarding the commencement of enforcement action.	
August 20, 2020	Staff met with the property owner who agreed to submit an application by August 21, 2020 for the decommissioning of the illegal secondary suite and the removal of the illegal above ground pool.	
August 6, 2020	Letter and e-mail sent to the property owner regarding the results of the inspection on July 28, 2020.	Attachment B
July 28, 2020	Staff conducted an inspection of the illegal secondary suite, and discovered an illegal above ground pool on the property.	
July 24, 2020	Tenants agreed to allow staff access to the illegal secondary suite.	
July 24, 2020	Staff sent a demand letter to the property owner, and posted the demand letter at the property.	
July 23, 2020	Property owner claimed that the tenants were refusing entry to the property due to COVID.	
June 11, 2020	Staff agreed to delay action for 30 days, as property owner claimed that tenants were refusing entry to the property due to COVID.	
June 8, 2020	Property owner claimed that tenants were refusing entry due to COVID.	
May 15, 2020	Property owner claimed that the illegal secondary suite would be resolved after the end of COVID.	
May 12, 2020	Letter sent to the property owner regarding the illegal secondary suite.	
February 24, 2020	Staff confirmed the existence of an illegal secondary suite during an unrelated inspection.	
August 9, 2017	The City received a complaint regarding the illegal secondary suite.	

Attachment B – Letter Dated August 6, 2020



City of Penticton
171 Main St. | Penticton B.C. | V2A 5A9
www.penticton.ca | ask@penticton.ca

Ref No: CFS 158813

August 6, 2020

PENTICTON, BC V2A 6N8

Dear Owner,

Re: Illegal Suite Confirmation & Work without Permit – 1060 Government Street - LT 1, DL 250 SDYD, Plan KAP68055

Please be advised that this letter confirms our site inspection on July 28, 2020, which identified a secondary suite and an above ground pool existed without the benefit of the appropriate building permits. Section 12.1 of *Building Bylaw No. 2018-01* provides the following:

- Subject to Part 12 of this bylaw, every owner must apply for and obtain a permit, prior to:
 - (s) construction of a new secondary suite;
 - (q) construction or alteration of pools or pool fences.

In order to bring the secondary suite and above ground pool into compliance, we request that you select one the following options listed below.

Secondary Suite

Options to meet City of Penticton Regulations:

1. Decommission the secondary suite – No Occupancy – Within 30 days:

- a. Apply for a building permit to decommission the secondary suite with immediate safety improvements as listed below will apply.
- b. Remove the cooking appliance and ventilation unit in the secondary suite.
- c. Provide confirmation, from a certified tradesperson, of Plumbing and Electrical safety compliance.



2. Retain the secondary suite - Permit issuance and Immediate Life and Safety Concerns completed* – Within 3 months:

- a. Install a minimum of one (1) photo-electric interconnected smoke alarm that is wired in place on each floor.



- b. Provide an electrical, gas, and plumbing review of the “unauthorized suite” area.
- c. Provide confirmation of safe heating, a woodstove is not allowed to be the primary source of heating.
- d. Provide confirmation that the each sleeping room has an unobstructed opening of not less than 0.35 m² in area with no dimension less than 380 mm, and a clearance of not less than 0.76 m, where a window opens into a window well.

**Please be aware that the above items are not the minimum requirements, and the illegal secondary suite may be posted with NO OCCUPANCY, if the items are not attainable in a reasonable amount of time.*

Above Ground Pool

Options to meet City of Penticton

Regulations:

Our inspection also identified an above ground pool with a depth that exceeded 600mm. Due to the above ground pool’s depth, a building permit for the pool was required.



1. Remove the Above Ground Pool – Remedial Works Completed – Within 30 days:

- a. No building permit is required for the removal of the above ground pool.

2. Retain the Above Ground Pool – Permit issuance and Remedial Works Completed – Within 3 Months:

- a. Install fencing on the access ladder to limit access, with a child resistant self-closing and self-latching gate through the fence.

The Building and Licensing Department would like to work with you through the permit process to seek compliance, if you wish to retain the secondary suite and above ground pool. Our main goal is to ensure the safety of the occupants as well as the protection of surrounding properties.

Failure to select an option, and arrange for a pre-application meeting, by **August 24, 2020** will result in legal action, including fines of \$450.00 for every 24 hours the property remains in non-compliance. Fines will be issued pursuant to the *Building Bylaw No. 2018-01*. As per section 57 of the *Community Charter*, a Notice on Title may also occur. Please be aware that Notice on the Tax Certificate has been posted for Bylaw infractions and will remain until compliancy is obtained.

The City of Penticton trusts that you will take corrective measures in response to this letter. You may contact me directly at 250-490-2588 or by e-mail at duncan.scandrett@penticton.ca. Office hours are Monday through Friday from 8:30 AM to 4:30 PM.



Attachment C – Sections 57 & 58 of the Community Charter

Note against land title that building regulations contravened

57 (1) A building inspector may recommend to the council that it consider a resolution under subsection (3) if, during the course of carrying out duties, the building inspector

(a) observes a condition, with respect to land or a building or other structure, that the inspector considers

(i) results from the contravention of, or is in contravention of,

(A) a municipal bylaw,

(B) a Provincial building regulation, or

(C) any other enactment that relates to the construction or safety of buildings or other structures, and

(ii) that, as a result of the condition, a building or other structure is unsafe or is unlikely to be usable for its expected purpose during its normal lifetime, or

(b) discovers that

(i) something was done with respect to a building or other structure, or the construction of a building or other structure, that required a permit or an inspection under a bylaw, regulation or enactment referred to in paragraph (a) (i), and

(ii) the permit was not obtained or the inspection not satisfactorily completed.

(2) A recommendation under subsection (1) must be given in writing to the corporate officer, who must

(a) give notice to the registered owner of the land to which the recommendation relates, and

(b) after notice under paragraph (a), place the matter before the council.

(3) After providing the building inspector and the owner an opportunity to be heard, the council may confirm the recommendations of the building inspector and pass a resolution directing the corporate officer to file a notice in the land title office stating that

(a) a resolution relating to that land has been made under this section, and

(b) further information about it may be inspected at the municipal hall.

(4) The corporate officer must ensure that all records are available for the purpose of subsection (3) (b).

(5) If the registrar of land titles receives a notice under subsection (3) and payment of the prescribed fee, the registrar must make a note of the filing against the title to the land that is affected by the notice.

(6) The note of a filing of a notice under this section is extinguished when a new title to the land is issued as a result of the deposit of a plan of subdivision or a strata plan.

(7) In the event of any omission, mistake or misfeasance by the registrar or an employee of the registrar in relation to the making of a note of the filing under subsection (5), or a cancellation under section 58, after the notice is received by the land title office,

(a) the registrar is not liable and neither the Provincial government nor the Land Title and Survey Authority of British Columbia is liable vicariously,

(a.1) the assurance fund or the Land Title and Survey Authority of British Columbia as a nominal defendant is not liable under Part 19.1 of the [Land Title Act](#), and

(b) the assurance fund or the minister charged with the administration of the [Land Title Act](#) as a nominal defendant is not liable under Part 20 of the [Land Title Act](#).

(8) Neither the building inspector nor the municipality is liable for damage of any kind for the doing of anything, or the failure to do anything, under this section or section 58 that would have, but for this subsection, constituted a breach of duty to any person.

(9) The authority under this section is in addition to any other action that a building inspector is authorized to take in respect of a matter referred to in subsection (1).

Cancellation of note against land title

58 (1) On receiving a report from a building inspector that the condition that gave rise to the filing of the notice under section 57 (3) has been rectified, the corporate officer must file a cancellation notice and, on receiving the notice, the registrar of land titles must cancel the note against the title to which it relates.

(2) An owner of land with respect to which a notice has been filed under section 57 (3), may apply to the council for a resolution that the note be cancelled.

(3) After hearing an applicant under subsection (2), the council may pass a resolution directing the corporate officer to file a cancellation notice.

(4) If a resolution has been passed under subsection (3), the corporate officer must file a cancellation notice in the land title office and, on receiving the notice, the registrar of land titles must cancel the note against the title to which it relates.

(5) If the council does not pass a resolution under subsection (3), the owner may apply to the Supreme Court and notify the municipality to attend before the court to show cause why the note should not be cancelled.

(6) On an application under subsection (5), after reviewing any evidence that the owner and the municipality may adduce, the court may make an order directing the registrar to cancel the note made under section 57 (5) and, on receiving the order, the registrar of land titles must cancel the note accordingly.

Council Report

penticton.ca

Date: October 6, 2020
To: Donny van Dyk, Chief Administrative Officer
From: Larry Watkinson, Fire Chief

File No:

Subject: FireSmart Community Funding & Supports Grant

Staff Recommendation

THAT Council support the application for grant funding up to \$150,000.00 from the UBCM under the Community Resiliency Investment (CRI) program which provides 100% funding for the City of Penticton FireSmart program.

Background

The Community Resiliency Investment (CRI) program is a provincial program intended to reduce the risk and impact of wildfire to communities in BC through community funding, supports and priority fuel management activities on provincial Crown land, and funding request for FireSmart activities.

The FireSmart Community Funding & Supports program is a grant available under the CRI program that provides funding to local governments and First Nations in BC to increase community resiliency by undertaking community-based FireSmart planning and activities that reduce the community's risk from wildfire.

The application is for 2021 funding is to develop a more comprehensive Community Based FireSmart program that will focus on developments in the Wildfire Interface, education for home owners and home assessments to assist residents on decision making to help them ready their home from a Wildfire. We will also continue fuel management primarily at the local home owner level.

Financial implication

The grant funding can contribute 100% of the cost of eligible activities to a maximum of \$150,000. Eligible expenditures include consultant costs, applicant staff and administration costs, and public information costs. As well, the funding allows for the development & promotion of local Firesmart activities as well as Fuel & Vegetation Management on publicly owned land.

A completed submission will be submitted by October 9, 2020 given there is approval of the Council Resolution.

Deny/Refer Recommendations

Should Council determine that additional information is required, it may refer requests back to Staff for additional research.

Respectfully submitted,

Larry Watkinson
Fire Chief

Approvals

Fire Chief LW	General Manager of Finance Administration <i>LWB</i>	A/Chief Administrative Officer JB
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Date: October 6, 2020
To: Donny van Dyk, Chief Administrative Officer
From: Nicole Capewell, Planner 1
Address: 198 Fawn Court

File No: RMS/198 Fawn Crt

Subject: Development Variance Permit PL2020-8828

Staff Recommendation

THAT Council approve “Development Variance Permit PL2020-8828” for Lot 1 District Lot 2710 Similkameen Division Yale District Plan EPP74844, located at 198 Fawn Court, a permit to vary Zoning Bylaw Section 10.1.2.5, to reduce the minimum front yard setback from 6.0 m to 3.67 m;

AND THAT Council direct staff to issue “Development Variance Permit PL2020-8828”.

Proposal

The applicant is requesting to reduce the minimum front yard setback from 6.0 m to 3.67 m to accommodate the construction of a single family dwelling.

Background

The subject property is located at 198 Fawn Court, at the corner of Harris Drive and Fawn Court within ‘The Ridge’ neighbourhood (Figure 1). The property is zoned R1 (Large Lot Residential) and is designated in the Official Community Plan as ‘Detached Residential’. The property is currently vacant.

The applicant has designed the proposed single family dwelling with a reduced front yard setback. The surrounding neighbourhood is primarily zoned R1 (Large Lot Residential) with some R2 (Small Lot Residential) and RM2 (Low Density Multiple Housing) zoned properties in the area.



Figure 1 - Location Map

Technical Review

The application was reviewed by the City's Technical Planning Committee. Servicing and building code requirements have been identified to the applicant and will be addressed as part of the building permit process. It is the property owner(s) responsibility to provide services and/or upgrade existing services as required.

Analysis

When considering a variance to a City bylaw, staff encourage Council to be mindful as to whether approval of the variance would cause a negative impact on neighbouring properties and if the variance request is reasonable. The proposed variance and staff's analysis are as follows:

1. Section 10.1.2.5 to reduce the minimum front yard setback from 6.0 m to 3.67 m.
 - The subject property is a corner lot. Corner lots have increased setback requirements, as they have both a front yard setback (6.0m) and an exterior side yard setback (3.0m), which results in a smaller building envelope.
 - The single family dwelling has been designed with all vehicle access from the lane. Normally, an R1 property would have driveway access from the street, which is not the case for this property.
 - The applicant indicates within their Letter of Intent (Attachment 'C') that they will be constructing the homes on 166, 174, 182, 190 and 198 Fawn Court (total of 5 properties). Given that the subject property is the shallowest of these lots, reducing the front yard setback will help to maintain a consistent line of building facades (as shown in Figure 2).



Figure 2 - Site Plan Showing Line of Building Facades on Street and Sightlines

- The subject property has been designed with a reduced setback in an effort to maintain the views towards Skaha Lake. If the building was to be designed to meet the front yard setback, the property would likely not be able to have views to Skaha Lake, as indicated in the applicant's Letter of Intent (Attachment 'C').

Staff consider the request to reduce the minimum front yard setback from 6.0 m to 3.67 m is reasonable in this instance and will not have a negative impact on any neighbouring properties. As such, staff recommend that Council should support the variance and direct staff to issue the permit.

Alternate recommendations

Council may consider that the requested variance would pose a negative impact on the surrounding neighbourhood and is not reasonable. If this is the case, Council should deny the variance request.

1. THAT Council deny "Development Variance Permit PL2020-8828".

Attachments

- Attachment A – Zoning Map
- Attachment B – Official Community Plan Map
- Attachment C – Letter of Intent
- Attachment D – Photos of Subject Property
- Attachment E – Draft "Development Variance Permit PL2020-8828"

Respectfully submitted,

Nicole Capewell
Planner 1

Concurrence

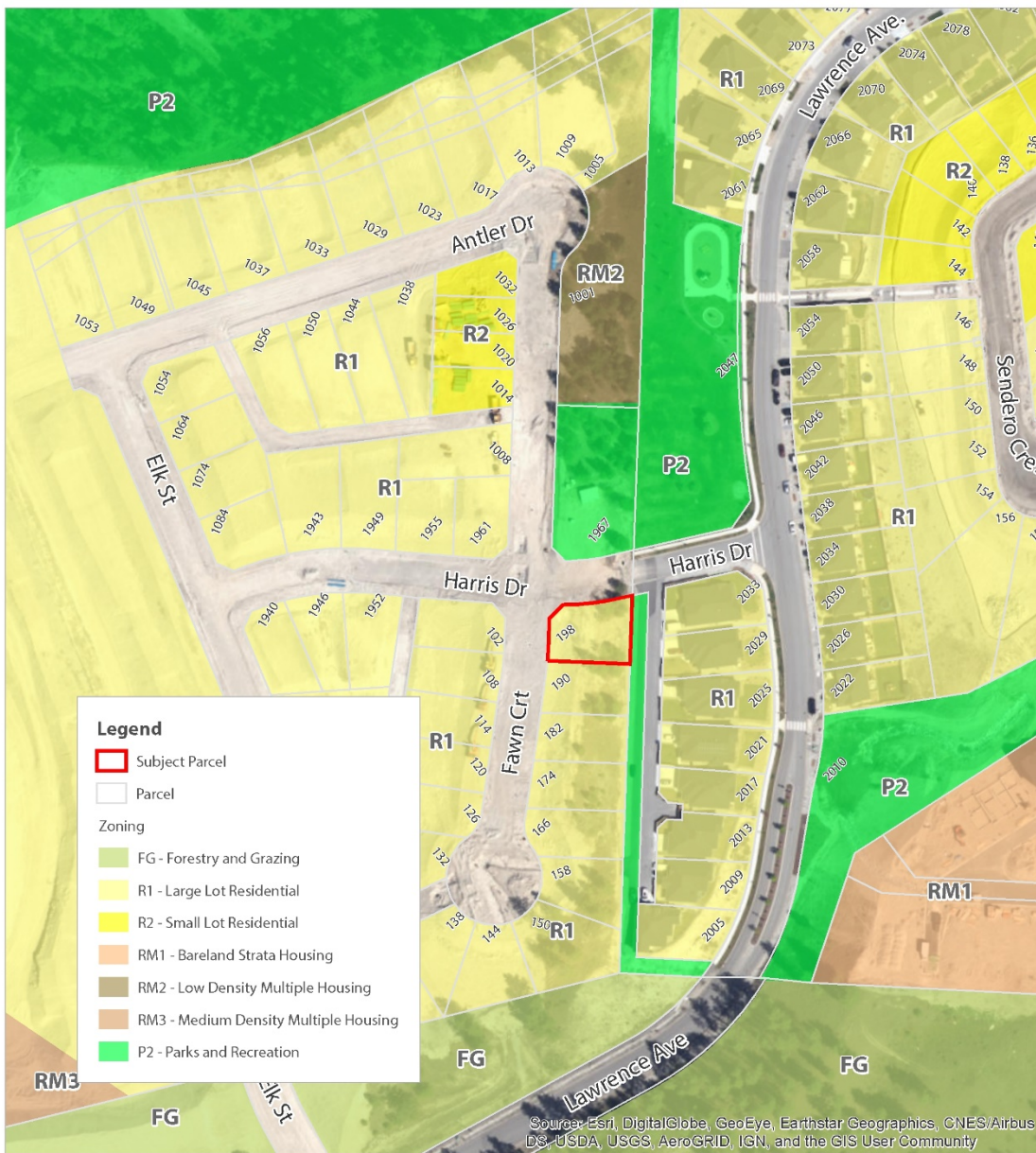
Director of Development Services <i>BL</i>	A/Chief Administrative Officer JB
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Attachment A – Zoning Map



198 Fawn Court

Zoning Map



Terms of Use: The City of Penticton is a depository of public information in both printed and digital form. The source, accuracy and completeness of this information varies. As a result, the City does not warrant in any way the mapping information including the accuracy or suitability thereof. The user of this information does so at their own risk and should not rely upon the information without independent verification as to the accuracy or suitability thereof.

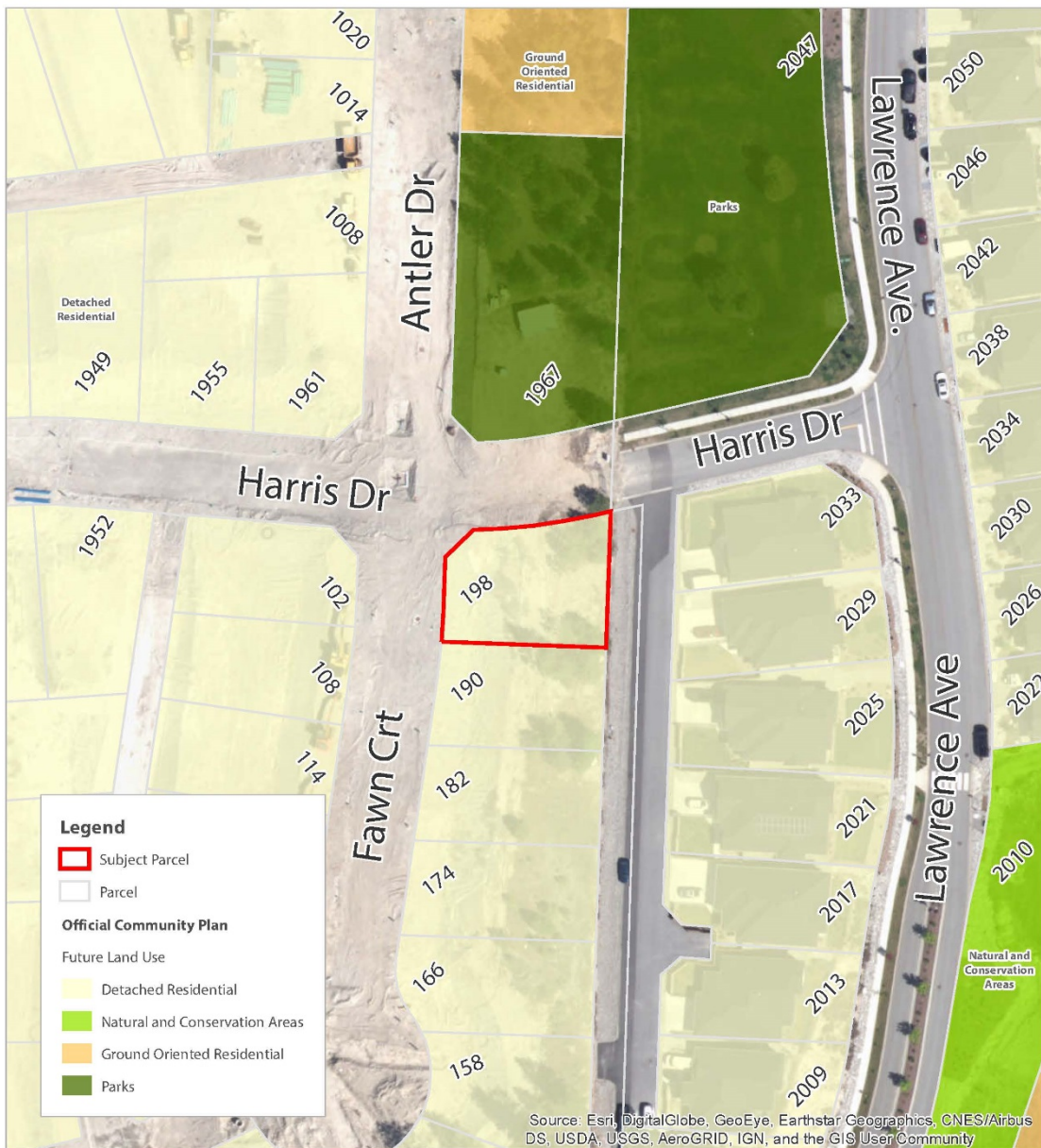


Attachment B – Official Community Plan Map

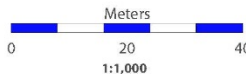


198 Fawn Court

Official Community Plan Map



Terms of Use: The City of Penticton is a depository of public information in both printed and digital form. The source, accuracy and completeness of this information varies. As a result, the City does not warrant in any way the mapping information including the accuracy or suitability thereof. The user of this information does so at their own risk and should not rely upon the information without independent verification as to the accuracy or suitability thereof.



September 21, 2020
2:09:26 PM



penticton.ca

Attachment C – Letter of Intent

198 Fawn Court

Development Variance Permit Application

August 4, 2020

Blake Laven
Planning Manager
City of Penticton
171 Main Street
Penticton, BC V2A 5A9

Dear Blake Laven:

We are proposing to construct a single-family home at 198 Fawn Court at The Ridge. This home will be one of five builds by Parallel 50 Construction and is located on the lot the furthest North of the five. We are requesting a variance on the front lot line due to the property being slightly shorter in an east west direction than the adjacent parcels and help achieve more cohesive building frontages along Fawn Court.

The Ridge is a highly desirable subdivision that captures the Okanagan views and a luxury lifestyle. These homes have been designed around the panoramic view to the West. In order to create desirable homes and maintain the best possible views for each home along Fawn Court, we hope to create a smaller front yard setback to achieve a more cohesive set of building frontage and to maintain the views to the South-West from the property.

We plan to construct homes on five adjacent lots making up 166-198 Fawn Court. 198 Fawn Court is the furthest North of all the lots and is the shortest (east/west) of all the lots due to the shape of the surrounding roads. Adhering to the requirement of a 6-meter setback would result in homes further South being stepped out from the proposed home at 198 Fawn Court. This will negatively affect views and create a disconnect in the building scheme of the new homes.

Under the zoning bylaw, the 5 parcels are currently zoned as R1- Large Lot Residential, which requires 6-meter front yard setbacks. We are proposing a variance so that the front yard setback on 198 Fawn Court may be reduced to 4 meters.

The single-family dwelling will have rear lane access with an attached three car garage, there is the ability to park 3 more cars on the driveway apron. The front yard (west) on Fawn Court will be landscaped (xeriscaped) with no off-street parking, all parking will be tucked away on the east side of the home. The design also has a very large side yard along Harris Drive that will wrap around into the front yard, resulting in large amounts of yard space for the lot. The proposed plans show less than 30% lot coverage on the almost 7,000 square foot lot.

We hope that the City agrees that varying the 6-meter setback down to 4-meters will allow for more consistent and connected streetscape along Fawn Court while allowing the home itself to optimize it's yard space to the north of the property and maintain the Okanagan views from the property.

In summary, please accept the enclosed application package for 198 Fawn Court. We would greatly appreciate your consideration in granting the request to vary the front yard setback.

Sincerely,



Drew Barnes
Parallel 50 Construction Ltd.

Attachment D – Photos of Subject Property



Looking east towards front of subject property (taken from Harris Drive)



Looking west towards rear of property (taken from Harris Drive)



City of Penticton
 171 Main St. | Penticton B.C. | V2A 5A9
 www.penticton.ca | ask@penticton.ca

Development Variance Permit

Permit Number: DVP PL2020-8828

Owner Name
 Owner Address

Conditions of Permit

1. This permit is issued subject to compliance with all of the bylaws of the City, except as specifically varied or supplemented by this Permit.
2. This permit applies to:
 - Legal: Lot 1 District Lot 2710 Similkameen Division Tale District Plan EPP74844
 - Civic: 198 Fawn Court
 - PID: 030-380-839
3. This permit has been issued in accordance with Section 498 of the *Local Government Act*, to vary the following sections of Zoning Bylaw 2017-08 to allow for the construction of a single family dwelling as shown in the plans attached in Schedule 'A':
 - a. Section 10.1.2.5: to reduce the minimum front yard setback from 6.0m to 3.67m.

General Conditions

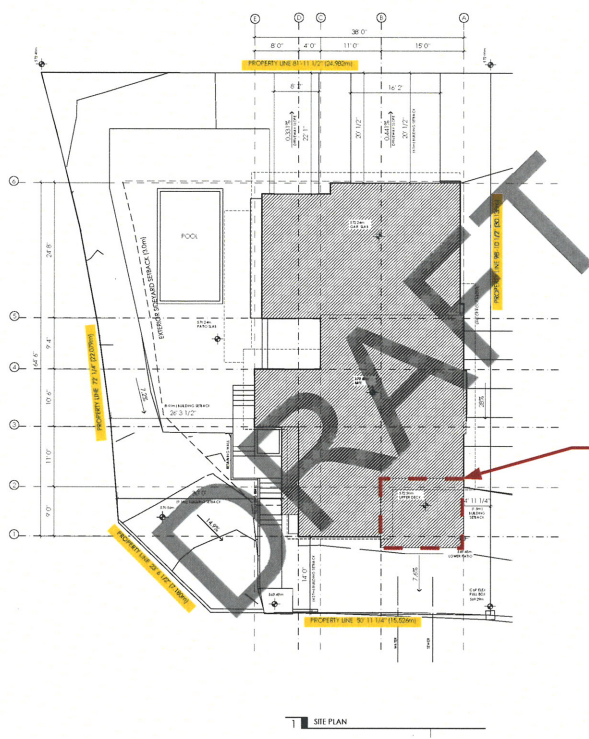
4. In accordance with Section 501 of the *Local Government Act*, the lands subject to this permit shall be developed in general accordance with this permit and the plans attached as Schedule 'A'.
5. In accordance with Section 504 of the *Local Government Act*, if the holder of this permit does not commence the development authorized by this permit within 2 years of the date of this permit, this permit shall lapse.
6. **This permit is not a building permit. In order to proceed with this development, the holder of this permit must hold a valid building permit issued by the Building Inspection Department.**
7. This permit does not constitute any other municipal, provincial or federal approval. The holder of this permit is responsible to obtain any additional municipal, federal, or provincial approvals prior to commencing the development authorized by this permit.
8. This permit does not include off-site infrastructure costs that may be required at the building permit stage, such as Development Cost Charges (DCC's), road improvements and electrical servicing. There may be substantial infrastructure and servicing costs payable at a later date. For more information on servicing and infrastructure requirements please contact the Development Engineering Department at (250) 490-2501. For more information on electrical servicing costs, please contact the Electric Utility at (250) 490-2535.

Authorized by City Council, the ____ day of _____, 2020.

Issued this ____ day of _____, 2020.

Angela Collison
Corporate Officer

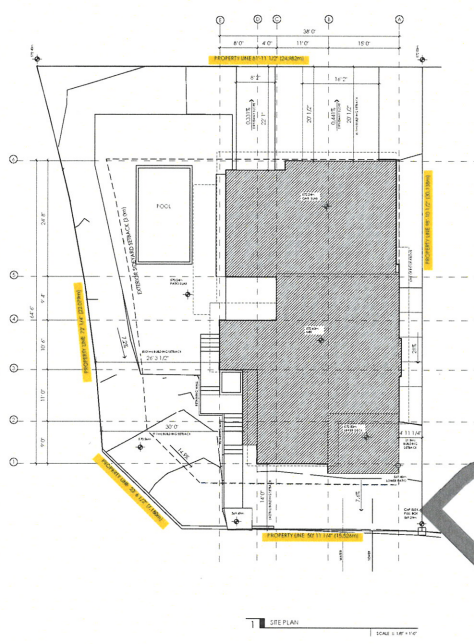
DRAFT



Patio @ grade
Balcony on upper two levels
0.6m projection with proposed variance

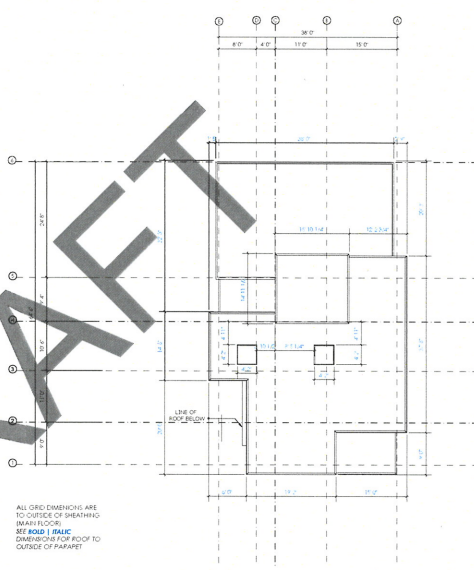


PARALLEL
CONSTRUCTION
Augmented 3D
Design & Construction
210 Hazelrigg Avenue
Penticton, BC



1 USE PLAN | SCALE 1/8" = 1'-0"

DRAFT



2 ROOF AND DRAINAGE PLAN | SCALE 1/8" = 1'-0"

ALL GRID DIMENSIONS ARE TO CENTER OF BEARING. MAIN FLOOR. SEE ROOM 1000C DIMENSIONS FOR ROOF TO COURSE OF PAVEMENT.

ZONING LARGE LOT RESIDENTIAL R1		
REQUIRED	PROVIDED ON PLANS	
MINIMUM LOT WIDTH	16.0m (52.5ft)	24.90m (81.96ft)
MINIMUM LOT AREA	560sqm (6027 sqft)	649sqm (6990sqft)
MINIMUM LOT COVERAGE	40%	28.9%
MAXIMUM HEIGHT	10.5m (34.4ft)	9.5m (31.16ft)
SETBACKS		
MINIMUM FRONT YARD	6.0m (19.7ft)	6.27m (20.57ft)
MINIMUM INTERIOR SIDE YARD	1.5m (4.92ft)	1.5m (4.92ft)
MINIMUM REAR SIDE YARD	3.0m (9.84ft)	3.0m (9.84ft)
MINIMUM REAR YARD	6.0m (19.7ft)	6.1m (20.01ft)

ROOF DRAINAGE IS PROPOSED ONLY AND MAY BE CHANGED AS REQUIRED.
FRAMING PROPOSED ROOF PLAN FROM TRUSS ENGINEER TO GOVERN.
ALL OVERHANGS TO BE 21"

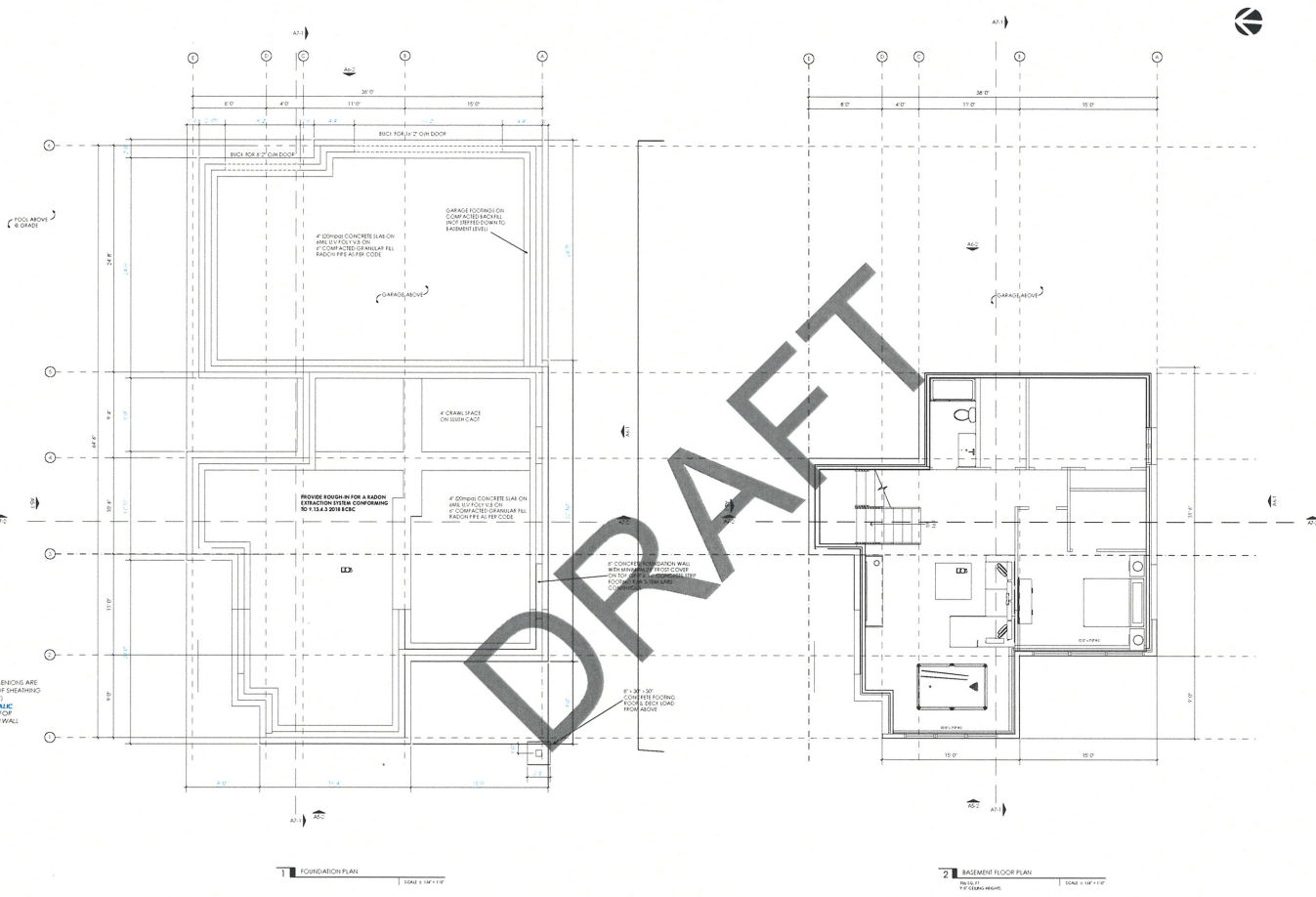
The Ridge House 1 (Mango)

198 Town Ct, Penticton, BC
OWNER: [Redacted]
DRAWN BY: [Redacted]
CHECKED BY: [Redacted]
SCALE: AS NOTED

DATE: 2024.12.14 FILE: 2024.12.14 DEGA 1040P

A2

SI & ROOF DRAINAGE PLAN



ALL GRID DIMENSIONS ARE TO CURSE OF SHEATHING SHEATHING DIMENSIONS SEE BOLD 1/8" DIMENSIONS FOR FOUNDATION WALL

- FOUNDATION NOTES**
- FOOTINGS ARE TO BE PLACED ON UNDERBUILT OR COMPACTED SOIL WITH AN ALLOWABLE BEARING CAPACITY OF 2000 LB/SQ FT OR GREATER.
 - PROVIDE DAMPROOFING, WATERPROOFING AND GAS CONTROL IN ACCORDANCE WITH THE BC BUILDING CODE 9.3 & 9.4.2.
 - PROVIDE FIVE (5) INCHES OF GRANULAR FILL RADIUM MITIGATION IN ACCORDANCE WITH THE BC BUILDING CODE 9.10.1.5 AND SMOKE ALARMS IN ACCORDANCE WITH 9.10.1.6.
 - ALL GRADES TO SLOPE AWAY FROM FOUNDATION TO THAT WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING.
 - ALL TRENCHING TO BE COVERING THROUGH STEPS IN FOOTINGS.
 - FOOTINGS ARE TO BE MIN. 2" BELOW FINISH GRADE.
 - TO BE REVIEWED BY STRUCTURAL ENG. DESIGN FROM STRUCTURAL ENGINEER TO GOVERN.

- FLOOR PLAN NOTES**
- INTERIOR WALLS ARE 2x4 @ 16" O.C. UNLESS OTHERWISE NOTED.
 - ALL ENGINEERED WOOD BEAMS TO BE SIZED BY SUPPLIER OR FENG.
 - ALL WINDOW HEAD HEIGHTS NOTED ON DRAWING.
 - ALL L.L. AND FLOOR FINISHES SHOWN ARE TO BE CONFIRMED WITH JOSS/RISS SUPPLIER.
 - HEATING AND VENTILATION SYSTEMS TO BE DESIGNED, INSTALLED AND OPERATED IN ACCORDANCE TO SECTIONS 9.3.2 & 9.3.3 OF THE B.C.B.C.
 - COORD. FRAMING AND MECHANICAL CONTRACTORS PRIOR TO FRAMING FOR PLUMBING AT ALL LOCATIONS.
 - ALL TRENCH CLOSE TIGHTENING UNLESS OTHERWISE NOTED.
 - FRAMING IS PROPOSED FROM JOSS/RISS DESIGNER TO GOVERN.
 - DIMENSIONS TO EXTERIOR WALLS ARE TO CURSE OF SHEATHING.
 - DIMENSIONS TO INTERIOR WALLS ARE TO CENTRE OF STUD.

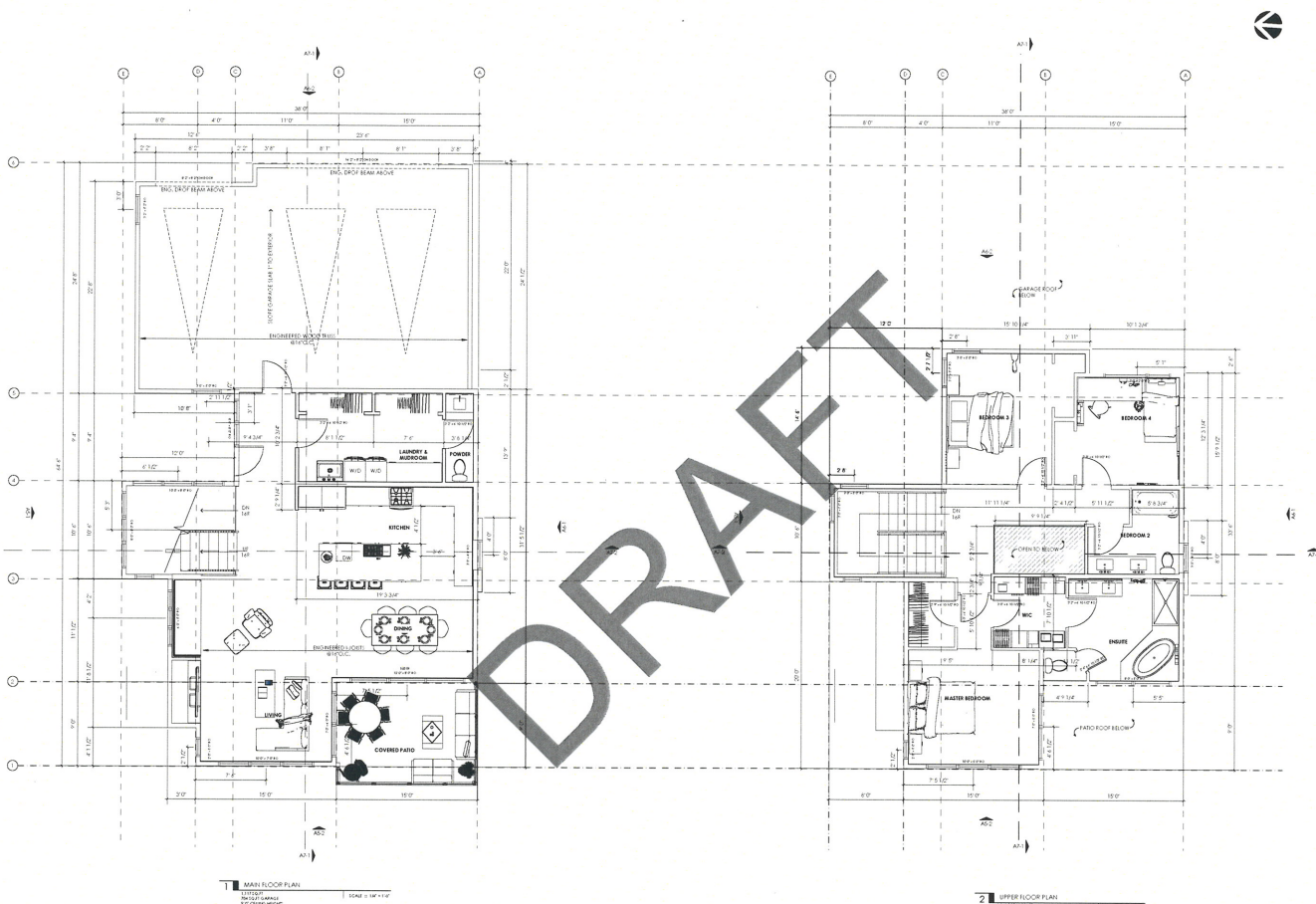
PARALLEL
CONSTRUCTIVE
Augmented 3D
Design & Construction
210 Hastings Avenue
Penticton, BC

Designer:
Parallel Construction
210 Hastings Avenue
Penticton, BC
P: 250.498.8559
drew@parallel3d.com

The Ridge House 1 (Mango)
OWNER:
Sue & Bob
11111 Main Street
Penticton, BC
P: 250.498.8559
drew@parallel3d.com
DRAWN BY:
J. JOSS
DOCUMENT DATE:
11/11/2020
SCALE:
AS NOTED
CHECKED BY:
J. JOSS
BC

NO DATE REVISIONS
BY: DATE REVISIONS
BY: DATE REVISIONS

A3
BASIS PLAN



1 MAIN FLOOR PLAN
 1/8" = 1'-0"
 1/8" = 1'-0"

2 UPPER FLOOR PLAN
 1/8" = 1'-0"
 1/8" = 1'-0"

- FLOOR PLAN NOTES
1. INTERIOR WALLS ARE 2x4 @ 16" O.C UNLESS OTHERWISE NOTED.
 2. ALL ENHANCED WOOD BEAMS TO BE USED BY SUPPLIER OR FINISH MANUFACTURER FOR 4" SLICERS, UNLESS OTHERWISE NOTED.
 3. ALL MAIN FLOOR WINDOW HEADS/HEADS TO BE CONFIRMED BY WINDOW MANUFACTURER FOR 4" SLICERS, UNLESS OTHERWISE NOTED.
 4. ALL UPPER FLOOR WINDOW HEADS/HEADS TO BE CONFIRMED BY WINDOW MANUFACTURER FOR 4" SLICERS, UNLESS OTHERWISE NOTED.
 5. ALL JOISTS/RISERS SHOWN ARE TO BE CONFIRMED WITH JOIST/RISER SUPPLIER.
 6. HEATING AND VENTILATION SYSTEMS TO BE DESIGNED, INSTALLED AND OPERATED IN ACCORDANCE TO SECTIONS F32 & F33 OF THE BCBC.
 7. CONSULT PLUMBING AND MECHANICAL CONTRACTORS PRIOR TO FRAMING FOR PLUMBING WALL LOCATIONS.
 8. ALL INTERIOR DOORS EXCEPT 2'-0" UNLESS OTHERWISE NOTED.
 9. FRAMING IS PROPOSED IN ALL ROOMS UNLESS OTHERWISE NOTED.
 10. DIMENSIONS TO EXTERIOR WALLS ARE TO OUTSIDE OF FINISHING.
 11. DIMENSIONS TO INTERIOR WALLS ARE TO CENTRE OF STUD.



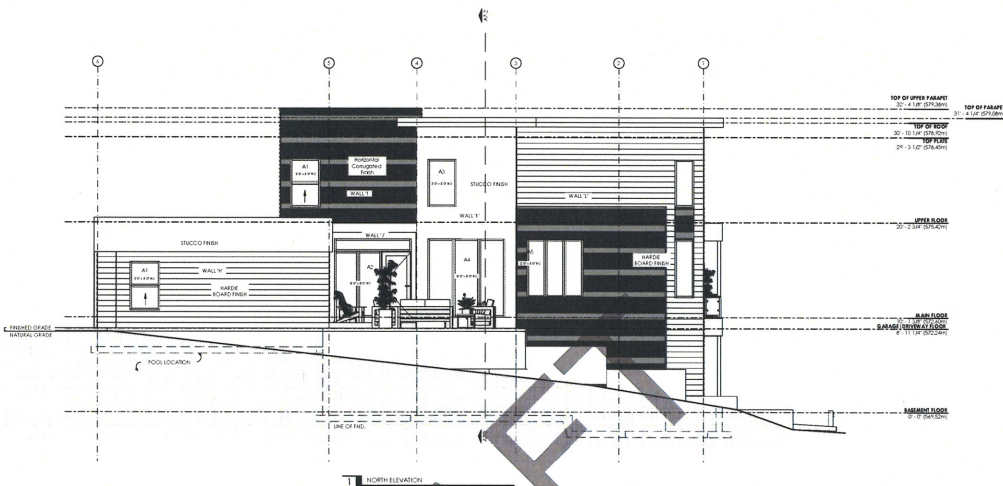
Augmented 3D
 Design & Construction
 210 Hastings Avenue
 Fernie, BC

Drawn By:
 Parallel 90 Construction
 210 Hastings Avenue
 Fernie, BC
 Checked By:
 Parallel 90 Construction

The Ridge House 1 (Mango)
 1790 Town Ct., Fernie, BC
 Drawn By:
 Parallel 90 Construction
 210 Hastings Avenue
 Fernie, BC
 Checked By:
 Parallel 90 Construction
 Scale: AS SHOWN

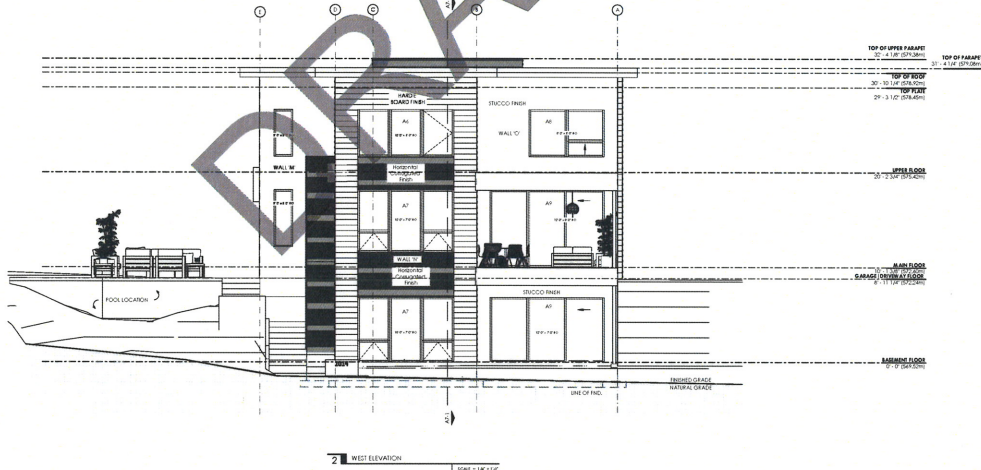
A4

MAIN & UPPER FLOOR PLAN



NORTH ELEVATION MAX AREA UNPROTECTED OPENINGS 2018 CBC TABLE 9.10.14.4.A

WALL TYPE	AREA	ISD
WALL X AREA/LIMITING DISTANCE	793 sqm	13.83m
ALLOWABLE AREA OF UNPROTECTED OPENINGS	793 sqm x 84% = 665.82 sqm	
PROPOSED AREA OF UNPROTECTED OPENINGS	5.00 sqm	
WALL Y AREA/LIMITING DISTANCE	55.1 sqm	11.02m
ALLOWABLE AREA OF UNPROTECTED OPENINGS	55.1 sqm x 100% = 55.1 sqm	
PROPOSED AREA OF UNPROTECTED OPENINGS	5.00 sqm	
WALL Z AREA/LIMITING DISTANCE	27.8 sqm	11.58m
ALLOWABLE AREA OF UNPROTECTED OPENINGS	27.8 sqm x 100% = 27.8 sqm	
PROPOSED AREA OF UNPROTECTED OPENINGS	25.00 sqm	
WALL V AREA/LIMITING DISTANCE	69.0 sqm	11.4m
ALLOWABLE AREA OF UNPROTECTED OPENINGS	69.0 sqm x 100% = 69.0 sqm	
PROPOSED AREA OF UNPROTECTED OPENINGS	25.00 sqm	
WALL W AREA/LIMITING DISTANCE	166.9 sqm	11.62m
ALLOWABLE AREA OF UNPROTECTED OPENINGS	166.9 sqm x 50% = 83.45 sqm	
PROPOSED AREA OF UNPROTECTED OPENINGS	3.4 sqm	
WALL U AREA/LIMITING DISTANCE	52.4 sqm	11.21m
ALLOWABLE AREA OF UNPROTECTED OPENINGS	52.4 sqm x 100% = 52.4 sqm	
PROPOSED AREA OF UNPROTECTED OPENINGS	2.00 sqm	
WALL T AREA/LIMITING DISTANCE	170.1 sqm	11.22m
ALLOWABLE AREA OF UNPROTECTED OPENINGS	170.1 sqm x 50% = 85.05 sqm	
PROPOSED AREA OF UNPROTECTED OPENINGS	57.3 sqm	
WALL S AREA/LIMITING DISTANCE	130.8 sqm	11.02m
ALLOWABLE AREA OF UNPROTECTED OPENINGS	130.8 sqm x 50% = 65.4 sqm	
PROPOSED AREA OF UNPROTECTED OPENINGS	84.1 sqm	



WEST ELEVATION

PARALLEL 36
CONSTRUCTION
Augmented 3D
Design & Construction
210 Hastings Avenue
Portofino, BC

Designer:
Parallel 36 Construction
210 Hastings Avenue
Portofino, BC
V2W 0A5
604.266.0050
drawings@p36.co

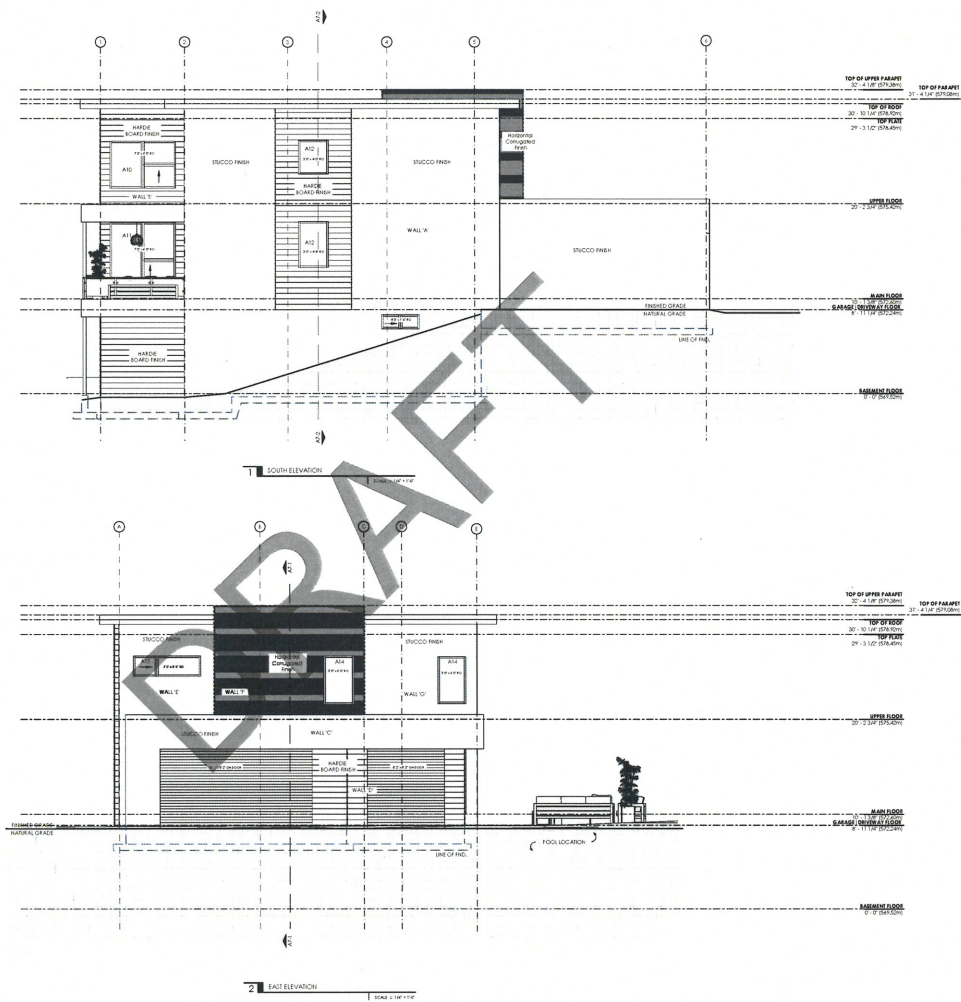
The Ridge House 1 (Mango)
OWNER:
Suzanne & Paul
190 Town Ct., Portofino, BC
V2W 0A5
604.266.0050
DOCUMENT DATE:
11.2020
SCALE:
AS NOTED
DRAWN BY:
BK
CHECKED BY:
BK

NO DATE DATE DATE
OF 2024 2024 2024 FOR OF

A5
ELEVATIONS | NORTH | WEST

NORTH ELEVATION MAX AREA UNPROTECTED OPENINGS 2018 CBC TABLE 9.10.14.4.A

WALL #	AREA	SD
WALL #	AREA	SD
ALLOWABLE AREA OF UNPROTECTED OPENINGS	153.0 sqm x 7% = 24.4 sqm	
PROPOSED AREA OF UNPROTECTED OPENINGS	2.0 sqm	
WALL #	AREA	SD
ALLOWABLE AREA OF UNPROTECTED OPENINGS	33.7 sqm x 100% = 33.7 sqm	
PROPOSED AREA OF UNPROTECTED OPENINGS	33.5 sqm	
WALL #	AREA	SD
ALLOWABLE AREA OF UNPROTECTED OPENINGS	60.2 sqm x 100% = 60.2 sqm	
PROPOSED AREA OF UNPROTECTED OPENINGS	60.3 sqm	
WALL #	AREA	SD
ALLOWABLE AREA OF UNPROTECTED OPENINGS	18.0 sqm x 100% = 18.0 sqm	
PROPOSED AREA OF UNPROTECTED OPENINGS	20.3 sqm	
WALL #	AREA	SD
ALLOWABLE AREA OF UNPROTECTED OPENINGS	14.3 sqm x 100% = 14.3 sqm	
PROPOSED AREA OF UNPROTECTED OPENINGS	5.4 sqm	
WALL #	AREA	SD
ALLOWABLE AREA OF UNPROTECTED OPENINGS	56.8 sqm x 100% = 56.8 sqm	
PROPOSED AREA OF UNPROTECTED OPENINGS	5.0 sqm	
WALL #	AREA	SD
ALLOWABLE AREA OF UNPROTECTED OPENINGS	17.8 sqm x 100% = 17.8 sqm	
PROPOSED AREA OF UNPROTECTED OPENINGS	8.4 sqm	





 PARALLEL 3D
 CONSTRUCTION
 Augmented 3D
 Design & Construction
 210 Hastings Avenue
 Perfection, NC

Designer:
 Parallel 3D Construction
 210 Hastings Avenue
 Perfection, NC
 P: 704.685.8533
 d@parallel3d.com

The Ridge House 1 (Mango)
 OWNER:
 Scott & Nancy
 Perfection, NC
 P: 704.685.8533
 s@parallel3d.com
 DRAWN BY:
 J. [Name]
 PERFECTION, NC
 CHECKED BY:
 [Name]
 PER

NO DATE SIZE
 17 2024 1/4 BENCH MARK

A6
 ELEVATION | SOUTH | EAST

Council Report

penticton.ca

Date: October 6, 2020
To: Donny van Dyk, Chief Administrative Officer
From: Steven Collyer, Planner 1
Address: 375 Smythe Drive

File No: RMS/375 Smythe Dr

Subject: Zoning Amendment Bylaw No. 2020-41

Staff Recommendation

THAT Council give first reading to "Zoning Amendment Bylaw No. 2020-41", for Lot 2 District Lot 196 Similkameen Division Yale District Plan KAP90446, located at 375 Smythe Drive, a bylaw to rezone the subject property from A (Agriculture) zone to RM1 (Bareland Strata Housing) zone with the following site-specific provisions:

- In lieu of Section 10.7.1.4, duplexes are not permitted.
- In lieu of Section 10.7.1.7, townhouses are not permitted.
- In lieu of Section 10.7.2.3, the maximum density shall be 27 single detached dwellings.
- In lieu of Section 10.7.2.6, the maximum building height for principal buildings shall be 10.5m.

AND THAT prior to the adoption of "Zoning Amendment Bylaw No. 2020-41", the developer is required to pay an amount equal to 15% of the upgrade costs based on the final intersection design of Smythe Drive and Lakeside Road determined through the Transportation Masterplan;

AND THAT Council direct staff to refer the application to the October 21, 2020 meeting of the Agricultural Advisory Committee for feedback on "Zoning Amendment Bylaw No. 2020-41" prior to the Public Hearing;

AND THAT Council forward "Zoning Amendment Bylaw No. 2020-41" to the November 3, 2020 Public Hearing.

Strategic Priority Objective

Community Vitality: The City of Penticton, guided by the Official Community Plan, will promote the economic wellbeing and vitality of the community.

Proposal

The applicant is proposing to subdivide the property to create a 27-lot bare land strata development consisting of single detached dwellings. The applicant has submitted an application to rezone the property

from A (Agriculture) to RM1 (Bareland Strata Housing) in order to facilitate the proposed strata subdivision. The proposed rezoning includes site specific provisions to prohibit duplexes and townhouses, to limit the maximum number of single detached dwellings to 27, and to allow a maximum principal building height on strata lots of 10.5m.

Background

The subject property is 4.9 hectares (12 acres) in size and is located on the north side of Smythe Drive (Figure 1). The surrounding land uses are primarily residential and agricultural in nature. The property is near the Lakeside Road residential corridor, and in an area of wineries and other agricultural uses. Smythe Drive is the main access road into Skaha Bluffs Provincial Park to the east. The property is approximately 450 metres east of Lakeside Road, and across Smythe Drive from Painted Rock Winery. The lands slope down towards the west with a total change in grade of approximately 80 metres from east to west. Much of the property was historically used as an orchard. The most environmentally-sensitive area on the site is along the northwest edge of the parcel, as indicated in a preliminary Environmental Assessment report. The applicants have engaged a number of professionals to prepare background reports to assess the development capability of the site, outlined in the Letter of Intent (Attachment 'D').

The property is zoned A (Agriculture) and is designated 'Detached Residential' by the OCP. The OCP contains a site-specific policy statement on this property allowing a maximum of 27 single detached dwellings, with the opportunity for secondary suites but not for carriage houses. The property is not within the Agricultural Land Reserve (ALR).

This Zoning Amendment Bylaw application was submitted in 2018 along with a related OCP amendment application. As the new OCP was under development at that time, the City coordinated the OCP amendment application for the subject property jointly with the new City-wide plan. When the new OCP was adopted in August 2019, a site-specific policy statement affecting this property was implemented after public engagement. Now that the OCP designation is in place, the applicants are proposing to rezone the property to align with the OCP designation and facilitate a strata subdivision. The original proposal for this property was a development including up to 65 townhouses under the RM3 (Medium Density Multiple Housing) zone. Through the public engagement process of developing the new OCP, the proposal has been revised to the current request for a maximum of 27 single detached dwellings in a future strata development under the RM1 (Bareland Strata Housing) zone.

Financial Implication

The existing intersection at Lakeside Road and Smythe Drive has pre-existing issues that the City is responsible for upgrading. While this proposed development is not creating these issues, it will increase the



Figure 1 - Location Map

traffic using this intersection and increase the priority for upgrading this intersection. If this development is supported by Council, the City's Transportation Masterplan will likely increase the prioritization of these upgrades. Staff are recommending that Council require the developer to provide a financial contribution to assist with offsetting the cost of future intersection upgrades equal to 15% of the cost for the chosen intersection design through the Transportation Masterplan.

This development will bring a total of \$350,811.00 in Development Cost Charges (DCCs) to help offset the added demands on municipal infrastructure and services from the proposed development.

Additionally, the applicant is responsible for all development costs associated with the subject property, including the extension of water and sanitary sewer mains as outlined in the Technical Review section of the report.

Technical Review

This application was reviewed by the Technical Planning Committee (TPC). Requirements of the future strata subdivision stage have been provided to the applicant. The property is within the Environmental and Hillside Development Permit Areas as designated by the OCP. As a condition of subdivision, an Environmental Development Permit and a Hillside Development Permit will be required. The property is located within the wildfire interface. The applicant has engaged qualified professionals to review the suitability of the proposed development in terms of the environmental features and wildfire interface risk. A geotechnical engineer will be required to ensure future grading and development remains stable for the long term.

Development Engineering: On-Site Requirements

Due to the location of the property at the end of the City's water supply system, there are significant challenges in providing water to the property and to provide sufficient flows to meet the required fire demand. The water service for this site will need to be pumped with a private pump station in order to provide suitable pressures to the entire site and to meet the fire demand. This will be addressed with 100% on-site storage of the required fire water.

As a condition of subdivision the developer will be required to create a storm water plan to manage the storm water on site. This will ensure that there is no negative impacts from the proposed development on the adjacent Gillies Creek.

Development Engineering: Off-Site Requirements

Access to the subject property is through the existing intersection at Lakeside Road and Smythe Drive. This intersection has a number of pre-existing conditions that limit sight-lines and reduce the functionality of the intersection. The City has commissioned a number of traffic assessments over the years considering a range of upgrade options. While the intersection also supports the Skaha Bluffs Provincial Park, Painted Rock Winery and several residential properties, the addition of these new units are anticipated to increase traffic by 15%. As such, staff are recommending that Council require the developer to provide the City a 15% financial contribution to the future intersection upgrade.

The upgraded intersection design will be approved by Council as part of the Transportation Masterplan. Early estimates of intersection upgrades are as much as \$1.5 million. A 15% contribution of this amount would equate to \$225,000. The Zoning Amendment Bylaw will not be adopted prior to the City receiving the

15% financial contribution to the cost of upgrading the intersection, should Council approve this recommendation.

As the Transportation Masterplan is completed, feedback from the community and the vision for the entire Lakeside Road corridor can be incorporated into a final decision on the intersection design.

Development Statistics

The following table outlines how the proposed development meets the applicable Zoning Bylaw regulations:

	RM1 Zone Requirement	Provided on Plans
Minimum Parent Parcel Lot Width:	40 m	Approx. 260 m
Minimum Parent Parcel Lot Area:	6,000 m ²	49,000 m ²
Maximum Strata Lot Coverage:	50% (single storey building) 40% (two storey building)	Maximum 50% for single storey dwelling ⁽³⁾ Maximum 40% for two-storey dwelling ⁽³⁾
Maximum Parent Parcel Density:	Maximum 27 single detached dwellings ⁽¹⁾	27 strata lots for single detached dwellings
Vehicle Parking:	2 parking spaces per single detached dwelling 1 additional space per secondary suite	Minimum 2 spaces per single detached dwelling ⁽³⁾ Minimum 1 additional space per secondary suite ⁽³⁾
Required Parent Parcel Setbacks Front Yard (Smythe Drive): Side Yard (east): Side Yard (west): Rear Yard:	4.5 m 4.5 m 4.5 m 4.5 m	Minimum 4.5 m ⁽³⁾ Minimum 4.5 m ⁽³⁾ Minimum 4.5m ⁽³⁾ Minimum 4.5m ⁽³⁾
Maximum Building Height	10.5 m ⁽¹⁾	Maximum 10.5 m
Other Information:	<ol style="list-style-type: none"> 1. Proposed site specific provision 2. Duplexes and townhouses are not permitted uses - an additional site-specific provision 3. Building setbacks, building heights, strata lot coverage and parking requirements will be confirmed at the building permit stage 	

Analysis

The OCP designation for the property is 'Detached Residential'. This property has a site-specific policy statement which limits the number of single detached dwellings on the property to 27, allows secondary suites, and prohibits carriage houses (Figure 2). This site-specific policy statement was developed through the creation of the new OCP, adopted by Council in 2019.

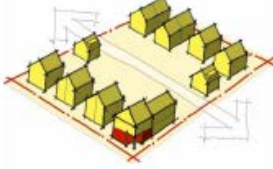
Land Use	Description	Building Type(s)	Uses	Height / Density	Zone(s)
Detached Residential 	Lower-density areas of single detached houses and/or duplexes in primarily residential neighbourhoods including single-detached bareland stratas	<ul style="list-style-type: none"> • Single detached houses with secondary suites or carriage houses • Duplexes • Small-scale neighbourhood commercial building (e.g., corner store, coffee shop) • Manufactured homes 	<ul style="list-style-type: none"> • Residential • Limited retail/service 	<ul style="list-style-type: none"> • 1 or 2 units per lot • Generally up to 2 ½ storeys to reflect 30' maximum in Zoning Bylaw 	<ul style="list-style-type: none"> • R1 • R2 • R3 • RD1 • RSM • C2
Site-Specific Detached Residential Policy Statement: 375 Smythe Drive: a maximum of 27 detached single-family houses are permitted on this site. Houses may include secondary suites but not carriage houses.					

Figure 2 - Detached Residential designation with site-specific policy for 375 Smythe Drive

The Detached Residential land use designation supports lower-density neighbourhoods with properties having 1 to 2 dwelling units. Common housing forms in the Detached Residential designation include single detached dwellings, with or without a secondary suite or a carriage house, and duplexes as long as there is a maximum of 2 dwelling units on-site. The proposed rezoning to facilitate a 27 lot strata subdivision of single detached dwellings is consistent with the uses envisioned in the Detached Residential land use designation. Duplexes and carriage houses, while consistent with the Detached Residential designation, are not permitted uses in the proposed site-specific rezoning.

Staff consider that the proposed rezoning will allow for development that conforms to several OCP policies (Attachment 'D'). The strata subdivision configuration maintains a large portion of the property undeveloped to create an environmental buffer around the proposed strata subdivision (Attachment 'E').

Staff consider that the application proposes an appropriately scaled development in an area of the community that has been identified for low density residential development by the OCP. The site-specific OCP designation outlines a maximum 27 single detached houses on this property, which is consistent with the proposed rezoning. The Zoning Amendment Bylaw includes site-specific provisions such as limiting the maximum density, prohibiting townhouses and duplexes, and increasing the maximum building height in order to be consistent with the development regulations in other single detached residential zones such as R1 and R2.

This property falls within an Environmental Development Permit Area and Hillside Development Permit Area as designated by the OCP. Should the subject rezoning be approved, an Environmental Development Permit and Hillside Development Permit will be required as conditions of the Preliminary Layout Approval (PLA) of the proposed strata subdivision. Council is the approval authority for Hillside Development Permits, and should the rezoning be approved and PLA issued, a Hillside Development Permit application will come before Council for consideration at the appropriate time.

Given that there is adequate policy through the OCP to support the rezoning and future development, staff recommend Council give first Reading to "Zoning Amendment Bylaw No. 2020-41" and forward it to the November 3, 2020 Public Hearing, after the October 21, 2020 Agriculture Advisory Committee meeting.

Alternate Recommendations

Council may consider the proposed rezoning is not appropriate for the subject property and that the lands should remain zoned A (Agriculture). If this is the case, Council should deny first reading of Zoning Amendment Bylaw No. 2020-41. Staff are recommending against this option as, in staff's opinion, the proposed rezoning is consistent with the OCP.

- 1. THAT Council deny first reading of Zoning Amendment Bylaw No. 2020-41.

Council may choose to support the Zoning Amendment Bylaw without the financial contribution to intersection improvements at Lakeside Road and Smythe Drive. Council may consider this option if they consider that the financial contribution would cause an undue hardship on the developer. The developer is responsible for significant, although standard expenses in developing the property including the extension of municipal infrastructure. In addition, Council may feel the Lakeside Road and Smythe Drive intersection safety concerns pre-date this proposed development and the developer should not be responsible for a financial contribution to its future upgrades. If this is the case, Council may choose to give first reading of Zoning Amendment Bylaw No. 2020-41, and exclude the recommendation that the developer be responsible for a financial contribution towards intersection upgrades.

- 2. THAT Council give first reading to Zoning Amendment Bylaw No. 2020-41 AND THAT the developer is not required to provide a financial contribution to future upgrades of the intersection of Lakeside Road and Smythe Drive.

Attachments

- Attachment A – Zoning Map
- Attachment B – Official Community Plan Map
- Attachment C – Property Photos
- Attachment D – Letter of Intent
- Attachment E – Official Community Plan Policy Review (staff)
- Attachment F – Proposed Strata Subdivision Plan
- Attachment G – Zoning Amendment Bylaw No. 2020-41

Respectfully submitted,
Steven Collyer, RPP, MCIP
Planner 1

Director <i>BL</i>	A/Chief Administrative Officer JB
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Attachment A – Zoning Map

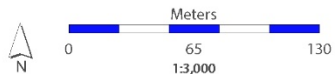


375 Smythe Drive

Zoning Map



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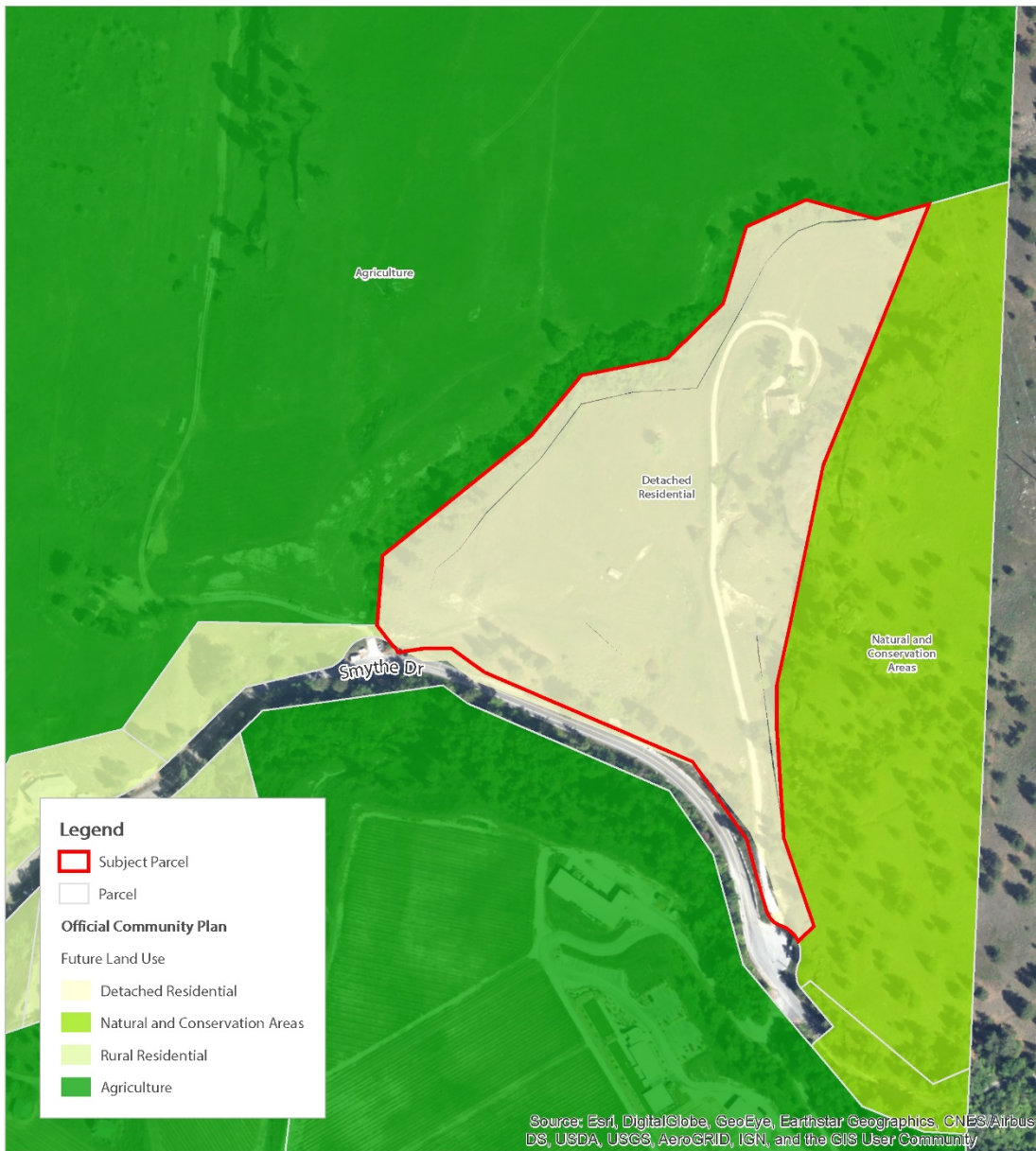
August 28, 2020
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Attachment B – Official Community Plan Map

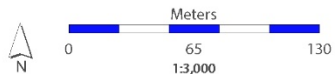


375 Smythe Drive

Official Community Plan Map



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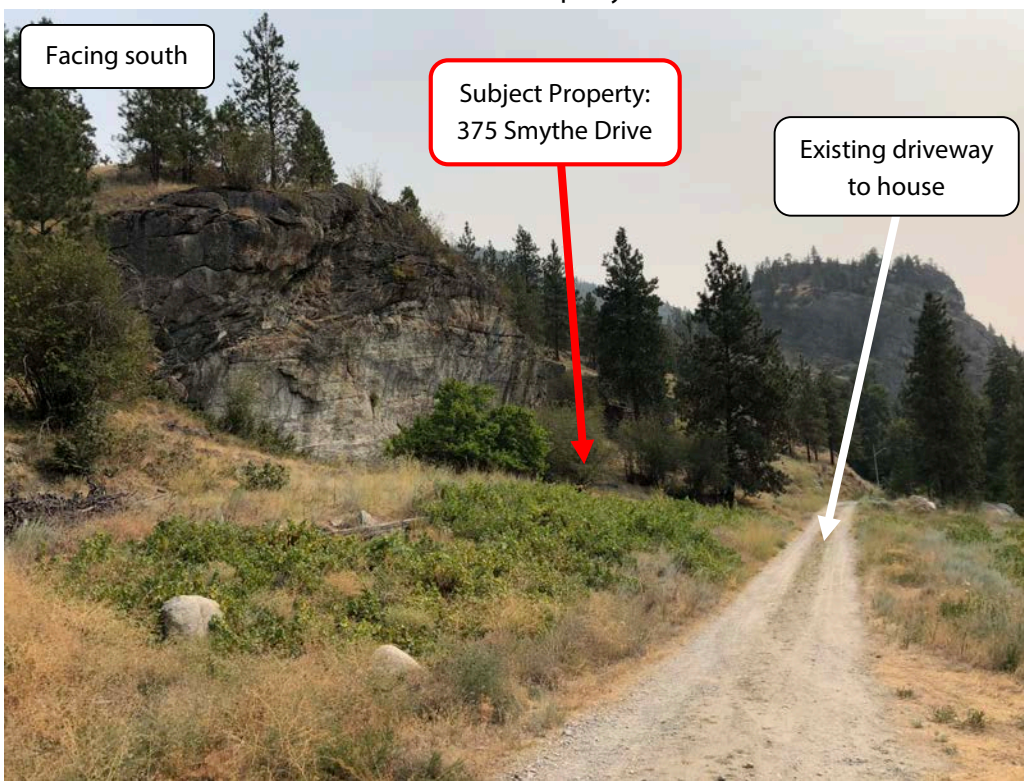


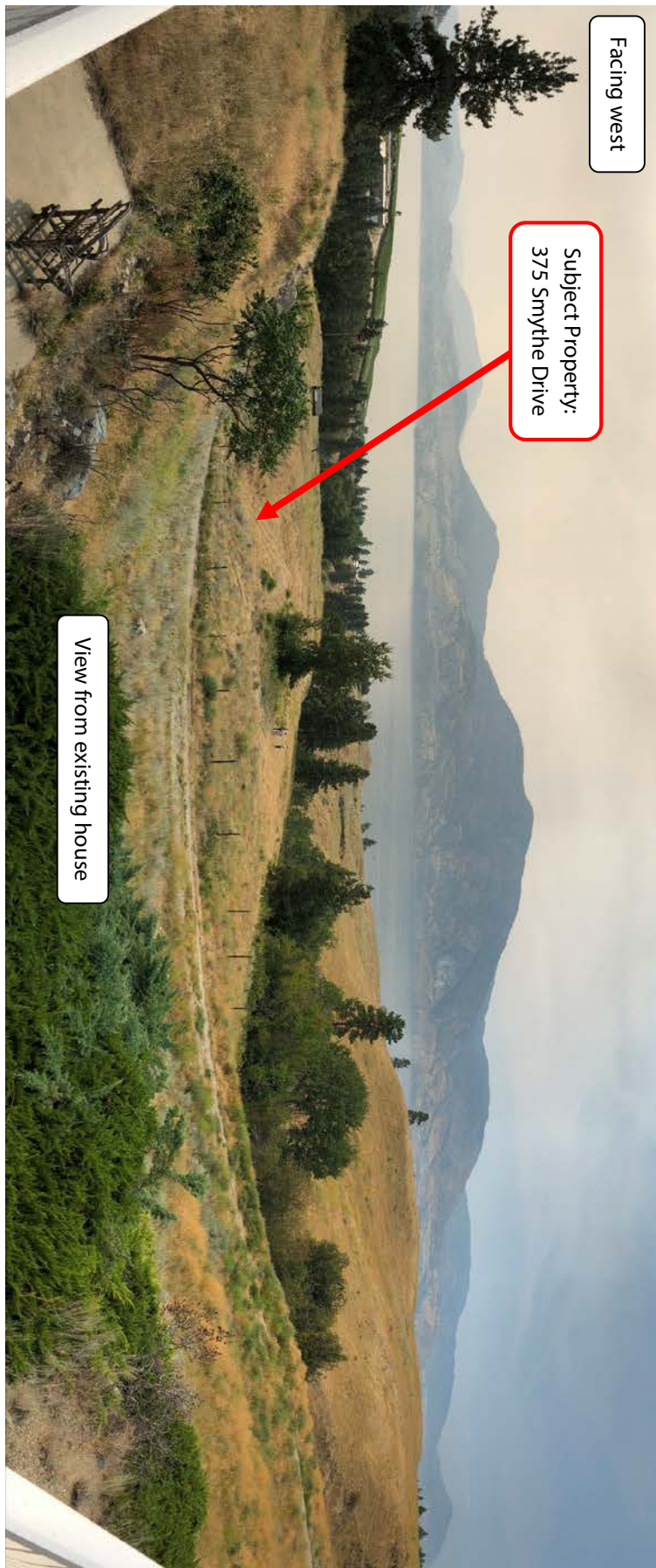
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penticton.ca

Attachment C – Property Photos





Facing west

Subject Property:
375 Smythe Drive

View from existing house

Attachment D – Letter of Intent



October 29, 2019

Ecora File No.: CP-19-143-SKI

City of Penticton
171 Main Street
Penticton, BC V2A 5J9

Attention: Planning Department

Reference: Amendment to Rezoning Application for 375 Smythe Drive

Ecora Engineering and Resource Group Ltd. (Ecora) was requested to prepare an amendment to the Rezoning Application of March 2018 for 375 Smythe Drive. The original application was to amend the Community Plan and rezone the site to RM3 for 65 townhouse units. Since the original rezone application was submitted, participation by the Owner in the new Community Plan process including consultation with the neighbourhood has resulted in the new OCP designation of Detached Residential with up to 27 single family lots on the property. The rezone application is amended to RM1, with some site specific provisions.

Proposed Development

The Concept Plan for the site is for a bare land strata development of 27 lots, accessed from the eastern end of Smythe Drive. The lots are largely located on the former orchard bench lands of the property. An emergency egress route is proposed from the western end of the property to a lower area of Smythe Drive.

This site is designated as a "Hillside Development Permit Area" and as an "Environmental Protection Development Permit Area". At the time of subdivision, Development Permits will be required to address Community Plan guidelines for Hillside and Environmental purposes. Note that the development Concept Plan reflects protection of environmentally sensitive lands and steep slopes / hazard lands.

RM1 Zone

The design of the strata development presented for the Community Plan Review process was based on the R1 zone. In discussions with City staff, it was agreed that the RM1 zone, being the bare land strata zone, is the most appropriate for this development. This zone would be amended with Site Specific provisions for 375 Smythe Drive as follows:

- Section 10.7.1 Permitted Uses :
Remove .7 townhouse as a permitted use. Note that this zone does not permit carriage houses.
- Section 10.7.2 Subdivision and Development Regulations :
 - Amend .4 Maximum density from 25 dwellings / ha to a maximum of 27 single family dwellings
 - Amend .6 Maximum height: i. Principal building from 8.5m to 10.5m, being the maximum height in the Single Family R1, R2 and R3 zones.

Ecora Engineering & Resource Group Ltd.
201 - 294 Main Street, Penticton, BC V2A 5B2
| P: 250.492.2227 | F: 250.492.2135
www.ecora.ca



These amendments to RM1 zone represent the development limitations outlined in the new Community Plan for 375 Smythe Drive.

Background Professional Reports

In support of development of 375 Smythe Drive, a number of professional reports were submitted as follows:

1. Servicing: Water service to the new development will be connected to the existing main in Smythe Drive with a booster pump located at the base of the development. On-site private water storage comprised of 5 x 100,000 L storage tanks will provide domestic water and fire protection. The strata will be responsible for this system. Sanitary sewer will gravity into the existing sanitary sewer main in Smythe Drive. Storm water will be collected in on-site storage facilities to be infiltrated into the ground or slow-released into the existing culvert in Smythe Drive that flows into Gillies Creek. All services will be installed to City standards and at the cost of the Developer.
2. Geotechnical: Rock Glen Consulting Ltd, Geotechnical Assessment for Proposed 3 Lot Subdivision at 417 Smythe Drive, 2009. The report notes that slopes adjacent to and within the property are generally stable, native soils are suitable for residential housing and there is a low risk of landslides. A plan was provided to identify developable areas at 375 Smythe Drive. Updated assessment 2018 for 375 Smythe Drive development site. Review of buildable area slope setbacks for Lot 2. Preparation of "Developable Area Plan".
3. Environmental:
 - a. Lisa Scott, 4850 Lakeside Road Environmental Assessment – Phase 1. 2007. Environmental Impact Assessment of 4 parcels including the subject site. The subject property is noted largely as "Cultivated Orchard" with some steep slopes. There is a riparian area along the northern edge of the site and along Gillies Creek. Habitat types on the site include Paper Birch – Snowberry along the southern side and Ponderosa Pine - Selagenella. The upper eastern portion of the site with rocky outcrops and grass lands has some high habitat values – most of this area is located on the adjacent lot B that is zoned CA, Conservation Area.
 - b. Wildrock Environmental. Consultants Environmental Assessment and Mitigation Plan. 2018. Prepared for 375 Smythe Drive. Notes that much of the subject site was used as an orchard and a residence. Established Environmental Sensitive Area ratings, with the cultivated orchard area that is rated as ESA 4. ESA 1 lands located along the southern, north eastern and part of the north western slopes of the property. Some ESA designations 2 and 3 along the north western slopes. Avoid development in ESA 1 area and offset any impacts in ESA 2 and 3 areas. Noted no impact of the Gillies Creek Riparian Area on the developable area of Lot 2.
4. Forest Fire Interface: F. Marshall. Wildland Fire Urban/Interface Report for Painted Rock Vineyards, 2008. This report reviewed lands both on the north and south side of Gillies Creek - the northern lands are the subject of this application, The overall fire hazard rating of the site and adjacent area is Low to Moderate. The draw located along the northern edge of the bare land strata subdivision was rated as having a Moderate fire hazard. Recommendations for development include FireSmart principles and fuel modification in the north draw. The Gillies Creek draw, with valuable riparian and habitat values, should largely be left as is, with some minor work suggested.
5. Riparian Area Assessment: Wildstone Information Requirements to complete RAR assessment 2007. This letter recommends a 15 - 30.0m SPEA along Gillies Creek.
6. Archaeological: Penticton Indian Band. Preliminary Archaeological Impact Assessment. 2018. This assessment identified an area of high potential along the northern slopes of Gillies Creek and the draw along

the northern edge of the site. PIB will work with the owner to avoid impacting the site or recovering site information and conduct further monitoring during land altering activities.

Traffic Report: Opus Traffic Review for the proposed Smythe Drive Area Plan. 2007. Pre-Design Safety Review of Smythe Drive and Lakeside Road. 2008. A Traffic Study by Opus Hamilton Consultants from 2007 was prepared for the larger development of 75 townhouses and 57 townhouses proposed at that time. Based on the trip generation rates in this study, afternoon peak traffic generated by a new development on Smythe Drive would represent about a 3% increase in traffic on Lakeside Road. However, in the peak afternoon hour traffic leaving and returning at Smythe Drive would increase from 36 existing vehicles by about 14 additional vehicles. While not a large impact, the proposed development would increase the number of turning movements at this intersection. The 2008 study discussed the sight line issues with the intersection of Lakeside and Smythe and proposed 4 conceptual options to improve safety.

Intersection of Lakeside Road and Smythe Drive

There are a number of overall concerns about Lakeside Road and traffic volumes. This Collector Road is developed as a rural cross-section, with no curbs and sidewalks for pedestrians and narrow or no road shoulder for cycling safety. The intersection with Smythe Drive has safety concerns due to limited sight lines for traffic approaching from the south due to horizontal and vertical curves and a step bank and vegetation on the east side of the roadway.

The City is in the process of reviewing intersection improvement options and be recommending an approach to addressing safety concerns.

There has been extensive public consultation on the proposed development during the Community Plan Review process. Additional input will be sought by the Owner, either in conjunction with the City's consultation on intersection improvement options or at a separate event.

We trust this proposal meets your present requirements. If you have any questions or comments, please contact the undersigned.

Sincerely

Ecora Engineering & Resource Group Ltd.

Donna Butler, MCIP, RPP
Senior Planner
Direct Line: 250.492 2227 x 1070
Email: donna.butler@ecora.ca

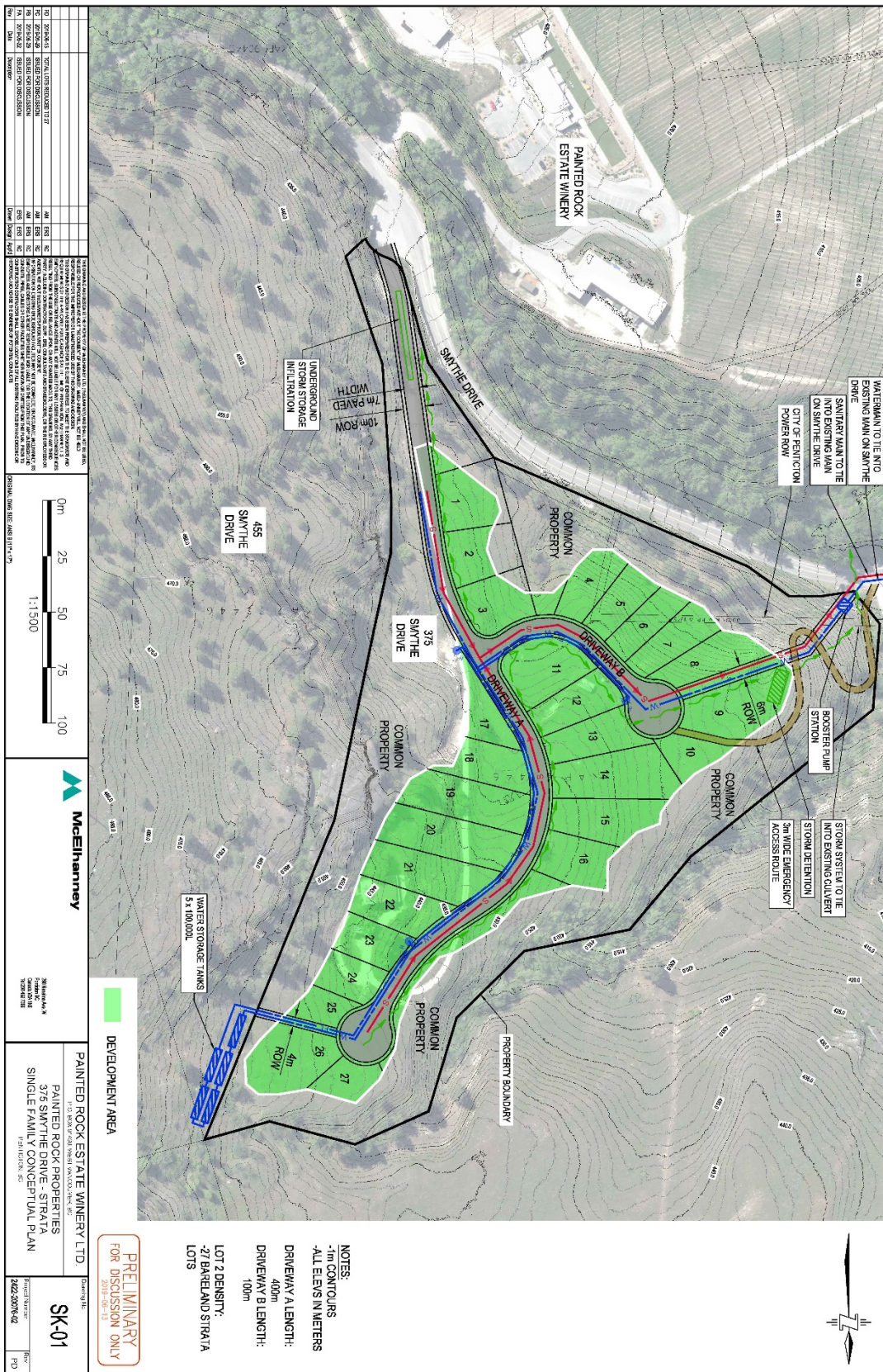
Attachment E – Official Community Plan Policy Review (staff)

- Policy 4.1.1.2 Avoid development in environmentally-sensitive areas, geological hazard and flood hazard areas, on steep slopes, in agricultural areas and in areas not readily served by transit.
- The applicant has contracted environmental, geotechnical, wildfire and riparian consultants to determine the proposed strata subdivision layout. The compact nature of the proposed strata subdivision maintains a substantial area of the lot as common property and undeveloped.
- Policy 4.1.1.3 Evaluate the short-term and long-term financial, ecological and social costs and benefits of all proposed new greenfield (largely on hillsides) development proposals through analysis of full life cycle costs of infrastructure, including replacement, and services, and structured assessment of environmental and social impacts.
- This proposed development was considered through the development of the OCP. The applicant is required to pay Development Cost Charges, as well as additional infrastructure for the provision of water and sanitary to service the development.
- Policy 4.1.1.4 Ensure all new developments fully cover the cost of the required infrastructure and services they require, including roads, water, sewer, storm water, and provision of parks, schools, and emergency services.
- The developer is responsible for infrastructure services related to the proposed development. Staff are recommending that Council require the developer contribute to future intersection upgrades at Smythe Drive and Lakeshore Road.
- Policy 4.1.3.4 Encourage developments that include one-bedroom and two-bedroom units in suitable neighbourhoods to enable people to downsize as they age and to provide entry-level housing for those people entering the housing market. At the same time, provide 3-bedroom units, or larger, to accommodate families.
- The proposed strata subdivision will consist of single detached dwellings, with the opportunity for secondary suites. These housing types provide options for families, renters, and multigenerational households.
- Policy 4.1.4.1 Work with the development community – architects, designers and builders – to create new residential developments that are attractive, high-quality, energy efficient, appropriately scaled and respectful of their context.
- The developers and their contracted professionals have designed the proposed strata subdivision in relation to its context. The development area is limited to 2.44 hectares (50% of the property) to maintain an environmental buffer around the development. The development area was also reviewed by the Geotechnical engineer and located accordingly based on the site conditions.

- Policy 4.1.4.2 Ensure that housing – both owner occupied and rental – is well-managed and meets community expectations for standards of maintenance, upkeep and cleanliness.
- The proposed development is a strata which will maintain the common property on the lot.
- Policy 4.1.6.1 Ensure all residential neighbourhoods in Penticton provide a range of appropriately-scaled housing types and tenures, employment opportunities such as home-based businesses, transportation options like walking and cycling, social supports such as childcare facilities, and access to green space and parks.
- The proposed rezoning allows for single detached dwellings with the opportunity for secondary suites. These housing types provide ownership and rental options for residents, as well as the opportunity for multigenerational households. Staff will encourage the developer provide common amenity space for the strata. While it is located close to a provincial park, on-site amenity space will be valuable for future residents.
- Policy 4.2.7.8 Ensure new residential developments provide an appropriate amount of parking for residents and their guests.
- The applicant will be required to provide the required number of parking spaces per strata lot, at the development stage. The Zoning Bylaw requires 2 parking space per single detached dwelling, with one additional parking space if a secondary suite is constructed in the single detached dwelling.
- Policy 4.4.1.1 Protect neighbourhoods and agricultural areas in wildfire interface areas, and the city at large, through implementation of wildfire best management practices, such as ecologically-appropriate FireSmart, in new neighbourhood and infrastructure design, building construction and management of individual properties.
- The applicant is aware of FireSmart practices, which guide the strata subdivision configuration and future building materials.
- Policy 4.4.2.1 Identify environmentally sensitive area and riparian areas, and protect them through application of the Environmental and Riparian Development Permit Guidelines.
- An Environmental Development Permit is required as a condition of strata subdivision, should the rezoning be approved. The applicant has provided Environmental Assessment Reports which have led to the proposed strata subdivision layout and configuration.
- Policy 4.4.2.2 Identify, preserve, protect, connect, restore and enhance wildlife corridors through land use designations, zoning and covenants.
- Preliminary environmental reports have guided the proposed strata subdivision into the current configuration. An environmental buffer is maintained around the perimeter of the property and 50% of the site is outside the development area.
- Policy 4.4.4.4 Encourage the development of compact, mixed-use neighbourhoods, where appropriate, and support transit use, walking, cycling, car-sharing and low-emission vehicles.
- The proposed strata subdivision is concentrated in one area of the lot and maintains a large amount of the property undisturbed. The strata

subdivision layout maintains environmental features around the development and provides natural recreation opportunities to residents on the common property.

Attachment F – Preliminary Strata Subdivision Plan



Rezone 375 Smythe Drive

From A (Agriculture) zone to RM1 (Bareland Strata Housing) zone with the following site-specific provisions:

- In lieu of Section 10.7.1.4, duplexes are not permitted.
- In lieu of Section 10.7.1.7, townhouses are not permitted.
- In lieu of Section 10.7.2.3, the maximum density shall be 27 single detached dwellings.
- In lieu of Section 10.7.2.6, the maximum building height for principal buildings shall be 10.5m.



City of Penticton – Schedule 'A'

Zoning Amendment Bylaw No. 2020-41

Date: _____

Corporate Officer: _____

Council Report

penticton.ca

Date: October 6, 2020
To: Donny van Dyk, Chief Administrative Officer
From: Mitch Morozziuk, General Manager of Infrastructure
Subject: **Fees and Charges Amendment Bylaw No. 2020-38**

File No:

Staff Recommendation

THAT Council give first, second and third reading to "Fees and Charges Amendment Bylaw No. 2020-38";

AND THAT Council adopt "Fees and Charges Amendment Bylaw No. 2020-38".

Background

As provided for in the *Community Charter*, fees and charges are used to recover the cost of services provided wherever possible, and as an alternative to property taxation. On an annual basis, staff consider the following factors when setting fees and charges:

- Inflation;
- Changes that are intended to bring the City closer to full cost recovery;
- Changes to address revenue shortfall;
- Changes to address funding of debt repayment;
- New or deleted Fees and Charges related to new services or billing methodologies; and
- *Community Charter* restrictions.

This report summarizes the proposed annual updates to the City of Penticton's 2021 Fees and Charges Amendment Bylaw for Utilities.

Financial implication

The revised Fees and Charges rates for Utilities are an important component in finalizing the proposed 2021-2025 Financial Plan.

Analysis of changes

Below are highlights of the changes that are included 2021 Fees and Charges Bylaw Amendment for Utilities. The information presented deals specifically with changes to: Appendix 7, Electrical; Appendix 25, Sanitary Sewer; Appendix 29, Water; and Appendix 31, Storm Sewer. The Attached tables show all of the changes complete with comments as to the nature of the change.

Appendix 7: Electric

- Proposed Electrical rate increase of 1%. This consists of no increased Electrical rates as per the 2019 rate review **plus** 1% to address the loss of revenue from changing from a discount to a penalty rate structure.
- It should be noted that the cost increase to what the City pays to purchase power from FortisBC will in 2021 exceed the amount included in the 2019 rate review meaning expenses will be some \$1,100,000 higher than anticipated. The shortfall will be drawn from the Electrical Reserve.
- Updated miscellaneous service call and administration fees to: Address contractual labor increases; Changes to the labor burden; Changes to vehicle, equipment and material costs.

Appendix 25: Sanitary Sewer

- Proposed Sanitary Sewer rate increase of 22.9%. This consists of increased Sanitary Sewer rates of approximately 9.4% as per the 2019 rate review **plus** 0.5% to address the loss of revenue from changing from a discount to a penalty rate structure **plus** 8.5% to address revenue loss, rate review vs. actual **plus** 4.5% to provide revenue to fund the borrowing that will be required for some significant projects.
- There are a number of changes to the projects included in the 2021 to 2025 budget as compared to the 2019 rate review. The following pressing projects need to be addressed in the Sanitary Sewer Utility and will require borrowing as a source of funding:
 - New Sanitary Sewer Bio-solids Composting Site (\$8,500,000). The existing compost site currently does not meet Organic Matter Recycling Regulations and must be replaced.
 - Third Secondary Clarifier (\$4,544,000). This project is required to properly manage risk. There is currently no redundancy to the treatment process should one of the existing two Secondary Clarifiers fail during high flows or times of low biological activity. This would, in quick order, lead to the City discharging effluent that does not meet the terms and conditions of our Operating Permit.
 - Addition of a new Internal Recycle Pump (\$498,000). Additional pumping capacity within the plant is required to address population growth.
 - Replace the dry sludge bin room and sludge pumps (\$1,108,000). The existing system fails on a consistent basis and after many years of managing the problem it needs to be replaced.
 - Replace the Motor Control Center (\$753,000). The existing Motor Control Center is reaching end of life, has no ability for expansion and is no longer supported.
 - Add a second Fermenter (\$1,968,000). This project is required to properly manage risk and expenses. Currently there is one Fermenter, when it fails or maintenance is required chemicals are added to meet treatment objectives. The addition of chemicals has a negative effect on biological activity and must be carefully managed. Adding the redundancy of a second Fermenter eliminates these risks. Having a redundancy through duplication is an accepted best practice in waste water treatment plants.
- Updated miscellaneous service call and supply and installation fees: Address contractual labor increases; and Changes to vehicle, equipment and material costs.
- Added and modified fees associated with new sanitary and storm service installation to better recover costs.

Appendix 29: Water

- Proposed Treated Water rate increase of 6.9%. This is consists of increased Treated Water rates of approximately 0.6% as per the 2019 rate review **plus** 0.5% to address the loss of revenue from changing from a discount to a penalty rate structure **plus** 5.8% to provide revenue to fund the borrowing that will be required for some significant projects for a total Treated Water rate increase of 6.9%.
- Proposed Agricultural Water rate increase of 9.8%. This is consists of increased Agricultural Water rates of approximately 4.0% as per the 2019 rate review **plus** 5.8% to provide revenue to fund the borrowing that will be required for some significant projects for a total Agricultural Water rate increase of 9.8%. In addition for the Agricultural Water rates that are monthly a further 0.5% has been added to address the loss of revenue from changing from a discount to a penalty rate structure.
- There are a number of changes to the projects included in the 2021 to 2025 budget as compared to the 2019 rate review. The following pressing projects need to be addressed in the Water Utility and will require borrowing as a source of funding:
 - Ridgedale Reservoir Expansion (\$4,261,000). The Ridgedale Reservoir requires expansion to provide for proper water storage volumes to address growth and fire storage.
 - Ellis 4 Dam upgrades (\$8,300,000). The Ellis 4 Dam provides water to the south agricultural irrigation area of the City. This dam does not meet the new Dam Safety Regulations and must be upgraded or removed and replace with another mechanism to supply water to the south agricultural irrigation area.
- Updated miscellaneous service call and supply and installation fees: Address contractual labor increases; and Changes to vehicle, equipment and material costs.
- Added and modified fees associated with new water service installation to better recover costs.

Appendix 31: Storm Water

- Increased Storm Sewer rates by approximately 34% as per the 2018 Storm Sewer Rate Structure developed by the Intergroup.

Impact to the Rate Payer

Staff have calculated the monthly impact of the proposed Utility rate increases on our three different customer classes and they are as presented below.

	Monthly \$ Change 2020 to 2021			Monthly % Change 2020 to 2021		
	Residential Customer	Commercial Customer	Industrial Customer	Residential Customer	Commercial Customer	Industrial Customer
Electrical	\$ 1.27	\$ 7.57	\$ 229.17	1%	1%	1%
Water	\$ 3.50	\$ 19.25	\$ 82.67	7%	7%	7%
Sanitary Sewer	\$ 7.94	\$ 65.37	\$ 252.72	23%	23%	23%
Storm Sewer	\$ 0.88	\$ 2.67	\$ 4.00	34%	34%	34%
TOTAL	\$ 13.60	\$ 94.86	\$ 568.56	7%	7%	2%

Impact to Revenue

Staff have calculated the annual impact of the proposed Utility rate increases to revenue and they are as presented below.

Item	Projected 2020 Revenue	% Increase	Projected 2021 Additional Revenue
ELECTRICAL			
Electrical Energy Sales	-\$ 41,682,029	1.00%	-\$ 416,820
TOTAL Electrical			-\$ 416,820
SANITARY SEWER			
Sewer Sales	-\$ 6,946,552	22.90%	-\$ 1,590,760
Fixture Charges	-\$ 162,729	22.90%	-\$ 37,265
Septic Dumping Station	-\$ 130,000	0.00%	\$ -
Sludge Handling	-\$ 95,000	0.00%	\$ -
Reclaimed Effluent	-\$ 45,000	2.50%	-\$ 1,125
TOTAL Sanitary Sewer			-\$ 1,629,150
STORM SEWER			
Storm Water Revenue	-\$ 563,087	34.00%	-\$ 191,450
TOTAL Storm Water			-\$ 191,450
WATER			
Treated Water Sales	-\$ 8,407,414	6.90%	-\$ 580,112
Irrigation Orchards	-\$ 317,385	9.80%	-\$ 31,104
WestBench Water	-\$ 120,000	6.90%	-\$ 8,280
TOTAL Water			-\$ 619,495

Alternate recommendations

THAT Council direct staff to make changes to the appendices.


Attachments

Attachment A – Fees and Charges Changes

Attachment B – Fees and Charges Amendment Bylaw No. 2020-38

Respectfully submitted,

Mitch Moroziuk P.Eng. MBA
 General Manager of Infrastructure

CFO/GM Finance & Administration 	A/Chief Administrative Officer JB
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Appendix 7						
ELECTRIC	2019	2020	2020 effective May 15, 2020 cycle billing	2021	Change	Comments

Utility Administration Rates						
Utility credit references (current or recent account)	\$17.00	\$17.25	\$17.25	\$17.50	1.45%	Adjusted for contractual increases.
Archived account	\$30.00	\$30.50	\$30.50	\$31.00	1.64%	Adjusted for contractual increases.
Utility account history	\$17.00	\$17.25	\$17.25	\$17.50	1.45%	Adjusted for contractual increases.
Interest rate on delinquent utility accounts	10% per annum	10% per annum	10% per annum	10% per annum	N/A	N/A
Special electric meter reading	\$41.50	\$41.50	\$41.50	\$41.50	0.00%	Have checked rate calculation and no need to increase fee at this time.
Special electric meter inspection fee	\$41.50	\$41.50	\$41.50	\$41.50	0.00%	Have checked rate calculation and no need to increase fee at this time.

AMR OPT OUT						
AMR Opt Out manual electric meter reading for an individual meter	\$17.80	\$17.80	\$16.02	\$17.46	8.99%	Changed labour burden rate from 24.75% to 39.75%, adjusted the vehicle rate and adjusted for contractual increases.
AMR Opt Out manual combined electric and water meter reading for an individual for an individual meter read	\$18.80	\$18.80	\$16.92	\$18.36	8.51%	Changed labour burden rate from 24.75% to 39.75%, adjusted the vehicle rate and adjusted for contractual increases.
AMR Opt Out manual electric meter reading for a meter bank installation	\$17.80 for the first meter and \$1.00 per read for each additional meter in the meter bank per meter read. The total cost for the electric meter bank read is to be equally split between all customers serviced by the bank meter	\$17.80 for the first meter and \$1.00 per read for each additional meter in the meter bank per meter read. The total cost for the electric meter bank read is to be equally split between all customers serviced by the bank meter	\$16.02 for the first meter and \$0.90 per read for each additional meter in the meter bank per meter read. The total cost for the electric meter bank read is to be equally split between all customers serviced by the bank meter	\$17.46 for the first meter and \$1.00 per read for each additional meter in the meter bank per meter read. The total cost for the electric meter bank read is to be equally split between all customers serviced by the bank meter	8.99%	Changed labour burden rate from 24.75% to 39.75%, adjusted the vehicle rate and adjusted for contractual increases.
AMR Opt Out combined electric and water meter reading for a combined electric and water meter bank installation	\$18.80 for the first meter and \$1.00 per read for each additional meter in the meter bank per meter read. The total cost for the combined electric and water meter bank read is to be equally split between all customers served by the meter bank.	\$18.80 for the first meter and \$1.00 per read for each additional meter in the meter bank per meter read. The total cost for the combined electric and water meter bank read is to be equally split between all customers served by the meter bank.	\$16.92 for the first meter and \$0.90 per read for each additional meter in the meter bank per meter read. The total cost for the combined electric and water meter bank read is to be equally split between all customers served by the meter bank.	\$18.36 for the first meter and \$1.00 per read for each additional meter in the meter bank per meter read. The total cost for the combined electric and water meter bank read is to be equally split between all customers served by the meter bank.	8.51%	Changed labour burden rate from 24.75% to 39.75%, adjusted the vehicle rate and adjusted for contractual increases.
AMR Opt Out electric meter use of a digital non radio frequency electric meter	\$153.00	\$153.00	\$153.00	\$153.00	0.00%	Have checked rate calculation and no need to increase fee at this time.
Utility application fee – next day service	\$47.50	\$47.50	\$47.50	\$47.50	0.00%	Have checked rate calculation and no need to increase fee at this time.
Utility application fee – same day service (accounts with combined electric and water)	\$105.00	\$105.00	\$105.00	\$105.00	0.00%	Have checked rate calculation and no need to increase fee at this time.
Utility application fee (electric only) same day service (accounts that only have electric services)	\$59.50	\$59.50	\$59.50	\$59.50	0.00%	Have checked rate calculation and no need to increase fee at this time.
Non-Payment: Electric disconnect and re-connect(during City Hall hours only)	\$83.00	\$83.00	\$83.00	\$83.00	0.00%	Have checked rate calculation and no need to increase fee at this time.
Non-Payment: Site visit without a disconnect (during City Hall hours only)	\$41.50	\$41.50	\$41.50	\$41.50	0.0%	Have checked rate calculation and no need to increase fee at this time.
Electrical disconnect or re-connect or site visit (cost per visit after hours with call-out)	\$430.25	\$430.25	\$430.25	\$445.25	3.5%	Changed labour burden rate from 32% to 43%, adjusted the vehicle rate and adjusted for contractual increases.
Electrical disconnect or reconnect or site visit (cost per visit during City Hall hours)	\$41.50	\$41.50	\$41.50	\$41.50	0.0%	Have checked rate calculation and no need to increase fee at this time.
Electrical disconnect or reconnect or site visit (cost per visit after hours without call-out)	\$83.00	\$83.00	\$83.00	\$83.00	0.0%	Have checked rate calculation and no need to increase fee at this time.
Illegal reconnection administration charge	\$280.00	\$285.00	\$285.00	\$290.00	1.8%	Adjusted for contractual increases.
Utility fee - Leave on Authorized	\$12.25	\$12.50	\$12.50	\$12.75	2.0%	Adjusted for contractual increases.
Electrical Disconnect and reconnect from pole	\$358.00	\$358.00	\$358.00	\$448.75	25.35%	Added 25m of conductor, changed labour burden rate from 32% to 43%, updated vehicle rates and adjusted for contractual increases.
Special Administration charge per service	\$28.00	\$28.50	\$28.50	\$29.00	1.75%	Adjusted for contractual increases.

Electric Rates						
Rate Code 10 - Residential						
Basic Charge	\$18.72 per billing plus	\$18.72 per billing plus	\$16.85 per billing plus	\$17.02 per billing plus	1.01%	Move to Penalty Rate Structure, increased May 15 2020 rate by 1% to recover revenue loss.
Energy Charge	\$0.1284 per kwh for all consumption during the billing period	\$0.1284 per kWh for all consumption during the billing period	\$0.1156 per kWh for all consumption during the billing period	\$0.1168 per kWh for all consumption during the billing period	1.04%	

Rate Code 20 - General - Secondary metered and City owned Transformation						
Basic Charge	\$18.72 per billing plus	\$18.72 per billing plus	\$16.85 per billing plus	\$17.02 per billing plus	1.01%	Move to Penalty Rate Structure, increased May 15 2020 rate by 1% to recover revenue loss.
Energy Charge: First 10,000 kwh per billing	\$0.1429 per kwh	\$0.1429 per kWh	\$0.1286 per kWh	\$0.1299 per kWh	1.01%	
Next 90,000 kwh per billing	\$0.1126 per kwh	\$0.1126 per kWh	\$0.1013 per kWh	\$0.1024 per kWh	1.09%	
Additional kwh per billing	\$0.0789 per kwh	\$0.0789 per kWh	\$0.0710 per kWh	\$0.0717 per kWh	0.99%	
Demand Charge	\$10.09 per KVA of billing demand which is the greater of a) the maximum KVA demand in excess of 45 KVA for the current billing or b) 75% of the maximum KVA billable demand in excess of 45kVA recorded during the previous 364 days to the current billable demand read	\$10.09 per KVA of billing demand which is the greater of a) the maximum KVA demand in excess of 45 KVA for the current billing or b) 75% of the maximum KVA billable demand in excess of 45kVA recorded during the previous 364 days to the current billable demand read	\$9.08 per KVA of billing demand which is the greater of a) the maximum KVA demand in excess of 45 KVA for the current billing or b) 75% of the maximum KVA billable demand in excess of 45kVA recorded during the previous 364 days to the current billable demand read	\$9.17 per KVA of billing demand which is the greater of a) the maximum KVA demand in excess of 45 KVA for the current billing or b) 75% of the maximum KVA billable demand in excess of 45kVA recorded during the previous 364 days to the current billable demand read	0.99%	

Rate Code - 25, 30 and 35						
Are subject to the same base rates for consumption and demand as set out in Rate Code 20 with the following discounts:						
Primary Metering	1.5% discount on consumption and demand charges. Customer-owned transformation - 9.0% discount on demand charges only	1.5% discount on consumption and demand charges. Customer-owned transformation - 9.0% discount on demand charges only	1.5% discount on consumption and demand charges. Customer-owned transformation - 9.0% discount on demand charges only	1.5% discount on consumption and demand charges. Customer-owned transformation - 9.0% discount on demand charges only	0.00%	N/A

Rate Code 25 - General - Primary metered and City owned Transformation						
Basic Charge	\$18.72 per billing plus	\$18.72 per billing plus	\$16.85 per billing plus	\$17.02 per billing plus	1.01%	
Energy Charge						
First 10,000 kwh per billing	\$0.1408 per kwh	\$0.1408 per kWh	\$0.1267 per kWh	\$0.1280 per kWh	1.03%	
Next 90,000 kwh per billing	\$0.1109 per kwh	\$0.1109 per kWh	\$0.0998 per kWh	\$0.1008 per kWh	1.00%	
Additional kwh per billing	\$0.0777 per kwh	\$0.0777 per kWh	\$0.0699 per kWh	\$0.0706 per kWh	1.00%	

Attachment A

Appendix 7						
ELECTRIC	2019	2020	2020 effective May 15, 2020 cycle billing	2021	Change	Comments
Demand Charge	\$9.93 per KVA of billing demand which is the greater of a) the maximum KVA demand in excess of 45 KVA for the current billing; or b) 75% of the maximum KVA billable demand in excess of 45KVA recorded during the previous 364 days to the current billable demand read	\$9.93 per KVA of billing demand which is the greater of a) the maximum KVA demand in excess of 45 KVA for the current billing; or b) 75% of the maximum KVA billable demand in excess of 45KVA recorded during the previous 364 days to the current billable demand read	\$8.94 per KVA of billing demand which is the greater of a) the maximum KVA demand in excess of 45 KVA for the current billing; or b) 75% of the maximum KVA billable demand in excess of 45KVA recorded during the previous 364 days to the current billable demand read	\$9.03 per KVA of billing demand which is the greater of a) the maximum KVA demand in excess of 45 KVA for the current billing; or b) 75% of the maximum KVA billable demand in excess of 45KVA recorded during the previous 364 days to the current billable demand read	1.01%	Move to Penalty Rate Structure, increased May 15 2020 rate by 1% to recover revenue loss.
Rate Code 30 - General - Secondary metered and customer owned Transformation						
Basic Charge	\$18.72 per billing plus	\$18.72 per billing plus	\$16.85 per billing plus	\$17.02 per billing plus	1.0%	
Energy Charge						
First 10,000 kwh per billing	\$0.1429 per kwh	\$0.1429 per kWh	\$0.1286 per kWh	\$0.1299 per kWh	1.01%	
Next 90,000 kwh per billing	\$0.1126 per kwh	\$0.1126 per kWh	\$0.1013 per kWh	\$0.1024 per kWh	1.09%	
Additional kwh per billing	\$0.0789 per kwh	\$0.0789 per kWh	\$0.0710 per kWh	\$0.0717 per kWh	0.99%	
Demand Charge	\$9.18 per KVA of billing demand which is the greater of a) the maximum KVA demand in excess of 45 KVA for the current billing; or b) 75% of the maximum KVA demand in excess of 45 KVA recorded during the previous 364 days to the current billable demand read	\$9.18 per KVA of billing demand which is the greater of a) the maximum KVA demand in excess of 45 KVA for the current billing; or b) 75% of the maximum KVA demand in excess of 45 KVA recorded during the previous 364 days to the current billable demand read	\$8.26 per KVA of billing demand which is the greater of a) the maximum KVA demand in excess of 45 KVA for the current billing; or b) 75% of the maximum KVA demand in excess of 45 KVA recorded during the previous 364 days to the current billable demand read	\$8.34 per KVA of billing demand which is the greater of a) the maximum KVA demand in excess of 45 KVA for the current billing; or b) 75% of the maximum KVA demand in excess of 45 KVA recorded during the previous 364 days to the current billable demand read	0.97%	Move to Penalty Rate Structure, increased May 15 2020 rate by 1% to recover revenue loss.
Rate Code 35 - General - Primary metered and customer owned Transformation						
Basic Charge	\$18.72 per billing plus	\$18.72 per billing plus	\$16.85 per billing plus	\$17.02 per billing plus	1.0%	
Energy Charge						
First 10,000 kwh per billing	\$0.1408 per kwh	\$0.1408 per kWh	\$0.1267 per kWh	\$0.1280 per kWh	1.03%	
Next 90,000 kwh per billing	\$0.1109 per kwh	\$0.1109 per kWh	\$0.0998 per kWh	\$0.1008 per kWh	1.00%	
Additional kwh per billing	\$0.0777 per kwh	\$0.0777 per kWh	\$0.0699 per kWh	\$0.0706 per kWh	1.00%	
Demand Charge	\$9.04 per KVA of billing demand which is the greater of a) the maximum KVA demand in excess of 45 KVA for the current billing; or b) 75% of the maximum KVA demand in excess of 45 KVA recorded during the previous 364 days to the current billable demand read	\$9.04 per KVA of billing demand which is the greater of a) the maximum KVA demand in excess of 45 KVA for the current billing; or b) 75% of the maximum KVA demand in excess of 45 KVA recorded during the previous 364 days to the current billable demand read	\$8.14 per KVA of billing demand which is the greater of a) the maximum KVA demand in excess of 45 KVA for the current billing; or b) 75% of the maximum KVA demand in excess of 45 KVA recorded during the previous 364 days to the current billable demand read	\$8.22 per KVA of billing demand which is the greater of a) the maximum KVA demand in excess of 45 KVA for the current billing; or b) 75% of the maximum KVA demand in excess of 45 KVA recorded during the previous 364 days to the current billable demand read	0.98%	Move to Penalty Rate Structure, increased May 15 2020 rate by 1% to recover revenue loss.
Rate Code 45 - General - City Accounts						
Energy Charge	\$0.0953 per kwh for all consumption	\$0.0953 per kWh for all consumption	\$0.0858 per kWh for all consumption	\$0.0866 per kWh for all consumption	0.93%	Move to Penalty Rate Structure, increased May 15 2020 rate by 1% to recover revenue loss.
Rate Code 55 - Street Lighting, Traffic Lights & Other Un-metered Loads						
Per fixture watt or volt ampere per billing subject to Electric Utility Services Bylaw No. 2017-44	\$0.1071 per fixture watt or volt ampere per billing	\$0.1071 per fixture kWh or kVAh per billing	\$0.0964 per fixture kWh or kVAh per billing	\$0.0974 per fixture kWh or kVAh per billing	1.04%	
Per watt or volt ampere per billing based on equipment name plate data or customer information, or where data is insufficient, the City will determine by appropriate measurement and calculation what equipment kilowatt-hour or kilovolt ampere-hour loading shall be used for billing purposes.	\$0.2024 per watt	\$0.2024 per kWh	\$0.1822 per kWh	\$0.1840 per kWh	0.99%	Move to Penalty Rate Structure, increased May 15 2020 rate by 1% to recover revenue loss.
Monthly minimum charge per fixture or service connection	\$18.72 per billing plus	\$18.72 per billing plus	\$16.85 per billing plus	\$17.02 per billing plus	1.00%	
Net Metering Rate Code (aka Micro-DR)						
When paying Net Metered Customers for any excess Energy generated by the Customer, the Penticton Electric Utility shall use the applicable Rate Code under which the Customer is receiving Service from the Penticton Electric Utility. Customers will be responsible for all costs of their Distribution Generation System including, but not limited to, design, permits, installation, inspection fees, connection fees, repairs and maintenance.						
Electrical Service Calls						
Service Call – 1 stop (1 hr. max)	\$217.25	\$217.25	\$217.25	\$224.80	3.48%	Changed labour burden rate from 32% to 43%, adjusted the vehicle rate and adjusted for contractual increases.
Service Call – 2 stops (1.75 hr. max)	\$326.00	\$350.00	\$350.00	\$393.40	12.40%	Changed labour burden rate from 32% to 43%, adjusted the vehicle rate, adjusted for contractual increases and increased stop time from 1.5 hr to 1.75 hr
Electrical Service Connections						
Temporary Service Connection						
1 Phase up to 200 amps	\$217.25	\$349.00	\$349.00	\$380.40	9.00%	Changed labour burden rate from 32% to 43%, adjusted the vehicle rate and adjusted for contractual increases.
all except 1 phase up to 200 amps	Actual Cost	Actual Cost	Actual Cost	Actual Cost	N/A	N/A
Service Relocate						
1 phase up to 200 amps	\$347.00	\$421.00	\$421.00	\$452.10	7.39%	Changed labour burden rate from 32% to 43%, adjusted the vehicle rate and adjusted for contractual increases.
Service Upgrade						
1 phase over 200 amps	Actual Cost	Actual Cost	Actual Cost	Actual Cost	N/A	N/A
3 phase overhead and underground (all)	Actual Cost	Actual Cost	Actual Cost	Actual Cost	N/A	N/A
Service Connection						
1 phase per unit (200 amps max -includes 1 meter) overhead and underground	\$393.25	\$480.00	\$480.00	\$511.10	6.48%	Changed labour burden rate from 32% to 43%, adjusted the vehicle rate and adjusted for contractual increases.
Additional meters	Actual Cost	Actual Cost	Actual Cost	Actual Cost	N/A	N/A
1 phase overhead and underground over 200 amps	Actual Cost	Actual Cost	Actual Cost	Actual Cost	N/A	N/A
3 phase overhead and underground (all)	Actual Cost	Actual Cost	Actual Cost	Actual Cost	N/A	N/A
Primary Underground Cable	Actual Cost	Actual Cost	Actual Cost	Actual Cost	N/A	N/A
Terminate and Energize underground - Per lot	Actual Cost	Actual Cost	Actual Cost	Actual Cost	N/A	N/A
Installation of electrical poles, vaults, road-crossings, etc	Actual Cost	Actual Cost	Actual Cost	Actual Cost	N/A	N/A
Electrical Call Out Rate	\$430.25	\$430.25	\$430.25	\$445.25	3.49%	Changed labour burden rate from 32% to 43%, adjusted the vehicle rate and adjusted for contractual increases.
Electrical Pole Contacts						
Telus (JU Contacts, WiFi, Power Point Contact + Energy at appropriate rate code(s))	As per Contract	As per Contract	As per Contract	As per Contract	N/A	N/A
Shaw Cable (JU Contacts, WiFi, Antenna, Power Point Contact + Energy at appropriate rate code(s))	As per Contract	As per Contract	As per Contract	As per Contract	N/A	N/A
Bell Canada JU Contacts	As per Contract	As per Contract	As per Contract	As per Contract	N/A	N/A
Recoverable Sign Installations	Actual Cost	Actual Cost	Actual Cost	Actual Cost	N/A	N/A
Power Factor Surcharge:	Power Factor	Surcharge	Surcharge	Surcharge		

Appendix 7						
ELECTRIC	2019	2020	2020 effective May 15, 2020 cycle billing	2021	Change	Comments
a) Every Customer must regulate their load to maintain a Power Factor of not less than ninety (90%) percent.	Between 90% and 100%	Nil	Nil	Nil	N/A	N/A
	Between 88% and 90%	2%	2%	2%	N/A	N/A
	Between 85% and 88%	4%	4%	4%	N/A	N/A
b) If customers have equipment or install equipment that results in poor power factor (less than 90%) a power factor surcharge may be applied and it is the Customer's responsibility to install equipment to correct or improve power factor.	Between 80% and 85%	9%	9%	9%	N/A	N/A
	Between 75% and 80%	16%	16%	16%	N/A	N/A
	Between 70% and 75%	24%	24%	24%	N/A	N/A
c) The surcharge shall be added to the Customer's bill after the rates or minimum charges have been calculated and the surcharge will remain in effect until the Penticton Electric Utility is satisfied that the Power Factor has been corrected.	Between 65% and 70%	34%	34%	34%	N/A	N/A
	Between 60% and 65%	44%	44%	44%	N/A	N/A
	Between 55% and 60%	57%	57%	57%	N/A	N/A
d) Electrical Service shall not be provided to any customer whose Load Power Factor is less than fifty (50%) percent.	Between 50% and 55%	72%	72%	72%	N/A	N/A
	Less than 50%	90% and electrical service may be disconnected	90% and electrical service may be disconnected	90% and electrical service may be disconnected	N/A	N/A

Notes:

#1. Any applicable Federal or Provincial taxes are in addition to the above charges. Penalty interest at the rate of two percent (2%) per bill for current charge amounts remaining unpaid after the passage of the due date denoted on the bill will be applied.

Reflects the change from a discount for early payment to a penalty for late payment.

#2. Basic charges will be applicable to accounts that are disconnected from electric for seasonal or temporary purposes when the electric is being turned off at the account holders request but the account holder(s) is not altering.

#3. City Electrical Infrastructure is defined as: Any items related to the City of Penticton Electrical Utility distribution system including but not limited to primary duct and secondary duct, street lighting, power cables, transformers and associated appurtenances.

#4. All customers are eligible to access the "Electrical Service Payment Plan" for the installation of City Electrical Infrastructure and/or customer owned Micro-DR equipment that supplies power to their properties. The details of this program are summarized as follows:

- Payment Plan range: A customer can put a minimum amount of \$2,000 up to a maximum amount of \$50,000 on a Payment Plan;
- Payment Plan terms: 5 year payback in equal monthly amounts on the Electric Utility Bill plus interest calculated at the Prime Interest Rate +0.5%; and
- The customer has the ability to end the Payment Plan at any time by repaying the balance owing in full at any time without penalty.

Eligibility requirements:

- Must be for a new or an upgrade to an Electrical Service;
- Must be a City of Penticton Electric Utility customer;
- Must have a credit score of: 650 or greater for an individual, or less than 25 for a business;
- Must have a maximum of 19 City of Penticton Utility Credit Points;
- The customer must own both the land and building where the service is required; and
- If Micro-DR, receipts must be submitted from the contractor performing the work; and
- Protection: Any defaults on the Payment Plan will be subject to the normal City of Penticton utility collection procedures, including service disconnect and ultimately transfer of outstanding amount to taxes. Any outstanding payment plan amounts must be paid in full upon sale of the property.

Appendix 25						
SEWER	2019	2020	2020 effective May 15, 2020 cycle billing	2021	Change	Comments

Sanitary Sewer Fixture Charges

Such charges to be effective immediately upon the expiration of 180 days (60 days in the case of a renovated building) from the date of validation of the building permit, provided however, that this amount may be pro-rated from the effective date to December 31 of the year in which the building is built or renovated.

An extension to the 180 day period will be considered providing the builder applies **in writing** to Building & Licence Division prior to the expiration of the 180 day period. Should a request come from a builder **after** the expiration of the 180 day period, an extension may still be granted upon payment of an administration fee:

Extensions are only to be granted in multiples of 30 days, i.e. 30, 60, 90 days.

Sanitary Sewer Charges based on Treated Water Use

Residential Use Monthly Fixed Sanitary Sewer Rates Based on Water Meter Size charged April to October

13mm / 16mm / 19mm (1/2 inch, 5/8 inch and 3/4 inch /month April to October)	\$31.96	\$34.68	\$31.21	\$38.36	22.90%	Sewer Rates are being increased as follows: 9.4% from the 2019 Utility Rate Review; Plus 0.5% to account for revenue loss from changing from a discount to a penalty rate structure; Plus 8.5% to account for revenue loss Rate Review to Actual; Plus 4.5% to support principal and interest payments on required borrowing. Total 22.9%
25mm (1 inch) / month April to October	\$79.90	\$88.90	\$80.01	\$98.33	22.90%	
38 mm (1 1/2 inches) / month April to October	\$159.79	\$178.14	\$160.33	\$197.04	22.90%	
50 mm (2 inches) / month April to October	\$255.67	\$292.57	\$263.31	\$323.61	22.90%	
75 mm (3 inches) / month April to October	\$559.29	\$614.10	\$552.69	\$679.26	22.90%	
100 mm (4 inches) / month April to October	\$1,006.73	\$1,168.17	\$1,051.35	\$1,292.11	22.90%	

PLUS Variable Sanitary Sewer Generation Charge based on Water Use for all Meter Sizes charged November to March

Variable Consumption Charge / 2.83 cubic meters (100 cubic feet) charged monthly November to March [Minimum monthly consumption charge for 3/4" meter size customer based on 250 cubic feet]	\$6.87	\$7.51	\$6.76	\$8.31	22.90%	
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Non- Residential Use Monthly Fixed Sanitary Sewer Rates Based on Water Meter Size charged January to December

13mm / 16mm / 19mm (1/2 inch, 5/8 inch and 3/4 inch /month January to December)	\$15.65	\$17.12	\$15.41	\$18.94	22.90%	Sewer Rates are being increased as follows: 9.4% from the 2019 Utility Rate Review; Plus 0.5% to account for revenue loss from changing from a discount to a penalty rate structure; Plus 8.5% to account for revenue loss Rate Review to Actual; Plus 4.5% to support principal and interest payments on required borrowing. Total 22.9%
25mm (1 inch) / month January to December	\$39.13	\$42.79	\$38.51	\$47.33	22.90%	
38 mm (1 1/2 inches) / month January to December	\$78.28	\$85.61	\$77.05	\$94.69	22.90%	
50 mm (2 inches) / month January to December	\$125.24	\$136.97	\$123.27	\$151.50	22.90%	
75 mm (3 inches) / month January to December	\$273.96	\$299.62	\$269.66	\$331.41	22.90%	
100 mm (4 inches) / month January to December	\$493.14	\$539.32	\$485.39	\$596.54	22.90%	

PLUS Variable Sanitary Sewer Generation Charge based on Water Use for all Meter Sizes

Variable Consumption Charge / 2.83 cubic meters (100 cubic feet) charged monthly January to December	\$3.00	\$3.28	\$2.95	\$3.63	22.90%	
Request for Reduction Submission and Review	\$100.00	\$100.00	\$100.00	\$106.00	6.00%	Increased by 6% to adjusted for contractual changes
Fee for falsification of information on a Request for Reduction	\$500.00	\$500.00	\$500.00	\$530.00	6.00%	Increased by 6% to adjusted for contractual changes

NOTES

Any applicable Federal or Provincial taxes are in addition to the above charges. Penalty interest at the rate of two percent (2%) per bill for current charge amounts remaining unpaid after the passage of the due date denoted on the bill will be applied.

Reflects the change from a discount for early payment to a penalty for late payment.

Residential Uses includes: All single family, duplex, multi-family and mobile home parks

Non Residential Customers may apply after paying the prescribed fee to the City for a reduction in the % of water use to calculate the sanitary sewer consumption fee to account for business practices that create a large discrepancy between water use and sewage generation.

The following business practices will be eligible for consideration for a reduction:

- i. Water used to produce a product for sale that is consumed or used off the site. Examples include: Concrete production, off sales beer and wine, take out coffee and soft drinks.
- ii. Water used to irrigate plants that are sold. Examples include: Garden Centers.
- iii. Water used in a cooling process that does not enter the sanitary sewer.
- iv. Water used by contractors in water trucks for dust control.

The requested reduction in water use must be substantiated either through:

- i. The installation and reading of a water meter that will monitor the water used in the process for which the reduction is being sought.
- ii. Financial records or audit documents prepared by an accountant or a report prepared by a professional engineer that calculates the volume of water that should be considered for reduction.

The cost of producing the substantiation is to be borne by the party requesting the reduction.

No reduction will be granted for volumes of water less than 5%.

A person found to have submitted false information to support their reduction request will be required to pay the Fee for falsification of information on a Request for Reduction

Sanitary sewer charges no water meter or no water service (per month)

Fee based on property zoning as follows:

For properties zoned Single Family Residential	\$31.31	\$34.24	\$30.82	\$37.87	22.90%	Sewer Rates are being increased as follows: 9.4% from the 2019 Utility Rate Review; Plus 0.5% to account for revenue loss from changing from a discount to a penalty rate structure; Plus 8.5% to account for revenue loss Rate Review to Actual; Plus 4.5% to support principal and interest payments on required borrowing. Total 22.9%
For properties zoned I Multi Family Residential	\$44.56	\$48.73	\$43.86	\$53.90	22.90%	
For properties zoned Commercial	\$104.77	\$114.58	\$103.12	\$126.74	22.90%	
For properties zoned Industrial	\$711.71	\$778.36	\$700.52	\$860.94	22.90%	
For all other properties	\$104.77	\$114.58	\$103.12	\$126.74	22.90%	
Sanitary sewer charges based on a negotiated agreement	Fee to be as per the agreement approved by Council	Fee to be as per the agreement approved by Council	Fee to be as per the agreement approved by Council	Fee to be as per the agreement approved by Council	N/A	N/A
Sanitary Sewer Fixture Charge	\$43.57	\$47.65	\$47.65	\$58.56	22.90%	Sewer Rates are being increased as follows: 9.4% from the 2019 Utility Rate Review; Plus 0.5% to account for revenue loss from changing from a discount to a penalty rate structure; Plus 8.5% to account for revenue loss Rate Review to Actual; Plus 4.5% to support principal and interest payments on required borrowing. Total 22.9%
Minimum flat rate charge for sanitary sewer for residential properties adjacent to a sanitary sewer main but not connected	\$37.94	\$41.49	\$37.34	\$45.89	22.90%	
Minimum flat rate charge for sanitary sewer for non-residential properties adjacent to a sanitary sewer main but not connected	\$307.09	\$335.85	\$302.27	\$371.48	22.90%	
Permit to Discharge	\$248.00	\$248.00	\$248.00	\$262.88	6.00%	6% increase to reflect labor increases over the last 3 years.
Evaluation of restricted wastes of over strength matter	Actual cost	Actual Cost	Actual Cost	Actual Cost	N/A	N/A
Over strength B.O.D. charge (over 300 mg/l)	\$0.57/kg	\$0.60/kg	\$0.60/kg	\$0.64/kg	6.67%	6% increase to reflect chemical increases over the last 3 years.
Over strength C.O.D. surcharge (over 600 mg/l)	Fee to be developed	Fee to be developed	Fee to be developed	Fee to be developed	N/A	N/A
Over strength oil and grease surcharge (over 100 mg/l)	\$0.247/kg	\$0.259/kg	\$0.259/kg	0.275/kg	6.18%	6% increase to reflect chemical increases over the last 3 years.

Appendix 25						
SEWER	2019	2020	2020 effective May 15, 2020 cycle billing	2021	Change	Comments
Over strength phosphorous surcharge (over 10 mg/l)	Fee to be developed	Fee to be developed	Fee to be developed	Fee to be developed	N/A	N/A
Over strength total suspended solids surcharge (over 300 mg/l)	\$0.58/kg	\$0.61/kg	\$0.61/kg	\$0.65/kg	6.56%	6% increase to reflect chemical increases over the last 3 years.

Septic Waste Receiving Facility Rate - Tipping Fee

Tipping Fee for receiving septic waste	\$36.00 per cubic meter	\$36.00 per cubic meter	\$36.00 per cubic meter	\$36.00 per cubic meter	0.00%	Have checked rate calculation and no need to increase fee at this time.
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Sanitary or Storm Sewer Service Connections

(a) 100mm (4") BASE RATE sanitary or storm sewer service and connections - for up to 10 meters in length from the sanitary or storm sewer main to the property line	\$3,500.00	\$4,000.00	\$4,000.00	\$6,100.00	52.50%	Adjusted for contractual changes, vehicle changes and for trench and pipe costs to 10m
(b) 100mm (4") PER METER RATE OVER 10m IN LENGTH sanitary or storm sewer service and connections - Additional amount to the BASE RATE for the portion of sanitary and storm sewer service greater than 10 meters in length from the sanitary sewer or storm sewer main to property line.				\$575 / meter	N/A	New rate
(c) Two - 100mm (4") BASE RATE sanitary or storm sewer service and connections installed in the same trench - for up to 10 meters in length from the sanitary or storm sewer main to the property line	\$4,100.00	\$4,700.00	\$4,700.00	\$7,000.00	48.94%	Adjusted for contractual changes, vehicle changes and for trench and pipe costs to 10m
(d) Two - 100mm (4") PER METER RATE OVER 10m IN LENGTH sanitary or storm sewer service and connections installed in the same trench - Additional amount to the BASE RATE for the portion of sanitary and storm sewer service greater than 10 meters in length from the sanitary sewer or storm sewer main to property line.				\$650 / meter	N/A	New rate
(e) All other sanitary or storm sewer and service and connections	Actual Cost	Actual Cost	Actual Cost	Actual Cost	N/A	N/A
(f) When winter conditions prevail or hot mix asphalt is not available, if installation is to proceed, add \$525.00 each to the estimated and flat rate costs for service provided by the city that requires excavation.	\$550.00	\$550.00	\$550.00	\$550.00	0.00%	Have checked rate calculation and no need to increase fee at this time.
(g) Repair of service failure or interruption	Actual Cost	Actual Cost	Actual Cost	Actual Cost	N/A	N/A
(h) Winter Trench Repair maintenance	\$450.00	\$450.00	\$450.00	\$450.00	0.00%	Have checked rate calculation and no need to increase fee at this time.
(i) Reconnecting to a capped sewer service - No work by City - Reconnection Fee Only	\$220.00	\$220.00	\$220.00	\$220.00	0.00%	Have checked rate calculation and no need to increase fee at this time.
(j) Sanitary or Storm Sewer Service Video Inspection	\$182.00	\$186.00	\$186.00	\$186.00	0.00%	Have checked rate calculation and no need to increase fee at this time.

In the event problem is determined to be caused by the City or the responsibility of the City all associated costs shall be applied to the City.

Other:

(a) Service inspection of an irrigation water service, treated water service, sanitary sewer service and storm sewer service.	\$175.00	\$178.50	\$178.50	\$180.00	0.84%	Adjusted for contractual and equipment changes
(b) Termination of an irrigation water service, treated water service, sanitary sewer service and storm sewer service	\$1,575.00	\$1,675.00	\$1,750.00	\$2,500.00	42.86%	Adjusted for contractual and equipment changes
(c) Termination of an irrigation water service, treated water service, sanitary sewer service and storm sewer service - COMPLETED IN CONJUNCTION WITH SERVICE INSTALLATION IN SAME LOCATION	\$1,575.00	\$1,675.00	\$1,675.00	No Charge	N/A	Adjusted for contractual and equipment changes

Appendix 29						
WATER	2019	2020	2020 effective May 15, 2020 cycle billing	2021	Change	Comments

Utility Administration Rates

Utility credit references (current or recent account)	\$17.00	\$17.25	\$17.25	\$17.50	1.45%	Adjusted for contractual increases.
Archived account	\$30.00	\$30.50	\$30.50	\$31.00	1.64%	Adjusted for contractual increases.
Utility account history	\$17.00	\$17.25	\$17.25	\$17.50	1.45%	Adjusted for contractual increases.
Interest rate on delinquent utility accounts	10% per annum	10% per annum	10% per annum	10% per annum	N/A	
Special water meter reading	\$36.25	\$41.50	\$41.50	\$42.30	2%	Adjusted for contractual and vehicle changes
Special water meter inspection fee	\$36.25	\$41.50	\$41.50	\$42.30	2%	Adjusted for contractual and vehicle changes

AMR OPT OUT

AMR Opt Out manual water meter reading for an individual meter	\$27.50	\$17.80	\$16.02	\$17.46	9%	Rate used same as electrical
AMR Opt Out manual combined electric and water meter reading for an individual for an individual meter read	\$28.50	\$18.80	\$16.92	\$18.36	9%	Rate used same as electrical
AMR Opt Out manual water meter reading for a meter bank installation	\$27.50 for the first meter and \$1.00 per read for each additional meter in the meter bank per meter read. The total cost for the water meter bank read is to be equally split between all customers serviced by the meter bank	\$17.80 for the first meter and \$1.00 per read for each additional meter in the meter bank per meter read. The total cost for the water meter bank read is to be equally split between all customers serviced by the meter bank	\$16.02 for the first meter and \$0.90 per read for each additional meter in the meter bank per meter read. The total cost for the water meter bank read is to be equally split between all customers serviced by the meter bank	\$17.46 for the first meter and \$1.00 per read for each additional meter in the meter bank per meter read. The total cost for the water meter bank read is to be equally split between all customers serviced by the meter bank	9%	Rate used same as electrical
AMR Opt Out combined electric and water meter reading for a combined electric and water meter bank installation	\$29.50 for the first meter and \$1.00 per read for each additional meter in the meter bank per meter read. The total cost for the combined electric and water meter bank read is to be equally split between all customers served by the meter bank.	\$18.80 for the first meter and \$1.00 per read for each additional meter in the meter bank per meter read. The total cost for the combined electric and water meter bank read is to be equally split between all customers served by the meter bank.	\$16.92 for the first meter and \$0.90 per read for each additional meter in the meter bank per meter read. The total cost for the combined electric and water meter bank read is to be equally split between all customers served by the meter bank.	\$18.36 for the first meter and \$1.00 per read for each additional meter in the meter bank per meter read. The total cost for the combined electric and water meter bank read is to be equally split between all customers served by the meter bank.	9%	Rate used same as electrical

Applications / Connect / Disconnect / Reconnect

City padlocks	\$22.50	\$22.50	\$22.50	\$22.50	0.00%	Have checked rate calculation and no need to increase fee at this time.
City lock boxes (installed by City)	\$68.00	\$68.00	\$68.00	\$68.00	0.00%	Have checked rate calculation and no need to increase fee at this time.
City lock boxes (installed by customer)	\$50.00	\$50.00	\$50.00	\$50.00	0.00%	Have checked rate calculation and no need to increase fee at this time.
Utility application fee - next day service	\$33.00	\$33.50	\$33.50	\$34.00	1.49%	Adjusted for contractual increases.
Utility application fee - same day service (accounts with combined electric and water)	\$105.00	\$105.00	\$105.00	\$107.00	1.90%	Adjusted for contractual increases.
Utility application fee (water only) same day service (accounts that only have water services)	\$65.00	\$66.00	\$66.00	\$67.00	1.52%	Adjusted for contractual increases.
Water disconnect / re-connect fee (for non payment during regular City hall hours)	\$65.00	\$66.00	\$66.00	\$37.00	-43.94%	Adjusted for contractual increases.
Water disconnect / re-connect fee (for non payment after hours without call-out)	\$91.50	\$93.00	\$93.00	\$95.00	2.15%	Adjusted for contractual increases.
Water disconnect or re-connect (customer / agent request during City hall hours)	\$32.00	\$32.50	\$32.50	\$33.00	1.54%	Adjusted for contractual increases.
Water disconnect or re-connect (customer / agent request after hours without call-out)	\$46.00	\$46.75	\$46.75	\$48.00	2.67%	Adjusted for contractual increases.
Water disconnect or re-connect (customer / agent request after hours with call-out)	\$213.00	\$217.00	\$217.00	\$220.00	1.38%	Adjusted for contractual increases.
Illegal reconnection administration charge	\$280.00	\$285.50	\$285.50	\$290.00	1.58%	Adjusted for contractual increases.
Utility fee - Leave on Authorized	\$12.25	\$12.50	\$12.50	\$12.75	2.00%	Adjusted for contractual increases.
Water Disconnection (for non-payment) requiring capping or plugging service	\$230.00	\$235.00	\$235.00	\$240.00	2.13%	Adjusted for contractual increases.
Special Administration charge per service	\$28.00	\$28.50	\$28.50	\$29.00	1.75%	Adjusted for contractual increases.

Non Treated Irrigation Water Charges

No Meter

Non-treated irrigation water per acre per year	\$171.15	\$178.00	\$178.00	\$195.86	10.03%	Agricultural Water Rates are being increased as follows: As per the 2019 Utility Rate Review (About 4%); Plus 5.8% to support principal and interest payments on required borrowing. Total 9.8%
Minimum charge for non-treated irrigation water / year	\$171.15	\$178.00	\$178.00	\$195.86	10.03%	
Household use from a connection to the untreated irrigation water system, unless metered, in which case metered rates then apply. (per annum per residence)	\$401.68	\$417.75	\$417.75	\$459.66	10.03%	

Monthly Fixed Non Treated Irrigation Water Meter Rates based on Meter Size

13mm / 16mm / 19mm (1/2 inch, 5/8 inch and 3/4 inch / month)	\$11.13	\$11.58	\$10.42	\$11.52	10.52%	Agricultural Water Rates are being increased as follows: As per the 2019 Utility Rate Review (About 4%); Plus 0.5% to account for revenue loss from changing from a discount to a penalty rate structure; Plus 5.8% to support principal and interest payments on required borrowing. Total 10.3%
25mm (1 inch) / month	\$23.86	\$24.81	\$22.33	\$24.69	10.58%	
38 mm (1 1/2 inches) / month	\$70.29	\$73.10	\$65.79	\$72.74	10.56%	
50 mm (2 inches) / month	\$154.77	\$160.96	\$144.86	\$160.15	10.55%	
75 mm (3 inches) / month	\$444.33	\$462.10	\$415.89	\$459.78	10.55%	
100 mm (4 inches) / month	\$977.02	\$1,016.10	\$914.49	\$1,010.98	10.55%	
150 mm (6 inches) / month	\$2,742.12	\$2,851.80	\$2,566.62	\$2,837.46	10.55%	
PLUS Variable Consumption Charge for all Meter Sizes						
Variable Consumption Charge / 2.83 cubic meters (100 cubic feet)	\$0.27	\$0.28	\$0.25	\$0.28	10.10%	

Reclaimed Treated Effluent for Irrigation Charges

Monthly Fixed Reclaimed Treated Effluent Meter Rates Based on Meter Size

13mm / 16mm / 19mm (1/2 inch, 5/8 inch and 3/4 inch / month)	\$15.30	\$15.40	\$13.86	\$14.20	2.50%	Adjusted for contractual and electrical changes and to account for revenue loss from changing from a discount to a penalty rate structure Total 2.5%
25mm (1 inch) / month	\$57.49	\$57.49	\$51.74	\$53.03	2.50%	
38 mm (1 1/2 inches) / month	\$69.85	\$70.29	\$63.26	\$64.84	2.50%	
50 mm (2 inches) / month	\$164.64	\$165.67	\$149.10	\$152.83	2.50%	
75 mm (3 inches) / month	\$360.70	\$360.70	\$324.63	\$332.74	2.50%	
100 mm (4 inches) / month	\$761.37	\$766.15	\$689.54	\$706.77	2.50%	
150 mm (6 inches) / month	Potable water has no 6' fee	Potable water has no 6' fee	Potable water has no 6' fee	Potable water has no 6' fee	N/A	N/A

PLUS Variable Consumption Charge for all Meter Sizes

Variable Consumption Charge / 2.83 cubic meters (100 cubic feet)	\$1.13	\$1.14	\$1.02	\$1.05	2.50%	Adjusted for contractual and electrical changes and to account for revenue loss from changing from a discount to a penalty rate structure Total 2.5%
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Treated Water Rates

Appendix 29						
WATER	2019	2020	2020 effective May 15, 2020 cycle billing	2021	Change	Comments
Monthly Fixed Treated Water Meter Rates Based on Meter Size						
13mm / 16mm / 19mm (1/2 inch, 5/8 inch and 3/4 inch / month)	\$30.60	\$30.79	\$27.71	\$29.65	6.99%	Treated Water Rates are being increased as follows: As per the 2019 Utility Rate Review (roughly 0.6%) ; Plus 0.5% to account for revenue loss from changing from a discount to a penalty rate structure; Plus 5.8% to support principal and interest payments on required borrowing. Total 6.9%
25mm (1 inch) / month	\$114.97	\$114.97	\$103.47	\$109.99	6.30%	
38 mm (1 1/2 inches) / month	\$139.70	\$140.58	\$126.52	\$135.33	6.97%	
50 mm (2 inches) / month	\$329.27	\$331.34	\$298.21	\$318.98	6.97%	
75 mm (3 inches) / month	\$721.39	\$721.39	\$649.25	\$690.15	6.30%	
100 mm (4 inches) / month	\$1,522.74	\$1,532.30	\$1,379.07	\$1,475.16	6.97%	
Individually metered Bareland Strat Properties with 19mm meters UPON APPLICATION ONLY		\$8.31	\$7.48	\$8.35	11.67%	
PLUS Variable Consumption Charge for all Meter Sizes						
Variable Consumption Charge / 2.83 cubic meters (100 cubic feet)	\$2.26	\$2.27	\$2.04	\$2.19	7.24%	

Notwithstanding the above basic charges, should a 150 mm (6") meter be provided in conjunction with a 150 mm (6") line for the purpose of providing the dual requirements of domestic water and fire protection, the basic charge will be based on the size of meter that would be required to service the domestic water needs of the complex as determined by the Public Works Supervisor. This charge is to commence at the time of the installation of the meter. Prior to the installation of the meter, the service is to be billed at a 25 mm (1") unmetered rate.

Monthly Fixed Non Metered Treated Water Rates Based on Service Size

13mm / 16mm / 19mm (1/2 inch, 5/8 inch and 3/4 inch / month)	\$48.87	\$49.18	\$44.26	\$47.35	6.97%	Treated Water Rates are being increased as follows: As per the 2019 Utility Rate Review (roughly 0.6%) ; Plus 0.5% to account for revenue loss from changing from a discount to a penalty rate structure; Plus 5.8% to support principal and interest payments on required borrowing. Total 6.9%
25mm (1 inch) / month	\$150.80	\$151.75	\$136.58	\$146.09	6.97%	
38 mm (1 1/2 inches) / month	\$247.04	\$248.59	\$223.73	\$239.32	6.97%	
50 mm (2 inches) / month	\$555.80	\$559.29	\$503.36	\$538.43	6.97%	
75 mm (3 inches) / month	\$1,413.52	\$1,422.40	\$1,280.16	\$1,369.35	6.97%	
100 mm (4 inches) / month	\$2,992.88	\$3,011.68	\$2,710.51	\$2,899.38	6.97%	
Treated water charges based on a negotiated agreement	Fee to be as per the agreement approved by Council	Fee to be as per the agreement approved by Council	Fee to be as per the agreement approved by Council	Fee to be as per the agreement approved by Council	N/A	N/A
Minimum charge for treated water for domestic purposes	Fee to be minimum monthly Basic Charge based on the meter size or the minimum monthly charge based on the size of service	Fee to be minimum monthly Basic Charge based on the meter size or the minimum monthly charge based on the size of service	Fee to be minimum monthly Basic Charge based on the meter size or the minimum monthly charge based on the size of service	Fee to be minimum monthly Basic Charge based on the meter size or the minimum monthly charge based on the size of service	N/A	N/A

Minimum Flat Rate Charges for Properties located adjacent to a Treated Water Main but not Connected:

Fee based on property zoning as follows:

For properties zoned Single Family Residential	\$48.87	\$49.18	\$44.26	\$47.35	6.97%	Treated Water Rates are being increased as follows: As per the 2019 Utility Rate Review (roughly 0.6%) ; Plus 0.5% to account for revenue loss from changing from a discount to a penalty rate structure; Plus 5.8% to support principal and interest payments on required borrowing. Total 6.9%
For properties zoned I Multi Family Residential	\$150.80	\$151.75	\$136.58	\$146.09	6.97%	
For properties zoned Commercial	\$247.04	\$248.59	\$223.73	\$239.32	6.97%	
For properties zoned Industrial	\$2,992.88	\$3,011.68	\$2,710.51	\$2,899.38	6.97%	
For all other properties	\$247.04	\$248.59	\$223.73	\$239.32	6.97%	

Sundry Charges

Sign on of new customer	\$27.00	\$27.50	\$27.50	\$28.00	1.82%	Adjusted for contractual increases.
Special Administration charge per service	\$16.00	\$16.50	\$16.50	\$17.00	3.03%	Adjusted for contractual increases.
Transfer fee per service	N/A	N/A	N/A	N/A	N/A	N/A

When a customer applies for electric and water service/transfer of service at the same time, only one application/transfer fee will apply

Any applicable Federal or Provincial taxes are in addition to the above charges. Penalty interest at the rate of two percent (2%) per bill for current charge amounts remaining unpaid after the passage of the due date denoted on the bill will be applied.

Reflects the change from a discount for early payment to a penalty for late payment.

The A.R.D.A. rate referred to in this bylaw is billed on the annual property tax notice and is subject to a 10% penalty if unpaid on the tax penalty date in each year.

Basic charges will be applicable to accounts that are disconnected from water for seasonal or temporary purposes when the water is being turned off at the account holders request but the account holder(s) is not altering.

Treated and Irrigation Services and Metering

AMR Opt Out treated or irrigation water meter, old style meter, use of a digital non radio frequency electric meter	\$201.00 per meter	\$201.00 per meter	\$201.00 per meter	\$201.00 per meter	0.00%	Have checked rate calculation and no need to increase fee at this time.
AMR Opt Out treated or irrigation water meter, new style meter, use of a digital non radio frequency electric meter	\$42.25 per meter	\$42.25 per meter	\$42.25 per meter	\$42.25 per meter	0.00%	Have checked rate calculation and no need to increase fee at this time.

(a) Treated and Irrigation water service supply and installation, not including meter or meter chamber. Fee to be as follows:

19mm (3/4") water service	\$2,750.00	\$3,100.00	\$3,100.00	N/A	N/A	No longer install this size as it does not meet the plumbing code
25 mm (1") water service - BASE RATE - for up to 10 meters in length from the water line to the property line.	\$3,500.00	\$4,000.00	\$4,000.00	\$6,100.00	52.50%	Based on analysis of 3 + years actual costs
25 mm (1") water service - PER METER RATE OVER 10m IN LENGTH - Additional amount to the BASE RATE for the portion of water service greater than 10 meters in length from the water main to property line.				\$575 / meter	N/A	New Rate
All other water services	Actual Cost	Actual Cost	Actual Cost	Actual Cost	N/A	N/A

(b) Treated and Irrigation water meter supply and installation, not including meter chamber. Fee to be as follows:

19mm (3/4") water meter	\$455.00	\$500.00	\$500.00	\$550.00	10.00%	Material cost and contratual and vehicle cost increase
25 mm (1") water meter	\$640.00	\$700.00	\$700.00	\$750.00	7.14%	Material cost and contratual and vehicle cost increase
38 mm (1 1/2") water meter with register and Radio Frequency	\$1,120.00	\$1,200.00	\$1,200.00	\$1,300.00	8.33%	Material cost and contratual and vehicle cost increase
50 mm (2") compound water meter with register and Radio Frequency	\$3,760.00	\$1,650.00	\$1,650.00	\$1,700.00	3.03%	Material cost and contratual and vehicle cost increase
(c) All other water meters with register and Radio Frequency	Actual Cost	Actual Cost	Actual Cost	Actual Cost	N/A	N/A
(d) Water meter chamber up to 25 mm (1") supply and installation (in conjunction with service install)	\$850.00	\$865.00	\$865.00	\$880.00	1.73%	Material cost and contratual and vehicle cost increase
(e) Water meter chamber up to 25 mm (1") supply and installation (not installed with service)	\$1,850.00	\$2,250.00	\$2,250.00	\$2,300.00	2.22%	Material cost and contratual and vehicle cost increase
(f) Provision of temporary water	Actual Cost	Actual Cost	Actual Cost	Actual Cost	N/A	N/A
(g) All other water meter chambers supply and installation	Actual Cost	Actual Cost	Actual Cost	Actual Cost	N/A	N/A
(h) Water meter register and Radio Frequency - Supply and install	\$250.00	\$255.00	\$255.00	\$350.00	37.25%	Material cost and contratual and vehicle cost increase
(i) Water meter testing or repair if replacement is required and deemed the fault of the owner additional charges may be applied.	\$93.00	\$95.00	\$95.00	\$97.00	2.11%	Material cost and contratual and vehicle cost increase

Note: If the meter is found to be accurate within 98.5% - 101.5%, the party disputing the accuracy of the meter shall bear the cost. If the meter is found not to be accurate within the above limits the City shall bear the costs.

Customer request to relocate (or alter due to construction) meter or appurtenances	Actual Cost	Actual Cost	Actual Cost	Actual Cost	N/A	N/A
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Water Connection Charges

(a) Service inspection of an irrigation water service, treated water service, sanitary sewer service and storm sewer service.	\$173.00	\$178.50	\$178.50	\$180.00	0.84%	Contractual and vehicle cost increase
(b) Termination of an irrigation water service, treated water service, sanitary sewer service and storm sewer service	\$1,675.00	\$1,750.00	\$1,750.00	\$2,500.00	42.86%	Material cost and contratual and vehicle cost increase
(c) Termination of an irrigation water service, treated water service, sanitary sewer service and storm sewer service - COMPLETED IN CONJUNCTION WITH SERVICE INSTALLATION IN SAME LOCATION				No Charge	N/A	N/A
(d) Service calls regarding water service, treated water service, sanitary sewer service and storm sewer service	Actual Cost	Actual Cost	Actual Cost	Actual Cost	N/A	N/A

Fire Hydrants (both City and private hydrants)

(a) Fire hydrant supply and installation not requiring curb, gutter and asphalt work	\$7,500.00	\$7,500.00	\$7,500.00	\$7,750.00	3.33%	Material cost and contratual and vehicle cost increase
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Appendix 29						
WATER	2019	2020	2020 effective May 15, 2020 cycle billing	2021	Change	Comments
(b) Fire hydrant supply and installation requiring curb, gutter and asphalt work	\$9,000.00	\$9,200.00	\$9,200.00	\$9,500.00	3.26%	Material cost and contractual and vehicle cost increase
(c) Fire Hydrant rental (includes hook-up and water usage) Note: if total # of days is not known (amount to be billed)	\$112.00 first day and \$22.00 each day thereafter	\$115.00 first day and \$23.00 each day thereafter	\$115.00 first day and \$23.00 each day thereafter	\$117.00 first day and \$25.00 each day thereafter	1.74%	Contractual and vehicle cost increase
(d) Portable water meter rental	\$16.75 per day (plus cost of water used at the current metered rate)	\$18 per day (plus cost of water used at the current metered rate)	\$18 per day (plus cost of water used at the current metered rate)	\$20 per day (plus cost of water used at the current metered rate)	11.11%	Contractual and vehicle cost increase
(e) Fire Hydrant ACCEPTANCE - Level A Inspection - post final inspection or prior to city acceptance	\$171.00	\$174.50	\$174.50	\$174.50	0.00%	Have checked rate calculation and no need to increase fee at this time.
Other:						
(a) Service inspection of an irrigation water service, treated water service, sanitary sewer service and storm sewer service	\$173.00	\$178.50	\$178.50	\$180.00	0.84%	Contractual and vehicle cost increase
(b) Termination of an irrigation water service, treated water service, sanitary sewer service and storm sewer service	\$1,675.00	\$1,750.00	\$1,750.00	\$2,500.00	42.86%	Material cost and contractual and vehicle cost increase
(c) Termination of an irrigation water service, treated water service, sanitary sewer service and storm sewer service - COMPLETED IN CONJUNCTION WITH SERVICE INSTALLATION IN SAME LOCATION				No Charge	N/A	N/A
(d) Service calls regarding water service, treated water service, sanitary sewer service and storm sewer service	Actual Cost	Actual Cost	Actual Cost	Actual Cost	N/A	N/A
(f) When winter conditions prevail or hot mix asphalt is not available, if installation is to proceed, add \$525.00 each to the estimated and flat rate costs for service provided by the city that requires excavation.				\$525.00	N/A	New Rate

Appendix 31							
STORM WATER UTILITY	Unit	2018	2019	2020	2021	Change	Comment
Storm Water NO Direct Connect Fees							
Notes:							
The different categories of Storm Water Utility Rates are based on the Property Tax Classification.							
The following rates apply to properties that are NOT directly connected to the Storm Water System.							
In cases where a property has multiple Property Tax Classifications the City will determine the Property Tax Classification that best represents the property and charge for Storm Water according to that Property Tax Classification.							
Residential							
No direct connection to the Storm Sewer:							
Single Family Dwellings	\$/year per folio	\$10.00	\$20.50	\$31.00	\$41.60	34.19%	Increase as per the 2018 Storm Water Rate Structure
Multi Family Apartment Buildings with 4 or less units	\$/year per folio	\$16.00	\$32.90	\$49.80	\$66.60	33.73%	Increase as per the 2018 Storm Water Rate Structure
Multi Family Apartment Buildings with more than 4 units	\$/year per unit	\$5.30	\$11.00	\$16.60	\$22.20	33.73%	Increase as per the 2018 Storm Water Rate Structure
Multi Family Dwellings (strata)	\$/year per folio	\$5.30	\$11.00	\$16.60	\$22.20	33.73%	Increase as per the 2018 Storm Water Rate Structure
Farm/Recreational/Non Profit/Supportive Housing							
No Direct Connection to the Storm Sewer	\$/year per folio	\$10.00	\$20.50	\$31.00	\$41.60	34.19%	Increase as per the 2018 Storm Water Rate Structure
Business/Light Industry/Major Industry/Utilities							
No direct connection to the Storm Sewer, with gross assessment value:							
Below \$300,000	\$/year per folio	\$20.30	\$41.60	\$63.00	\$84.30	33.81%	Increase as per the 2018 Storm Water Rate Structure
Between \$300,001 and \$800,000	\$/year per folio	\$30.40	\$62.40	\$94.50	\$126.50	33.86%	Increase as per the 2018 Storm Water Rate Structure
Above \$800,000	\$/year per folio	\$45.60	\$93.70	\$141.70	\$189.70	33.87%	Increase as per the 2018 Storm Water Rate Structure
Storm Water Direct Connect Fees							
Notes:							
The different categories of Storm Water Utility Rates are based on the Property Tax Classification.							
The following rates apply to properties that ARE directly connected to the Storm Water System.							
In cases where a property has multiple Property Tax Classifications the City will determine the Property Tax Classification that best represents the property and charge for Storm Water according to that Property Tax Classification.							
Residential							
Direct Connection to the Storm Sewer:							
Single Family Dwellings	\$/year per folio	\$13.00	\$26.70	\$40.40	\$54.00	33.66%	Increase as per the 2018 Storm Water Rate Structure
Multi Family Apartment Buildings with 4 or less units	\$/year per folio	\$20.80	\$42.80	\$64.70	\$86.60	33.85%	Increase as per the 2018 Storm Water Rate Structure
Multi Family Apartment Buildings with more than 4 units	\$/year per unit	\$6.90	\$14.30	\$21.60	\$28.90	33.80%	Increase as per the 2018 Storm Water Rate Structure
Multi Family Dwellings (strata)	\$/year per folio	\$6.90	\$14.30	\$21.60	\$28.90	33.80%	Increase as per the 2018 Storm Water Rate Structure
Farm/Recreational/Non Profit/Supportive Housing							
Direct Connection to the Storm Sewer	\$/year per folio	\$13.00	\$26.70	\$40.40	\$54.00	33.66%	Increase as per the 2018 Storm Water Rate Structure
Business/Light Industry/Major Industry/Utilities							
Direct connection to the Storm Sewer, with gross assessment value:							
Below \$300,000	\$/year per folio	\$26.40	\$54.10	\$81.90	\$109.60	33.82%	Increase as per the 2018 Storm Water Rate Structure
Between \$300,001 and \$800,000	\$/year per folio	\$39.60	\$81.20	\$112.80	\$164.40	45.74%	Increase as per the 2018 Storm Water Rate Structure
Above \$800,000	\$/year per folio	\$59.30	\$121.80	\$184.20	\$246.70	33.93%	Increase as per the 2018 Storm Water Rate Structure

Attachment A

2020 08 11 Impact to Customer

PERTINENT INFORMATION

RESIDENTIAL CUSTOMERS

Electrical Usage	914 kWh/month	
Rate - Code 10	2020	2021
Basic Charge per month	\$ 16.85	\$ 17.02
Energy Charge / kWh	\$ 0.1156	\$ 0.1168

Water Usage	1060 ft3/month	
Rate - 3/4" meter	2020	2021
Basic Charge per month	\$ 27.71	\$ 29.65
Consumption Charge / 100 ft3	\$ 2.04	\$ 2.19

Sanitary Usage	585 ft3/month	
Rate - 3/4" meter	2020	2021
Basic Charge per month April to October (7 months)	\$ 31.21	\$ 38.36
Consumption Charge / 100 ft3 November to March (5 months)	\$ 6.76	\$ 8.31

Storm Usage - No Direct Connection to Storm	Annual Charge per Folio	
Rate - Single Family Residential	2020	2021
Annual Charge / year / folio	\$ 31.00	\$ 41.60

COMMERCIAL CUSTOMERS

Electrical Usage Consumption	5000 kWh/month	
Electrical Usage Demand	10 kVA	
Rate - Code 20	2020	2021
Basic Charge per month	\$ 16.85	\$ 17.02
Energy Charge / kWh	\$ 0.1286	\$ 0.1299
Demand Charge / kVA	\$ 9.08	\$ 9.17

Water Usage	7060 ft3/month	
Rate - 1.5" meter	2020	2021
Basic Charge per month	\$ 126.52	\$ 135.33
Consumption Charge / 100 ft3	\$ 2.04	\$ 2.19

Sanitary Usage	7060 ft3/month	
Rate - 1.5" meter	2020	2021
Basic Charge per month January to December (12 months)	\$ 77.05	\$ 94.69
Consumption Charge / 100 ft3	\$ 2.95	\$ 3.63

Storm Usage - No Direct Connection to Storm	Annual Charge per Folio	
Rate - Commercial Gross Assessment \$301,000 to \$800,000	2020	2021
Annual Charge / year / folio	\$ 94.50	\$ 126.50

INDUSTRIAL CUSTOMERS

Electrical Usage Consumption	200000 kWh/month	
Electrical Usage Demand	700 kVA	
Rate - Code 35	2020	2021
Basic Charge per month	\$ 16.85	\$ 17.02
Energy Charge first 10000 kWh/ kWh	\$ 0.1267	\$ 0.1280
Energy Charge next 90000 kWh/ kWh	\$ 0.0998	\$ 0.1008
Energy Charge remainder	\$ 0.0699	\$ 0.0706
Demand Charge / kVA	\$ 8.14	\$ 8.22

Water Usage	28250 ft3/month	
Rate - 3.0" meter	2020	2021
Basic Charge per month	\$ 649.25	\$ 690.15
Consumption Charge / 100 ft3	\$ 2.04	\$ 2.19

Sanitary Usage	28250 ft3/month	
Rate - 3.0" meter	2020	2021
Basic Charge per month January to December (12 months)	\$ 269.66	\$ 331.41
Consumption Charge / 100 ft3	\$ 2.95	\$ 3.63

Storm Usage - No Direct Connection to Storm	Annual Charge per Folio	
Rate - Industrial Gross Assessment above \$800,000	2020	2021
Annual Charge / year / folio	\$ 141.70	\$ 189.70

	2020 Annual			2021 Annual		
	Residential Customer	Commercial Customer	Industrial Customer	Residential Customer	Commercial Customer	Industrial Customer
Electrical	\$ 1,470.10	\$ 9,007.80	\$ 275,446.20	\$ 1,485.30	\$ 9,098.64	\$ 278,196.24
Water	\$ 592.40	\$ 3,249.09	\$ 14,716.78	\$ 634.45	\$ 3,480.10	\$ 15,708.80
Sanitary Sewer	\$ 416.18	\$ 3,425.52	\$ 13,243.18	\$ 511.49	\$ 4,209.97	\$ 16,275.86
Storm Sewer	\$ 31.00	\$ 94.50	\$ 141.70	\$ 41.60	\$ 126.50	\$ 189.70
TOTAL	\$ 2,509.69	\$ 15,776.92	\$ 303,547.86	\$ 2,672.85	\$ 16,915.21	\$ 310,370.61

	2020 Average Monthly			2021 Average Monthly		
	Residential Customer	Commercial Customer	Industrial Customer	Residential Customer	Commercial Customer	Industrial Customer
Electrical	\$ 122.51	\$ 750.65	\$ 22,953.85	\$ 123.78	\$ 758.22	\$ 23,183.02
Water	\$ 49.37	\$ 270.76	\$ 1,226.40	\$ 52.87	\$ 290.01	\$ 1,309.07
Sanitary Sewer	\$ 34.68	\$ 285.46	\$ 1,103.60	\$ 42.62	\$ 350.83	\$ 1,356.32
Storm Sewer	\$ 2.58	\$ 7.88	\$ 11.81	\$ 3.47	\$ 10.54	\$ 15.81
TOTAL	\$ 209.14	\$ 1,314.74	\$ 25,295.65	\$ 222.74	\$ 1,409.60	\$ 25,864.22

	Annual \$ Change 2020 to 2021			Annual % Change 2020 to 2021		
	Residential Customer	Commercial Customer	Industrial Customer	Residential Customer	Commercial Customer	Industrial Customer
Electrical	\$ 15.20	\$ 90.84	\$ 2,750.04	1%	1%	1%
Water	\$ 42.05	\$ 231.01	\$ 992.02	7%	7%	7%
Sanitary Sewer	\$ 95.31	\$ 784.44	\$ 3,032.69	23%	23%	23%
Storm Sewer	\$ 10.60	\$ 32.00	\$ 48.00	34%	34%	34%
TOTAL	\$ 163.16	\$ 1,138.29	\$ 6,822.75	7%	7%	2%

	Monthly \$ Change 2020 to 2021			Monthly % Change 2020 to 2021		
	Residential Customer	Commercial Customer	Industrial Customer	Residential Customer	Commercial Customer	Industrial Customer
Electrical	\$ 1.27	\$ 7.57	\$ 229.17	1%	1%	1%
Water	\$ 3.50	\$ 19.25	\$ 82.67	7%	7%	7%
Sanitary Sewer	\$ 7.94	\$ 65.37	\$ 252.72	23%	23%	23%
Storm Sewer	\$ 0.88	\$ 2.67	\$ 4.00	34%	34%	34%
TOTAL	\$ 13.60	\$ 94.86	\$ 568.56	7%	7%	2%

Attachment B
The Corporation of the City of Penticton

Bylaw No. 2020-38

A bylaw to amend the Fees and Charges Bylaw No. 2014-07

WHEREAS the Council of the City of Penticton has adopted a Fees and Charges Bylaw pursuant to the *Community Charter*;

AND WHEREAS the Council of the City of Penticton wishes to amend the "Fees and Charges Bylaw No. 2014-07";

NOW THEREFORE BE IT RESOLVED that the Municipal Council of the City of Penticton in open meeting assembled, hereby ENACTS AS FOLLOWS:

1. **Title:**

This Bylaw may be cited as "Fees and Charges Amendment Bylaw No. 2020-38".

2. **Amendment:**

2.1 Amend "Fees and Charges Bylaw No. 2014-07" by deleting and replacing the following appendices in their entirety:

- Appendix 7 – Electric
- Appendix 25 – Sewer
- Appendix 29 – Water
- Appendix 31 – Storm Water Utility

2.2 Appendix 7, Appendix 25, Appendix 29 and Appendix 31 attached hereto forms part of this bylaw.

READ A FIRST time this	day of	, 2020
READ A SECOND time this	day of	, 2020
READ A THIRD time this	day of	, 2020
ADOPTED this	day of	, 2020

In accordance with the Province of BC Ministerial Order No. M192, the Council of the City of Penticton may adopt a bylaw on the same day as third reading.

John Vassilaki, Mayor

Angie Collison, Corporate Officer

Appendix 7

ELECTRIC	2019	2020	2020 effective May 15, 2020 cycle billing	2021
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Utility Administration Rates

Utility credit references (current or recent account)	\$17.00	\$17.25	\$17.25	\$17.50
Archived account	\$30.00	\$30.50	\$30.50	\$31.00
Utility account history	\$17.00	\$17.25	\$17.25	\$17.50
Interest rate on delinquent utility accounts	10% per annum	10% per annum	10% per annum	10% per annum
Special electric meter reading	\$41.50	\$41.50	\$41.50	\$41.50
Special electric meter inspection fee	\$41.50	\$41.50	\$41.50	\$41.50

AMR OPT OUT

AMR Opt Out manual electric meter reading for an individual meter	\$17.80	\$17.80	\$16.02	\$17.46
AMR Opt Out manual combined electric and water meter reading for an individual for an individual meter read	\$18.80	\$18.80	\$16.92	\$18.36
AMR Opt Out manual electric meter reading for a meter bank installation	\$17.80 for the first meter and \$1.00 per read for each additional meter in the meter bank per meter read. The total cost for the electric meter bank read is to be equally split between all customers serviced by the bank meter	\$17.80 for the first meter and \$1.00 per read for each additional meter in the meter bank per meter read. The total cost for the electric meter bank read is to be equally split between all customers serviced by the bank meter	\$16.02 for the first meter and \$0.90 per read for each additional meter in the meter bank per meter read. The total cost for the electric meter bank read is to be equally split between all customers serviced by the bank meter	\$17.46 for the first meter and \$1.00 per read for each additional meter in the meter bank per meter read. The total cost for the electric meter bank read is to be equally split between all customers serviced by the bank meter
AMR Opt Out combined electric and water meter reading for a combined electric and water meter bank installation	\$18.80 for the first meter and \$1.00 per read for each additional meter in the meter bank per meter read. The total cost for the combined electric and water meter bank read is to be equally split between all customers served by the meter bank.	\$18.80 for the first meter and \$1.00 per read for each additional meter in the meter bank per meter read. The total cost for the combined electric and water meter bank read is to be equally split between all customers served by the meter bank.	\$16.92 for the first meter and \$0.90 per read for each additional meter in the meter bank per meter read. The total cost for the combined electric and water meter bank read is to be equally split between all customers served by the meter bank.	\$18.36 for the first meter and \$1.00 per read for each additional meter in the meter bank per meter read. The total cost for the combined electric and water meter bank read is to be equally split between all customers served by the meter bank.
AMR Opt Out electric meter use of a digital non radio frequency electric meter	\$153.00	\$153.00	\$153.00	\$153.00
Utility application fee – next day service	\$47.50	\$47.50	\$47.50	\$47.50
Utility application fee – same day service (accounts with combined electric and water)	\$105.00	\$105.00	\$105.00	\$105.00
Utility application fee (electric only) same day service (accounts that only have electric services)	\$59.50	\$59.50	\$59.50	\$59.50
Non-Payment: Electric disconnect and re-connect(during City Hall hours only)	\$83.00	\$83.00	\$83.00	\$83.00
Non-Payment: Site visit without a disconnect (during City Hall hours only)	\$41.50	\$41.50	\$41.50	\$41.50
Electrical disconnect or re-connect or site visit (cost per visit after hours with call-out)	\$430.25	\$430.25	\$430.25	\$445.25
Electrical disconnect or reconnect or site visit (cost per visit during City Hall hours)	\$41.50	\$41.50	\$41.50	\$41.50
Electrical disconnect or reconnect or site visit (cost per visit after hours without call-out)	\$83.00	\$83.00	\$83.00	\$83.00
Illegal reconnection administration charge	\$280.00	\$285.00	\$285.00	\$290.00
Utility fee - Leave on Authorized	\$12.25	\$12.50	\$12.50	\$12.75
Electrical Disconnect and reconnect from pole	\$358.00	\$358.00	\$358.00	\$448.75
Special Administration charge per service	\$28.00	\$28.50	\$28.50	\$29.00

Electric Rates

Rate Code 10 - Residential

Basic Charge	\$18.72 per billing plus	\$18.72 per billing plus	\$16.85 per billing plus	\$17.02 per billing plus
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Appendix 7

ELECTRIC	2019	2020	2020 effective May 15, 2020 cycle billing	2021
Energy Charge	\$0.1284 per kwh for all consumption during the billing period	\$0.1284 per kWh for all consumption during the billing period	\$0.1156 per kWh for all consumption during the billing period	\$0.1168 per kWh for all consumption during the billing period

Rate Code 20 - General - Secondary metered and City owned Transformation

Basic Charge	\$18.72 per billing plus	\$18.72 per billing plus	\$16.85 per billing plus	\$17.02 per billing plus
Energy Charge: First 10,000 kwh per billing	\$0.1429 per kwh	\$0.1429 per kWh	\$0.1286 per kWh	\$0.1299 per kWh
Next 90,000 kwh per billing	\$0.1126 per kwh	\$0.1126 per kWh	\$0.1013 per kWh	\$0.1024 per kWh
Additional kwh per billing	\$0.0789 per kwh	\$0.0789 per kWh	\$0.0710 per kWh	\$0.0717 per kWh
Demand Charge	\$10.09 per KVA of billing demand which is the greater of a) the maximum KVA demand in excess of 45 KVA for the current billing or b) 75% of the maximum kVA billable demand in excess of 45kVA recorded during the previous 364 days to the current billable demand read	\$10.09 per KVA of billing demand which is the greater of a) the maximum KVA demand in excess of 45 KVA for the current billing or b) 75% of the maximum kVA billable demand in excess of 45kVA recorded during the previous 364 days to the current billable demand read	\$9.08 per KVA of billing demand which is the greater of a) the maximum KVA demand in excess of 45 KVA for the current billing or b) 75% of the maximum kVA billable demand in excess of 45kVA recorded during the previous 364 days to the current billable demand read	\$9.17 per KVA of billing demand which is the greater of a) the maximum KVA demand in excess of 45 KVA for the current billing or b) 75% of the maximum kVA billable demand in excess of 45kVA recorded during the previous 364 days to the current billable demand read

Rate Code - 25, 30 and 35

Are subject to the same base rates for consumption and demand as set out in Rate Code 20 with the following discounts:

Primary Metering	1.5% discount on consumption and demand charges. Customer-owned transformation - 9.0% discount on demand charges only	1.5% discount on consumption and demand charges. Customer-owned transformation - 9.0% discount on demand charges only	1.5% discount on consumption and demand charges. Customer-owned transformation - 9.0% discount on demand charges only	1.5% discount on consumption and demand charges. Customer-owned transformation - 9.0% discount on demand charges only
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Rate Code 25 - General - Primary metered and City owned Transformation

Basic Charge	\$18.72 per billing plus	\$18.72 per billing plus	\$16.85 per billing plus	\$17.02 per billing plus
Energy Charge				
First 10,000 kwh per billing	\$0.1408 per kwh	\$0.1408 per kWh	\$0.1267 per kWh	\$0.1280 per kWh
Next 90,000 kwh per billing	\$0.1109 per kwh	\$0.1109 per kWh	\$0.0998 per kWh	\$0.1008 per kWh
Additional kwh per billing	\$0.0777 per kwh	\$0.0777 per kWh	\$0.0699 per kWh	\$0.0706 per kWh
Demand Charge	\$9.93 per KVA of billing demand which is the greater of a) the maximum KVA demand in excess of 45 KVA for the current billing; or b) 75% of the maximum kVA billable demand in excess of 45kVA recorded during the previous 364 days to the current billable demand read	\$9.93 per KVA of billing demand which is the greater of a) the maximum KVA demand in excess of 45 KVA for the current billing; or b) 75% of the maximum kVA billable demand in excess of 45kVA recorded during the previous 364 days to the current billable demand read	\$8.94 per KVA of billing demand which is the greater of a) the maximum KVA demand in excess of 45 KVA for the current billing; or b) 75% of the maximum kVA billable demand in excess of 45kVA recorded during the previous 364 days to the current billable demand read	\$9.03 per KVA of billing demand which is the greater of a) the maximum KVA demand in excess of 45 KVA for the current billing; or b) 75% of the maximum kVA billable demand in excess of 45kVA recorded during the previous 364 days to the current billable demand read

Rate Code 30 - General - Secondary metered and customer owned Transformation

Basic Charge	\$18.72 per billing plus	\$18.72 per billing plus	\$16.85 per billing plus	\$17.02 per billing plus
Energy Charge				
First 10,000 kwh per billing	\$0.1429 per kwh	\$0.1429 per kWh	\$0.1286 per kWh	\$0.1299 per kWh
Next 90,000 kwh per billing	\$0.1126 per kwh	\$0.1126 per kWh	\$0.1013 per kWh	\$0.1024 per kWh
Additional kwh per billing	\$0.0789 per kwh	\$0.0789 per kWh	\$0.0710 per kWh	\$0.0717 per kWh

Appendix 7

ELECTRIC	2019	2020	2020 effective May 15, 2020 cycle billing	2021
Demand Charge	\$9.18 per KVA of billing demand which is the greater of a) the maximum KVA demand in excess of 45 KVA for the current billing; or b) 75% of the maximum KVA demand in excess of 45 KVA recorded during the previous 364 days to the current billable demand read	\$9.18 per KVA of billing demand which is the greater of a) the maximum KVA demand in excess of 45 KVA for the current billing; or b) 75% of the maximum KVA demand in excess of 45 KVA recorded during the previous 364 days to the current billable demand read	\$8.26 per KVA of billing demand which is the greater of a) the maximum KVA demand in excess of 45 KVA for the current billing; or b) 75% of the maximum KVA demand in excess of 45 KVA recorded during the previous 364 days to the current billable demand read	\$8.34 per KVA of billing demand which is the greater of a) the maximum KVA demand in excess of 45 KVA for the current billing; or b) 75% of the maximum KVA demand in excess of 45 KVA recorded during the previous 364 days to the current billable demand read

Rate Code 35 - General - Primary metered and customer owned Transformation

Basic Charge	\$18.72 per billing plus	\$18.72 per billing plus	\$16.85 per billing plus	\$17.02 per billing plus
Energy Charge				
First 10,000 kwh per billing	\$0.1408 per kwh	\$0.1408 per kWh	\$0.1267 per kWh	\$0.1280 per kWh
Next 90,000 kwh per billing	\$0.1109 per kwh	\$0.1109 per kWh	\$0.0998 per kWh	\$0.1008 per kWh
Additional kwh per billing	\$0.0777 per kwh	\$0.0777 per kWh	\$0.0699 per kWh	\$0.0706 per kWh
Demand Charge	\$9.04 per KVA of billing demand which is the greater of a) the maximum KVA demand in excess of 45 KVA for the current billing; or b) 75% of the maximum KVA demand in excess of 45 KVA recorded during the previous 364 days to the current billable demand read	\$9.04 per KVA of billing demand which is the greater of a) the maximum KVA demand in excess of 45 KVA for the current billing; or b) 75% of the maximum KVA demand in excess of 45 KVA recorded during the previous 364 days to the current billable demand read	\$8.14 per KVA of billing demand which is the greater of a) the maximum KVA demand in excess of 45 KVA for the current billing; or b) 75% of the maximum KVA demand in excess of 45 KVA recorded during the previous 364 days to the current billable demand read	\$8.22 per KVA of billing demand which is the greater of a) the maximum KVA demand in excess of 45 KVA for the current billing; or b) 75% of the maximum KVA demand in excess of 45 KVA recorded during the previous 364 days to the current billable demand read

Rate Code 45 - General - City Accounts

Energy Charge	\$0.0953 per kwh for all consumption	\$0.0953 per kWh for all consumption	\$0.0858 per kWh for all consumption	\$0.0866 per kWh for all consumption
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Rate Code 55 - Street Lighting, Traffic Lights & Other Un-metered Loads

Per fixture watt or volt ampere per billing subject to Electric Utility Services Bylaw No. 2017-44	\$0.1071 per fixture watt or volt ampere per billing	\$0.1071 per fixture kWh or kVAh per billing	\$0.0964 per fixture kWh or kVAh per billing	\$0.0974 per fixture kWh or kVAh per billing
Per watt or volt ampere per billing based on equipment name plate data or customer information, or where data is insufficient, the City will determine by appropriate measurement and calculation what equipment kilowatt-hour or kilovolt ampere-hour loading shall be used for billing purposes.	\$0.2024 per watt	\$0.2024 per kWh	\$0.1822 per kWh	\$0.1840 per kWh
Monthly minimum charge per fixture or service connection	\$18.72 per billing plus	\$18.72 per billing plus	\$16.85 per billing plus	\$17.02 per billing plus

Net Metering Rate Code (aka Micro-DR)

When paying Net Metered Customers for any excess Energy generated by the Customer, the Penticton Electric Utility shall use the applicable Rate Code under which the Customer is receiving Service from the Penticton Electric Utility. Customers will be responsible for all costs of their Distribution Generation System including, but not limited to, design, permits, installation, inspection fees, connection fees, repairs and maintenance.

Electrical Service Calls

Service Call – 1 stop (1 hr. max)	\$217.25	\$217.25	\$217.25	\$224.80
Service Call – 2 stops (1.75 hr. max)	\$326.00	\$350.00	\$350.00	\$393.40

Electrical Service Connections**Temporary Service Connection**

1 Phase up to 200 amps	\$217.25	\$349.00	\$349.00	\$380.40
all except 1 phase up to 200 amps	Actual Cost	Actual Cost	Actual Cost	Actual Cost

Service Relocate

1 phase up to 200 amps	\$347.00	\$421.00	\$421.00	\$452.10
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Service Upgrade

1 phase over 200 amps	Actual Cost	Actual Cost	Actual Cost	Actual Cost
3 phase overhead and underground (all)	Actual Cost	Actual Cost	Actual Cost	Actual Cost

Appendix 7

ELECTRIC	2019	2020	2020 effective May 15, 2020 cycle billing	2021
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Service Connection

1 phase per unit (200 amps max -includes 1 meter) overhead and underground	\$393.25	\$480.00	\$480.00	\$511.10
Additional meters	Actual Cost	Actual Cost	Actual Cost	Actual Cost
1 phase overhead and underground over 200 amps	Actual Cost	Actual Cost	Actual Cost	Actual Cost
3 phase overhead and underground (all)	Actual Cost	Actual Cost	Actual Cost	Actual Cost
Primary Underground Cable	Actual Cost	Actual Cost	Actual Cost	Actual Cost
Terminate and Energize underground - Per lot	Actual Cost	Actual Cost	Actual Cost	Actual Cost
Installation of electrical poles, vaults, road-crossings, etc	Actual Cost	Actual Cost	Actual Cost	Actual Cost
Electrical Call Out Rate	\$430.25	\$430.25	\$430.25	\$445.25

Electrical Pole Contacts

Telus (JU Contacts, WiFi, Power Point Contact + Energy at appropriate rate code(s))	As per Contract	As per Contract	As per Contract	As per Contract
Shaw Cable (JU Contacts, WiFi, Antenna, Power Point Contact + Energy at appropriate rate code(s))	As per Contract	As per Contract	As per Contract	As per Contract
Bell Canada JU Contacts	As per Contract	As per Contract	As per Contract	As per Contract
Recoverable Sign Installations	Actual Cost	Actual Cost	Actual Cost	Actual Cost

Power Factor Surcharge:

	Power Factor	Surcharge	Surcharge	Surcharge
	Between 90% and 100%	Nil	Nil	Nil
a) Every Customer must regulate their load to maintain a Power Factor of not less than ninety (90%) percent.	Between 88% and 90%	2%	2%	2%
	Between 85% and 88%	4%	4%	4%
b) If customers have equipment or install equipment that results in poor power factor (less than 90%) a power factor surcharge may be applied and it is the Customer's responsibility to install equipment to correct or improve power factor.	Between 80% and 85%	9%	9%	9%
	Between 75% and 80%	16%	16%	16%
c) The surcharge shall be added to the Customer's bill after the rates or minimum charges have been calculated and the surcharge will remain in effect until the Penticton Electric Utility is satisfied that the Power Factor has been corrected.	Between 70% and 75%	24%	24%	24%
	Between 65% and 70%	34%	34%	34%
	Between 60% and 65%	44%	44%	44%
d) Electrical Service shall not be provided to any customer whose Load Power Factor is less than fifty (50%) percent.	Between 55% and 60%	57%	57%	57%
	Between 50% and 55%	72%	72%	72%
	Less than 50%	90% and electrical service may be disconnected	90% and electrical service may be disconnected	90% and electrical service may be disconnected

Notes:

#1. Any applicable Federal or Provincial taxes are in addition to the above charges. Penalty interest at the rate of two percent (2%) per bill for current charge amounts remaining unpaid after the passage of the due date denoted on the bill will be applied.

#2. Basic charges will be applicable to accounts that are disconnected from electric for seasonal or temporary purposes when the electric is being turned off at the account holders request but the account holder(s) is not altering.

#3. City Electrical Infrastructure is defined as: Any items related to the City of Penticton Electrical Utility distribution system including but not limited to primary duct and secondary duct, street lighting, power cables, transformers and associated appurtenances.

#4. All customers are eligible to access the "Electrical Service Payment Plan" for the installation of City Electrical Infrastructure and/or customer owned Micro-DR equipment that supplies power to their properties. The details of this program are summarized as follows:

- Payment Plan range: A customer can put a minimum amount of \$2,000 up to a maximum amount of \$50,000 on a Payment Plan;

- Payment Plan terms: 5 year payback in equal monthly amounts on the Electric Utility Bill plus interest calculated at the Prime Interest Rate +0.5%; and

- The customer has the ability to end the Payment Plan at any time by repaying the balance owing in full at any time without penalty.

Appendix 7				
ELECTRIC	2019	2020	2020 effective May 15, 2020 cycle billing	2021

Eligibility requirements:

- Must be for a new or an upgrade to an Electrical Service;
- Must be a City of Penticton Electric Utility customer;
- Must have a credit score of: 650 or greater for an individual, or less than 25 for a business;
- Must have a maximum of 19 City of Penticton Utility Credit Points;
- The customer must own both the land and building where the service is required; and
- If Micro-DR, receipts must be submitted from the contractor performing the work; and
- Protection: Any defaults on the Payment Plan will be subject to the normal City of Penticton utility collection procedures, including service disconnect and ultimately transfer of outstanding amount to taxes. Any outstanding payment plan amounts must be paid in full upon sale of the property.

Appendix 25

SEWER	2019	2020	2020 effective May 15, 2020 cycle billing	2021
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Sanitary Sewer Fixture Charges

Such charges to be effective immediately upon the expiration of 180 days (60 days in the case of a renovated building) from the date of validation of the building permit, provided however, that this amount may be pro-rated from the effective date to December 31 of the year in which the building is built or renovated.

An extension to the 180 day period will be considered providing the builder applies **in writing** to Building & Licence Division prior to the expiration of the 180 day period. Should a request come from a builder **after** the expiration of the 180 day period, an extension may still be granted upon payment of an administration fee:

Extensions are only to be granted in multiples of 30 days, i.e. 30, 60, 90 days.

Sanitary Sewer Charges based on Treated Water Use**Residential Use Monthly Fixed Sanitary Sewer Rates Based on Water Meter Size charged April to October**

13mm / 16mm / 19mm (1/2 inch, 5/8 inch and 3/4 inch /month April to October)	\$31.96	\$34.68	\$31.21	\$38.36
25mm (1 inch) / month April to October	\$79.90	\$88.90	\$80.01	\$98.33
38 mm (1 1/2 inches) / month April to October	\$159.79	\$178.14	\$160.33	\$197.04
50 mm (2 inches) / month April to October	\$255.67	\$292.57	\$263.31	\$323.61
75 mm (3 inches) / month April to October	\$559.29	\$614.10	\$552.69	\$679.26
100 mm (4 inches) / month April to October	\$1,006.73	\$1,168.17	\$1,051.35	\$1,292.11

PLUS Variable Sanitary Sewer Generation Charge based on Water Use for all Meter Sizes charged November to March

Variable Consumption Charge / 2.83 cubic meters (100 cubic feet) charged monthly November to March [Minimum monthly consumption charge for 3/4" meter size customer based on 250 cubic feet]	\$6.87	\$7.51	\$6.76	\$8.31
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Non- Residential Use Monthly Fixed Sanitary Sewer Rates Based on Water Meter Size charged January to December

13mm / 16mm / 19mm (1/2 inch, 5/8 inch and 3/4 inch /month January to December)	\$15.65	\$17.12	\$15.41	\$18.94
25mm (1 inch) / month January to December	\$39.13	\$42.79	\$38.51	\$47.33
38 mm (1 1/2 inches) / month January to December	\$78.28	\$85.61	\$77.05	\$94.69
50 mm (2 inches) / month January to December	\$125.24	\$136.97	\$123.27	\$151.50
75 mm (3 inches) / month January to December	\$273.96	\$299.62	\$269.66	\$331.41
100 mm (4 inches) / month January to December	\$493.14	\$539.32	\$485.39	\$596.54

PLUS Variable Sanitary Sewer Generation Charge based on Water Use for all Meter Sizes

Variable Consumption Charge / 2.83 cubic meters (100 cubic feet) charged monthly January to December	\$3.00	\$3.28	\$2.95	\$3.63
Request for Reduction Submission and Review	\$100.00	\$100.00	\$100.00	\$106.00
Fee for falsification of information on a Request for Reduction	\$500.00	\$500.00	\$500.00	\$530.00

NOTES

Any applicable Federal or Provincial taxes are in addition to the above charges. Penalty interest at the rate of two percent (2%) per bill for current charge amounts remaining unpaid after the passage of the due date denoted on the bill will be applied.

Residential Uses includes: All single family, duplex, multi-family and mobile home parks

Non Residential Customers may apply after paying the prescribed fee to the City for a reduction in the % of water use to calculate the sanitary sewer consumption fee to account for business practices that create a large discrepancy between water use and sewage generation.

The following business practices will be eligible for consideration for a reduction:

- i. Water used to produce a product for sale that is consumed or used off the site. Examples include: Concrete production, off sales beer and wine, take out coffee and soft drinks.
- ii. Water used to irrigate plants that are sold. Examples include: Garden Centers.

Appendix 25

SEWER	2019	2020	2020 effective May 15, 2020 cycle billing	2021
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iii. Water used in a cooling process that does not enter the sanitary sewer.

iv. Water used by contractors in water trucks for dust control.

The requested reduction in water use must be substantiated either through:

i. The installation and reading of a water meter that will monitor the water used in the process for which the reduction is being sought.

ii. Financial records or audit documents prepared by an accountant or a report prepared by a professional engineer that calculates the volume of water that should be considered for reduction.

The cost of producing the substantiation is to be borne by the party requesting the reduction.

No reduction will be granted for volumes of water less than 5%.

A person found to have submitted false information to support their reduction request will be required to pay the Fee for falsification of information on a Request for Reduction

Sanitary sewer charges no water meter or no water service (per month)

Fee based on property zoning as follows:

For properties zoned Single Family Residential	\$31.31	\$34.24	\$30.82	\$37.87
For properties zoned I Multi Family Residential	\$44.56	\$48.73	\$43.86	\$53.90
For properties zoned Commercial	\$104.77	\$114.58	\$103.12	\$126.74
For properties zoned Industrial	\$711.71	\$778.36	\$700.52	\$860.94
For all other properties	\$104.77	\$114.58	\$103.12	\$126.74
Sanitary sewer charges based on a negotiated agreement	Fee to be as per the agreement approved by Council	Fee to be as per the agreement approved by Council	Fee to be as per the agreement approved by Council	Fee to be as per the agreement approved by Council
Sanitary Sewer Fixture Charge	\$43.57	\$47.65	\$47.65	\$58.56
Minimum flat rate charge for sanitary sewer for residential properties adjacent to a sanitary sewer main but not connected	\$37.94	\$41.49	\$37.34	\$45.89
Minimum flat rate charge for sanitary sewer for non-residential properties adjacent to a sanitary sewer main but not connected	\$307.09	\$335.85	\$302.27	\$371.48
Permit to Discharge	\$248.00	\$248.00	\$248.00	\$262.88
Evaluation of restricted wastes of over strength matter	Actual cost	Actual Cost	Actual Cost	Actual Cost
Over strength B.O.D. charge (over 300 mg/l)	\$0.57/kg	\$0.60/kg	\$0.60/kg	\$0.64/kg
Over strength C.O.D. surcharge (over 600 mg/l)	Fee to be developed	Fee to be developed	Fee to be developed	Fee to be developed
Over strength oil and grease surcharge (over 100 mg/l)	\$0.247/kg	\$0.259/kg	\$0.259/kg	0.275/kg
Over strength phosphorous surcharge (over 10 mg/l)	Fee to be developed	Fee to be developed	Fee to be developed	Fee to be developed
Over strength total suspended solids surcharge (over 300 mg/l)	\$0.58/kg	\$0.61/kg	\$0.61/kg	\$0.65/kg

Septic Waste Receiving Facility Rate - Tipping Fee

Tipping Fee for receiving septic waste	\$36.00 per cubic meter	\$36.00 per cubic meter	\$36.00 per cubic meter	\$36.00 per cubic meter
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Sanitary or Storm Sewer Service Connections

(a) 100mm (4") BASE RATE sanitary or storm sewer service and connections - for up to 10 meters in length from the sanitary or storm sewer main to the property line	\$3,500.00	\$4,000.00	\$4,000.00	\$6,100.00
(b) 100mm (4") PER METER RATE OVER 10m IN LENGTH sanitary or storm sewer service and connections - Additional amount to the BASE RATE for the portion of sanitary and storm sewer service greater than 10 meters in length from the sanitary sewer or storm sewer main to property line.				\$575 / meter
(c) Two - 100mm (4") BASE RATE sanitary or storm sewer service and connections installed in the same trench - for up to 10 meters in length from the sanitary or storm sewer main to the property line	\$4,100.00	\$4,700.00	\$4,700.00	\$7,000.00
(d) Two - 100mm (4") PER METER RATE OVER 10m IN LENGTH sanitary or storm sewer service and connections installed in the same trench - Additional amount to the BASE RATE for the portion of sanitary and storm sewer service greater than 10 meters in length from the sanitary sewer or storm sewer main to property line.				\$650 / meter

Appendix 25

SEWER	2019	2020	2020 effective May 15, 2020 cycle billing	2021
(e) All other sanitary or storm sewer and service and connections	Actual Cost	Actual Cost	Actual Cost	Actual Cost
(f) When winter conditions prevail or hot mix asphalt is not available, if installation is to proceed, add \$525.00 each to the estimated and flat rate costs for service provided by the city that requires excavation.	\$550.00	\$550.00	\$550.00	\$550.00
(g) Repair of service failure or interruption	Actual Cost	Actual Cost	Actual Cost	Actual Cost
(h) Winter Trench Repair maintenance	\$450.00	\$450.00	\$450.00	\$450.00
(i) Reconnecting to a capped sewer service - No work by City - Reconnection Fee Only	\$220.00	\$220.00	\$220.00	\$220.00
(j) Sanitary or Storm Sewer Service Video Inspection	\$182.00	\$186.00	\$186.00	\$186.00

In the event problem is determined to be caused by the City or the responsibility of the City all associated costs shall be applied to the City.

Other:

(a) Service inspection of an irrigation water service, treated water service, sanitary sewer service and storm sewer service.	\$175.00	\$178.50	\$178.50	\$180.00
(b) Termination of an irrigation water service, treated water service, sanitary sewer service and storm sewer service	\$1,575.00	\$1,675.00	\$1,750.00	\$2,500.00
(c) Termination of an irrigation water service, treated water service, sanitary sewer service and storm sewer service - COMPLETED IN CONJUNCTION WITH SERVICE INSTALLATION IN SAME LOCATION	\$1,575.00	\$1,675.00	\$1,675.00	No Charge

Appendix 29

WATER	2019	2020	2020 effective May 15, 2020 cycle billing	2021
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Utility Administration Rates

Utility credit references (current or recent account)	\$17.00	\$17.25	\$17.25	\$17.50
Archived account	\$30.00	\$30.50	\$30.50	\$31.00
Utility account history	\$17.00	\$17.25	\$17.25	\$17.50
Interest rate on delinquent utility accounts	10% per annum	10% per annum	10% per annum	10% per annum
Special water meter reading	\$36.25	\$41.50	\$41.50	\$42.30
Special water meter inspection fee	\$36.25	\$41.50	\$41.50	\$42.30

AMR OPT OUT

AMR Opt Out manual water meter reading for an individual meter	\$27.50	\$17.80	\$16.02	\$17.46
AMR Opt Out manual combined electric and water meter reading for an individual for an individual meter read	\$28.50	\$18.80	\$16.92	\$18.36
AMR Opt Out manual water meter reading for a meter bank installation	\$27.50 for the first meter and \$1.00 per read for each additional meter in the meter bank per meter read. The total cost for the water meter bank read is to be equally split between all customers serviced by the meter bank	\$17.80 for the first meter and \$1.00 per read for each additional meter in the meter bank per meter read. The total cost for the water meter bank read is to be equally split between all customers serviced by the meter bank	\$16.02 for the first meter and \$0.90 per read for each additional meter in the meter bank per meter read. The total cost for the water meter bank read is to be equally split between all customers serviced by the meter bank	\$17.46 for the first meter and \$1.00 per read for each additional meter in the meter bank per meter read. The total cost for the water meter bank read is to be equally split between all customers serviced by the bank meter
AMR Opt Out combined electric and water meter reading for a combined electric and water meter bank installation	\$29.50 for the first meter and \$1.00 per read for each additional meter in the meter bank per meter read. The total cost for the combined electric and water meter bank read is to be equally split between all customers served by the meter bank.	\$18.80 for the first meter and \$1.00 per read for each additional meter in the meter bank per meter read. The total cost for the combined electric and water meter bank read is to be equally split between all customers served by the meter bank.	\$16.92 for the first meter and \$0.90 per read for each additional meter in the meter bank per meter read. The total cost for the combined electric and water meter bank read is to be equally split between all customers served by the meter bank.	\$18.36 for the first meter and \$1.00 per read for each additional meter in the meter bank per meter read. The total cost for the combined water and water meter bank read is to be equally split between all customers served by the meter bank.

Applications / Connect / Disconnect / Reconnect

City padlocks	\$22.50	\$22.50	\$22.50	\$22.50
City lock boxes (installed by City)	\$68.00	\$68.00	\$68.00	\$68.00
City lock boxes (installed by customer)	\$50.00	\$50.00	\$50.00	\$50.00
Utility application fee – next day service	\$33.00	\$33.50	\$33.50	\$34.00
Utility application fee – same day service (accounts with combined electric and water)	\$105.00	\$105.00	\$105.00	\$107.00
Utility application fee (water only) same day service (accounts that only have water services)	\$65.00	\$66.00	\$66.00	\$67.00
Water disconnect / re-connect fee (for non payment during regular City hall hours)	\$65.00	\$66.00	\$66.00	\$37.00
Water disconnect / re-connect fee (for non payment after hours without call-out)	\$91.50	\$93.00	\$93.00	\$95.00
Water disconnect or re-connect (customer / agent request during City hall hours)	\$32.00	\$32.50	\$32.50	\$33.00
Water disconnect or re-connect (customer / agent request after hours without call-out)	\$46.00	\$46.75	\$46.75	\$48.00
Water disconnect or re-connect (customer / agent request after hours with call-out)	\$213.00	\$217.00	\$217.00	\$220.00
Illegal reconnection administration charge	\$280.00	\$285.50	\$285.50	\$290.00
Utility fee - Leave on Authorized	\$12.25	\$12.50	\$12.50	\$12.75
Water Disconnection (for non-payment) requiring capping or plugging service	\$230.00	\$235.00	\$235.00	\$240.00
Special Administration charge per service	\$28.00	\$28.50	\$28.50	\$29.00

Non Treated Irrigation Water Charges

No Meter

Non-treated irrigation water per acre per year	\$171.15	\$178.00	\$178.00	\$195.86
Minimum charge for non-treated irrigation water / year	\$171.15	\$178.00	\$178.00	\$195.86
Household use from a connection to the untreated irrigation water system, unless metered, in which case metered rates then apply. (per annum per residence)	\$401.68	\$417.75	\$417.75	\$459.66

Appendix 29				
WATER	2019	2020	2020 effective May 15, 2020 cycle billing	2021

Monthly Fixed Non Treated Irrigation Water Meter Rates based on Meter Size

13mm / 16mm / 19mm (1/2 inch, 5/8 inch and 3/4 inch /month)	\$11.13	\$11.58	\$10.42	\$11.52
25mm (1 inch) / month	\$23.86	\$24.81	\$22.33	\$24.69
38 mm (1 1/2 inches) / month	\$70.29	\$73.10	\$65.79	\$72.74
50 mm (2 inches) / month	\$154.77	\$160.96	\$144.86	\$160.15
75 mm (3 inches) / month	\$444.33	\$462.10	\$415.89	\$459.78
100 mm (4 inches) / month	\$977.02	\$1,016.10	\$914.49	\$1,010.98
150 mm (6 inches) / month	\$2,742.12	\$2,851.80	\$2,566.62	\$2,837.46

PLUS Variable Consumption Charge for all Meter Sizes

Variable Consumption Charge / 2.83 cubic meters (100 cubic feet)	\$0.27	\$0.28	\$0.25	\$0.28
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Reclaimed Treated Effluent for Irrigation Charges

Monthly Fixed Reclaimed Treated Effluent Meter Rates Based on Meter Size

13mm / 16mm / 19mm (1/2 inch, 5/8 inch and 3/4 inch /month)	\$15.30	\$15.40	\$13.86	\$14.20
25mm (1 inch) / month	\$57.49	\$57.49	\$51.74	\$53.03
38 mm (1 1/2 inches) / month	\$69.85	\$70.29	\$63.26	\$64.84
50 mm (2 inches) / month	\$164.64	\$165.67	\$149.10	\$152.83
75 mm (3 inches) / month	\$360.70	\$360.70	\$324.63	\$332.74
100 mm (4 inches) / month	\$761.37	\$766.15	\$689.54	\$706.77
150 mm (6 inches) / month	Potable water has no 6' fee	Potable water has no 6' fee	Potable water has no 6' fee	Potable water has no 6' fee

PLUS Variable Consumption Charge for all Meter Sizes

Variable Consumption Charge / 2.83 cubic meters (100 cubic feet)	\$1.13	\$1.14	\$1.02	\$1.05
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Treated Water Rates

Monthly Fixed Treated Water Meter Rates Based on Meter Size

13mm / 16mm / 19mm (1/2 inch, 5/8 inch and 3/4 inch /month)	\$30.60	\$30.79	\$27.71	\$29.65
25mm (1 inch) / month	\$114.97	\$114.97	\$103.47	\$109.99
38 mm (1 1/2 inches) / month	\$139.70	\$140.58	\$126.52	\$135.33
50 mm (2 inches) / month	\$329.27	\$331.34	\$298.21	\$318.98
75 mm (3 inches) / month	\$721.39	\$721.39	\$649.25	\$690.15
100 mm (4 inches) / month	\$1,522.74	\$1,532.30	\$1,379.07	\$1,475.16
Individually metered Barend Strat Properties with 19mm meters UPON APPLICATION ONLY		\$8.31	\$7.48	\$8.35

PLUS Variable Consumption Charge for all Meter Sizes

Variable Consumption Charge / 2.83 cubic meters (100 cubic feet)	\$2.26	\$2.27	\$2.04	\$2.19
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Notwithstanding the above basic charges, should a 150 mm (6") meter be provided in conjunction with a 150 mm (6") line for the purpose of providing the dual requirements of domestic water and fire protection, the basic charge will be based on the size of meter that would be required to service the domestic water needs of the complex as determined by the Public Works Supervisor. This charge is to commence at the time of the installation of the meter. Prior to the installation of the meter, the service is to be billed at a 25 mm (1") unmetereed rate.

Monthly Fixed Non Metered Treated Water Rates Based on Service Size

13mm / 16mm / 19mm (1/2 inch, 5/8 inch and 3/4 inch /month)	\$48.87	\$49.18	\$44.26	\$47.35
25mm (1 inch) / month	\$150.80	\$151.75	\$136.58	\$146.09

Appendix 29				
WATER	2019	2020	2020 effective May 15, 2020 cycle billing	2021
38 mm (1 1/2 inches) / month	\$247.04	\$248.59	\$223.73	\$239.32
50 mm (2 inches) / month	\$555.80	\$559.29	\$503.36	\$538.43
75 mm (3 inches) / month	\$1,413.52	\$1,422.40	\$1,280.16	\$1,369.35
100 mm (4 inches) / month	\$2,992.88	\$3,011.68	\$2,710.51	\$2,899.38
Treated water charges based on a negotiated agreement	Fee to be as per the agreement approved by Council	Fee to be as per the agreement approved by Council	Fee to be as per the agreement approved by Council	Fee to be as per the agreement approved by Council
Minimum charge for treated water for domestic purposes	Fee to be minimum monthly Basic Charge based on the meter size or the minimum monthly charge based on the size of service	Fee to be minimum monthly Basic Charge based on the meter size or the minimum monthly charge based on the size of service	Fee to be minimum monthly Basic Charge based on the meter size or the minimum monthly charge based on the size of service	Fee to be minimum monthly Basic Charge based on the meter size or the minimum monthly charge based on the size of service

Minimum Flat Rate Charges for Properties located adjacent to a Treated Water Main but not Connected:

Fee based on property zoning as follows:

For properties zoned Single Family Residential	\$48.87	\$49.18	\$44.26	\$47.35
For properties zoned I Multi Family Residential	\$150.80	\$151.75	\$136.58	\$146.09
For properties zoned Commercial	\$247.04	\$248.59	\$223.73	\$239.32
For properties zoned Industrial	\$2,992.88	\$3,011.68	\$2,710.51	\$2,899.38
For all other properties	\$247.04	\$248.59	\$223.73	\$239.32

Sundry Charges

Sign on of new customer	\$27.00	\$27.50	\$27.50	\$28.00
Special Administration charge per service	\$16.00	\$16.50	\$16.50	\$17.00
Transfer fee per service	N/A	N/A	N/A	N/A

When a customer applies for electric and water service/transfer of service at the same time, only one application/transfer fee will apply

Any applicable Federal or Provincial taxes are in addition to the above charges. Penalty interest at the rate of two percent (2%) per bill for current charge amounts remaining unpaid after the passage of the due date denoted on the bill will be applied.

The A.R.D.A. rate referred to in this bylaw is billed on the annual property tax notice and is subject to a 10% penalty if unpaid on the tax penalty date in each year.

Basic charges will be applicable to accounts that are disconnected from water for seasonal or temporary purposes when the water is being turned off at the account holders request but the account holder(s) is not altering.

Treated and Irrigation Services and Metering

AMR Opt Out treated or irrigation water meter, old style meter, use of a digital non radio frequency electric meter	\$201.00 per meter	\$201.00 per meter	\$201.00 per meter	\$201.00 per meter
AMR Opt Out treated or irrigation water meter, new style meter, use of a digital non radio frequency electric meter	\$42.25 per meter	\$42.25 per meter	\$42.25 per meter	\$42.25 per meter

(a) Treated and Irrigation water service supply and installation, not including meter or meter chamber. Fee to be as follows:

19mm (3/4") water service	\$2,750.00	\$3,100.00	\$3,100.00	N/A
25 mm (1") water service - BASE RATE - for up to 10 meters in length from the water line to the property line.	\$3,500.00	\$4,000.00	\$4,000.00	\$6,100.00
25 mm (1") water service - PER METER RATE OVER 10m IN LENGTH - Additional amount to the BASE RATE for the portion of water service greater than 10 meters in length from the water main to property line.				\$575 / meter
All other water services	Actual Cost	Actual Cost	Actual Cost	Actual Cost

(b) Treated and Irrigation water meter supply and installation, not including meter chamber. Fee to be as follows:

19mm (3/4") water meter	\$455.00	\$500.00	\$500.00	\$550.00
25 mm (1") water meter	\$640.00	\$700.00	\$700.00	\$750.00
38 mm (1 1/2") water meter with register and Radio Frequency	\$1,120.00	\$1,200.00	\$1,200.00	\$1,300.00
50 mm (2") compound water meter with register and Radio Frequency	\$3,760.00	\$1,650.00	\$1,650.00	\$1,700.00
(c) All other water meters with register and Radio Frequency	Actual Cost	Actual Cost	Actual Cost	Actual Cost
(d) Water meter chamber up to 25 mm (1") supply and installation (in conjunction with service install)	\$850.00	\$865.00	\$865.00	\$880.00
(e) Water meter chamber up to 25 mm (1") supply and installation (not installed with service)	\$1,850.00	\$2,250.00	\$2,250.00	\$2,300.00
(f) Provision of temporary water	Actual Cost	Actual Cost	Actual Cost	Actual Cost
(g) All other water meter chambers supply and installation	Actual Cost	Actual Cost	Actual Cost	Actual Cost

Appendix 29				
WATER	2019	2020	2020 effective May 15, 2020 cycle billing	2021
(h) Water meter register and Radio Frequency - Supply and install	\$250.00	\$255.00	\$255.00	\$350.00
(i) Water meter testing or repair if replacement is required and deemed the fault of the owner additional charges may be applied.	\$93.00	\$95.00	\$95.00	\$97.00
Note: if the meter is found to be accurate within 98.5% - 101.5%, the party disputing the accuracy of the meter shall bear the cost. If the meter is found not to be accurate within the above limits the City shall bear the costs.				
Customer request to relocate (or alter due to construction) meter or appurtenances	Actual Cost	Actual Cost	Actual Cost	Actual Cost
Water Connection Charges				
(a) Service inspection of an irrigation water service, treated water service, sanitary sewer service and storm sewer service.	\$173.00	\$178.50	\$178.50	\$180.00
(b) Termination of an irrigation water service, treated water service, sanitary sewer service and storm sewer service	\$1,675.00	\$1,750.00	\$1,750.00	\$2,500.00
(c) Termination of an irrigation water service, treated water service, sanitary sewer service and storm sewer service - COMPLETED IN CONJUNCTION WITH SERVICE INSTALLATION IN SAME LOCATION				No Charge
(d) Service calls regarding water service, treated water service, sanitary sewer service and storm sewer service	Actual Cost	Actual Cost	Actual Cost	Actual Cost
Fire Hydrants (both City and private hydrants)				
(a) Fire hydrant supply and installation not requiring curb, gutter and asphalt work	\$7,500.00	\$7,500.00	\$7,500.00	\$7,750.00
(b) Fire hydrant supply and installation requiring curb, gutter and asphalt work	\$9,000.00	\$9,200.00	\$9,200.00	\$9,500.00
(c) Fire Hydrant rental (includes hook-up and water usage) Note: if total # of days is not known (amount to be billed)	\$112.00 first day and \$22.00 each day thereafter	\$115.00 first day and \$23.00 each day thereafter	\$115.00 first day and \$23.00 each day thereafter	\$117.00 first day and \$25.00 each day thereafter
(d) Portable water meter rental	\$16.75 per day (plus cost of water used at the current metered rate)	\$18 per day (plus cost of water used at the current metered rate)	\$18 per day (plus cost of water used at the current metered rate)	\$20 per day (plus cost of water used at the current metered rate)
(e) Fire Hydrant ACCEPTANCE - Level A Inspection - post final inspection or prior to city acceptance	\$171.00	\$174.50	\$174.50	\$174.50
Other:				
(a) Service inspection of an irrigation water service, treated water service, sanitary sewer service and storm sewer service.	\$173.00	\$178.50	\$178.50	\$180.00
(b) Termination of an irrigation water service, treated water service, sanitary sewer service and storm sewer service	\$1,675.00	\$1,750.00	\$1,750.00	\$2,500.00
(c) Termination of an irrigation water service, treated water service, sanitary sewer service and storm sewer service - COMPLETED IN CONJUNCTION WITH SERVICE INSTALLATION IN SAME LOCATION				No Charge
(d) Service calls regarding water service, treated water service, sanitary sewer service and storm sewer service	Actual Cost	Actual Cost	Actual Cost	Actual Cost
(f) When winter conditions prevail or hot mix asphalt is not available, if installation is to proceed, add \$525.00 each to the estimated and flat rate costs for service provided by the city that requires excavation.				\$525.00

Appendix 31					
STORM WATER UTILITY	Unit	2018	2019	2020	2021
Storm Water NO Direct Connect Fees					
Notes:					
The different categories of Storm Water Utility Rates are based on the Property Tax Classification.					
The following rates apply to properties that are NOT directly connected to the Storm Water System.					
In cases where a property has multiple Property Tax Classifications the City will determine the Property Tax Classification that best represents the property and charge for Storm Water according to that Property Tax Classification.					
Residential					
No direct connection to the Storm Sewer:					
Single Family Dwellings	\$/year per folio	\$10.00	\$20.50	\$31.00	\$41.60
Multi Family Apartment Buildings with 4 or less units	\$/year per folio	\$16.00	\$32.90	\$49.80	\$66.60
Multi Family Apartment Buildings with more than 4 units	\$/year per unit	\$5.30	\$11.00	\$16.60	\$22.20
Multi Family Dwellings [strata]	\$/year per folio	\$5.30	\$11.00	\$16.60	\$22.20
Farm/Recreational/Non Profit/Supportive Housing					
No Direct Connection to the Storm Sewer	\$/year per folio	\$10.00	\$20.50	\$31.00	\$41.60
Business/Light Industry/Major Industry/Utilities					
No direct connection to the Storm Sewer, with gross assessment value:					
Below \$300,000	\$/year per folio	\$20.30	\$41.60	\$63.00	\$84.30
Between \$300,001 and \$800,000	\$/year per folio	\$30.40	\$62.40	\$94.50	\$126.50
Above \$800,000	\$/year per folio	\$45.60	\$93.70	\$141.70	\$189.70
Storm Water Direct Connect Fees					
Notes:					
The different categories of Storm Water Utility Rates are based on the Property Tax Classification.					
The following rates apply to properties that ARE directly connected to the Storm Water System.					
In cases where a property has multiple Property Tax Classifications the City will determine the Property Tax Classification that best represents the property and charge for Storm Water according to that Property Tax Classification.					
Residential					
Direct Connection to the Storm Sewer:					
Single Family Dwellings	\$/year per folio	\$13.00	\$26.70	\$40.40	\$54.00
Multi Family Apartment Buildings with 4 or less units	\$/year per folio	\$20.80	\$42.80	\$64.70	\$86.60
Multi Family Apartment Buildings with more than 4 units	\$/year per unit	\$6.90	\$14.30	\$21.60	\$28.90
Multi Family Dwellings [strata]	\$/year per folio	\$6.90	\$14.30	\$21.60	\$28.90
Farm/Recreational/Non Profit/Supportive Housing					
Direct Connection to the Storm Sewer	\$/year per folio	\$13.00	\$26.70	\$40.40	\$54.00
Business/Light Industry/Major Industry/Utilities					
Direct connection to the Storm Sewer, with gross assessment value:					
Below \$300,000	\$/year per folio	\$26.40	\$54.10	\$81.90	\$109.60
Between \$300,001 and \$800,000	\$/year per folio	\$39.60	\$81.20	\$112.80	\$164.40
Above \$800,000	\$/year per folio	\$59.30	\$121.80	\$184.20	\$246.70

Council Report

penticton.ca

Date: October 6, 2020
To: Donny van Dyk, Chief Administrative Officer
From: Courtney Jones, Financial Analyst
Subject: **Fees and Charges Amendment Bylaw No. 2020-37**

File No: 1610

Staff Recommendation

THAT Council give first, second, and third reading to "Fees and Charges Amendment Bylaw No. 2020-37", a bylaw to set the general 2021 fees and charges;

AND THAT Council adopt "Fees and Charges Amendment Bylaw No. 2020-37".

Strategic priority objective

Mission: Penticton will serve its residents, businesses and visitors through good governance, partnership and the provision of effective and community focused services.

Community Safety: The City of Penticton will support a safe, secure and healthy community.

Background

As provided for in the *Community Charter*, fees and charges are used to recover the cost of services provided by the City wherever possible as an alternative to property taxation. On an annual basis, staff consider the following factors when setting fees and charges:

- Inflation
- Changes that bring the City's fees in line with other neighboring markets
- Changes that are intended to bring the City closer to full cost recovery
- Changes to address revenue shortfall
- New or deleted Fees and Charges related to new services or billing methodologies
- *Community Charter* restrictions

Financial implication

The revised Fees and Charges rates are an important component in finalizing the proposed 2021-2025 Financial Plan. The overall anticipated revenue increase is \$836k, which is comprised of \$400k for metered parking expansion in the downtown, \$300k from parking increases, and \$136k from other appendices.

Analysis

Summary of changes

The information presented deals specifically with changes to all general appendices except the Utilities appendices: Appendix 7 – Electrical, Appendix 25 - Sanitary Sewer, Appendix 29 – Water, and Appendix 31 – Storm Water Utility These are addressed in a separate companion report. Below are highlights of the changes that are included in the supporting tables. Standard inflationary increases (generally 1.5%-2.5% per year) are not highlighted below due to the volume of changes. Some rates may have higher inflationary increases in 2021 if the rate hasn't changed in recent years. Please refer to the supporting tables for details on all rate changes (all 2021 rate changes are highlighted in yellow).

Appendix 3: Arena Rates

- Standard inflationary rates of 2% were applied to hourly ice rentals and meeting room rentals.
- Public skating rates were not adjusted at this time as public skating has not resumed due to COVID-19. Planning is in process for a potential November restart of public skating.

Appendix 6: Cemetery

- The 2013 Cemetery Master Plan recommended annual price increases of 3% to offset cost escalation due to inflation and changing demographic and disposition trends. Thus, staff have increased cemetery fees by 3% (rounded to the nearest dollar), with the exception of the below points.
- In-ground spaces are premium spaces, as such, an increase of 5%
- Mausoleum spaces are in high demand and limited spaces; staff has increased Mausoleum spaces 10% to aid in the planning for future spaces.

Appendix 8: Equipment Rates

- Equipment rates are set based on a cost recovery basis and to reflect replacement cost to ensure adequate funding in the equipment replacement reserve.

Appendix 17: Museum

- Photograph reproductions increased \$1.00 to \$17.00 as material costs have increased and rate has not increased since 2018.
- Photograph reproductions (digital format) by email has increased \$2.00 to \$20.00 as price has not been adjusted since 2017 and reflects the market rate.

Appendix 18: Parking

- Increasing on-street hourly parking rate by 75 cents per hour to \$2.00 per hour per the September 15, 2020 Council meeting Resolution 299/2020 Metered Parking Expansion.
- Remove the one (1) hour free parking for downtown lots per the September 15, 2020 Council meeting Resolution 299/2020 Metered Parking Expansion.

- Reducing the resident only parking area fees to \$0 per the August 18, 2020 Council meeting Resolution 259/2020.
- Overall, these rate adjustments are expected to increase revenue by \$300k annually, with a further anticipated \$400k annually from the expanded parking program.

Appendix 20: Planning

- During the review of the Planning fees and charges it was identified that the majority of fees should be increased by 10% due to the following factors:
 - Current fees are not covering costs
 - Substantial time requirements are needed to complete Planning functions
 - Many fees have not had any inflationary increases since 2018
- Other changes include:
 - Added OCP Amendment in conjunction with Public Engagement fee
 - Additional Public Hearing Fee was \$550 in 2018, and in 2019 and 2020 was changed to \$250 in error and has been corrected for 2021
 - Added Hillside Development permit fee
 - Added Subdivision Legal Plan Approval Fee
 - Reduced Phased Strata Preliminary Layout Approval (PLA) Renewal or Amendment to match Subdivision PLA Preliminary Layout Approval (PLA) Renewal or Amendment fee
- Overall, these changes would equate to approximately \$26k over 2020 budgeted revenue.

Unmodified Appendices

The following appendices remain unchanged from the last fees & charges update:

- Appendix 1: Administrative Rates
- Appendix 2: Dog Control
 - An in-depth review of the Dog Control bylaw is under way and once completed changes to the Dog Control fees and changes may come forward based on the findings of the review.
- Appendix 10: Fitness Room
 - Fitness room and Pool/Aquatics prescribed fees were not changed at this time due to current flat fee for all single reservation admissions in effect due to the COVID-19 restrictions and guidelines. This rate will continue until such time as the CAO determines and advertises by way of Public Notice that it is appropriate to resume the prescribed fees.
- Appendix 12: Human Resources
- Appendix 21: Pool
- Appendix 23: RCMP
- Appendix 26: Theatre
- Appendix 27: Transit

Alternate recommendations

THAT Council direct staff to make changes to the appendices.


Attachments

Attachment – Fees and Charges Amendment Bylaw No. 2020-37

Respectfully submitted,

Courtney Jones

Courtney Jones, CPA, CGA, B.Comm
Financial Analyst

CFO/GM Finance and Administration <i>LWB</i>	General Manager Infrastructure 	Director, Development Services BL	A/Chief Administrative Officer JB
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The Corporation of the City of Penticton

Bylaw No. 2020-37

A bylaw to amend the Fees and Charges Bylaw No. 2014-07

WHEREAS the Council of the City of Penticton has adopted a Fees and Charges Bylaw pursuant to the *Community Charter*,

AND WHEREAS the Council of the City of Penticton wishes to amend the "Fees and Charges Bylaw No. 2014-07";

NOW THEREFORE BE IT RESOLVED that the Municipal Council of the City of Penticton in open meeting assembled, hereby ENACTS AS FOLLOWS:

1. **Title:**

This Bylaw may be cited as "Fees and Charges Amendment Bylaw No. 2020-37".

2. **Amendment:**

2.1 Amend "Fees and Charges Bylaw No. 2014-07" by deleting and replacing the following appendices in their entirety:

- Appendix 3 – Arena Hourly Rates (McLaren)
- Appendix 4 – Building Department Fees
- Appendix 5 – Business Licence Fees
- Appendix 6 – Cemetery
- Appendix 8 – Equipment Rates
- Appendix 9 – Fire Department
- Appendix 11 – Garbage Rates
- Appendix 13 – Information Technology
- Appendix 14 – Liquor Licences
- Appendix 15 – Marinas
- Appendix 16 – Meeting Rooms/Activity Spaces Hourly Rate
- Appendix 17 – Museum
- Appendix 18 – Parking
- Appendix 19 – Parks & Sports Fields Hourly Rate per Field
- Appendix 20 – Planning and Development
- Appendix 22 – Public Works
- Appendix 24 – Recreation – Miscellaneous
- Appendix 28 – Vending Fees
- Appendix 30 – Excessive Nuisance Abatement Fee

2.2 Appendices 3, 4, 5, 6, 8, 9, 11, 13, 14, 15, 16, 17, 18, 19, 20, 22, 24, 28, 30 attached hereto forms part of this bylaw.

READ A FIRST time this	day of	, 2020
READ A SECOND time this	day of	, 2020
READ A THIRD time this	day of	, 2020
ADOPTED this	day of	, 2020

In accordance with the Province of BC Ministerial Order No. M192, the Council of the City of Penticton may adopt a bylaw on the same day as third reading.

John Vassilaki, Mayor

Angie Collison, Corporate Officer

Appendix 3		
Arena Hourly Rates (McLaren)	Effective April 1, 2020	Effective April 1, 2021
Ice in		
Non Profit/Local		
Child/Youth	\$90.51	\$92.33
Adult	\$166.46	\$169.79
Non School District 67 Schools*	\$45.26	\$46.16
Local Private	\$168.54	\$171.92
Local Commercial	\$183.11	\$186.77
Non Resident	\$171.67	\$175.10
Ice Out (Dry Floor)		
Non Profit/Local		
Child/Youth	\$36.68	\$37.42
Adult	\$54.99	\$56.09
Non School District 67 Schools*	\$18.34	\$18.71
Commercial Day Rate (8 hours)	\$800.00	\$816.00
Local Private	\$54.99	\$56.09
Local Commercial	\$142.51	\$145.36
Non Resident	\$57.69	\$58.85
Admission Rates - Public Skating		
Single Admission		
Preschool	\$1.90	\$1.90
Child	\$2.86	\$2.86
Youth	\$3.81	\$3.81
Adult	\$4.52	\$4.52
Senior	\$3.81	\$3.81
Super Senior	\$2.86	\$2.86
Family	\$11.43	\$11.43
Parent & Tot -Adult	\$2.86	\$2.86
Parent & Tot -preschooler	\$1.90	\$1.90
Skate Rentals	\$3.81	\$3.81
Skate Rentals preschooler	\$2.86	\$2.86
Skate rentals - school	\$2.86	\$2.86
10 Tickets		
Preschool	\$17.14	\$17.14
Child	\$25.71	\$25.71
Youth	\$34.29	\$34.29
Adult	\$40.00	\$40.00
Senior	\$34.29	\$34.29
Super Senior	\$25.71	\$25.71
Family	\$102.86	\$102.86

Appendix 3		
Arena Hourly Rates (McLaren)	Effective April 1, 2020	Effective April 1, 2021
Parent & Tot -Adult	\$25.71	\$25.71
Parent & Tot -preschooler	\$17.14	\$17.14
Community Centre/McLaren Arena Meeting Room Non Profit/Local		
Child/Youth	\$12.38	\$12.62
Adult	\$12.38	\$12.62
Non School District 67 Schools*	\$9.28	\$9.47
Local Private	\$15.65	\$15.97
Local Commercial	\$27.39	\$27.94
Non-Resident	\$39.13	\$39.92
<p>Non School District 67 Schools* are defined as grade schools (K-12) located within City of Penticton boundaries and Penticton Indian Band lands. The Non School District 67 Schools rates are applicable during school hours.</p>		

Appendix 4		
BUILDING DEPARTMENT FEES	2020	2021
Building Application Fees		
A non-refundable deposit is required at time of building permit application (credited towards end of Building Permit Fee)	\$180.00	\$185.00
Building Permit Fee Calculations		
\$1.00 - \$25,000 (Flat Fee)	\$180.00	\$185.00
\$25,001 - \$500,000	\$180.00 + \$12.00 per \$1,000 of Construction Value (between \$25,001 and \$500,000)	\$185.00 + \$12.00 per \$1,000 of Construction Value (between \$25,001 and \$500,000)
\$500,001 - \$1,500,000	\$5880.00 + \$11.00 per \$1,000 of Construction Value (between \$500,001 and \$1,500,000)	\$6185.00 + \$11.00 per \$1,000 of Construction Value (between \$500,001 and \$1,500,000)
over \$1,500,000	\$16,880.00 + \$10.00 per \$1,000 of Construction Value (above \$1,500,000)	\$17,185.00 + \$10.00 per \$1,000 of Construction Value (above \$1,500,000)
Security Deposits		
Foundation Only Permit Security (Complex Buildings only)	\$25,000.00	\$25,000.00
Relocating a home, including a manufactured home	\$520.00	\$530.00
Temporary Building Permit Security	the greater of \$500.00 or 10% of the value of the temporary building.	the greater of \$500.00 or 10% of the value of the temporary building.
Partial Occupancy security	the greater of \$500.00 or 10% of the original value of the building permit fee.	the greater of \$500.00 or 10% of the original value of the building permit fee.
Plumbing Fees		
Minimum application (up to 10 Fixtures - including water/sanitary/storm service replacement)	\$80.00	\$82.00
Per Fixture thereafter	\$10.00	\$10.50
For Alteration to an existing system where there are no fixture count changes	\$80.00	\$82.00
Site Plumbing		
Single and Two family dwellings		
Water service inspection fee per unit	\$35.00	\$36.00
Sanitary service inspection fee per unit	\$35.00	\$36.00
Storm service inspection fee per unit	\$35.00	\$36.00
Combined water and sewer service inspection fee per unit	NA	NA
Combined water, sewer and storm service inspection fee per unit	NA	NA
Water service inspection fee, except single and two family dwellings		
First 15 m, or part thereof, plus	\$35.00	\$36.00
Each additional 15 m, or part thereof	\$25.00	\$25.50
Sanitary service inspection fee, except single and two family dwellings		
First 15 m, or part thereof, plus	\$35.00	\$36.00
Each additional 15 m, or part thereof	\$25.00	\$25.50
Storm service inspection fee, except single and two family dwellings		
First 15 m, or part thereof, plus	\$35.00	\$36.00
Each additional 15 m, or part thereof	\$25.00	\$25.50
Each storm catch basin, sump or oil/grease interceptor	\$25.00	\$25.50
Sprinkler Permits (Including site works)		
For first ten (10) sprinkler heads	\$180.00	\$185.00
For each additional sprinkler head	\$2.00	\$2.25
For each Siamese connection, standpipe, hose cabinet, hose outlet	\$25.00	\$25.50
First 15 m of underground fire lines of portion thereof, plus	\$75.00	\$77.50
each additional 15 m of fire lines of portion thereof.	\$25.00	\$25.50
Each private fire hydrant on private property	\$25.00	\$25.50
Mechanical Permits (Building)		
New or Replacement of Mechanical System in a Single or Two Family Dwelling	\$80.00	\$85.00
New installation or replacement of a spray booth or commercial cooking ventilation system	\$260.00	\$265.00

Appendix 4		
BUILDING DEPARTMENT FEES	2020	2021
Demolition Fees		
Removal of Building(s) on a property	\$180.00	\$185.00
Security Deposit - refunded upon completion of works and confirmation of hazardous material assessment and appropriate disposal of waste	\$500.00	\$500.00
Security Deposit - pre-utility disconnect agreement- refunded upon completion of works and confirmation of hazardous material assessment and appropriate disposal of waste	\$1,000.00	\$1,000.00
Locating/Relocating a Building or Structure		
Minimum Fee for relocating/placement of mobile home or accessory structure, plus	\$260.00	\$265.00
Minimum Fee for relocating/placement of an existing building or manufactured home, plus	\$1,050.00	\$1,070.00
Additional Building Permit Fee for new work on site for foundations, cribbing, etc.	Calculated as per building application fees above	Calculated as per building application fees above
Permit Reductions and Additional Charges		
Reductions		
Complex (Part 3) Building Projects - Where the City has stated in writing that it is relying on the Certification by a Professional Engineer or Architect, registered as such under Provincial Legislation, that the plans or the aspects of the plans, complied with the Building Code or other applicable enactment.	5%	5%
Simple (Part 9) Building Projects - Where the City has stated in writing that it is relying on the Certification by Professional Engineers, registered as such under Provincial Legislation, that the plans or the aspects of the plans, complied with the Building	10% for every Registered Professional Discipline up to 20% maximum.	10% for every Registered Professional Discipline up to 20% maximum.
Plumbing Permit Homeowner Surcharge	\$50 or 25% (whichever is greater) surcharge for Single Family new construction and renovation projects completed by home owners	\$50 or 25% (whichever is greater) surcharge for Single Family new construction and renovation projects completed by home owners
BC Energy Step Code - building permit refund for residential projects designed and certified to Step 03 at time of Occupancy.	5%	5%
Mid-construction blower door test refund for all new Simple (Part 9) residential projects, issued as of January 01, 2020.	\$250 (per residential building)	\$250 (per residential building)
Additional Fees		
Plan Check Fee - For review of revised drawings where more than two plan checks have been submitted or substantial changes to the approved design during construction that requires additional Building Code or Zoning Reviews	\$105.00 (Plus GST)	\$110.00 (Plus GST)
Re-Inspection Penalty	\$180.00 where more than two inspections have been called for. Fee must be paid in full prior to any additional inspections or completion certificate granted. (Plus GST)	\$185.00 where more than two inspections have been called for. Fee must be paid in full prior to any additional inspections or completion certificate granted. (Plus GST)
Alternative Building Code Solutions Review	\$210.00 per alternate solution or substantial revision to approved alternate solution. (Plus GST)	\$215.00 per alternate solution or substantial revision to approved alternate solution. (Plus GST)
After hours inspections or permit application review (minimum one hour)	\$180.00 for first hour and \$80.00 for every subsequent hour. (Plus GST)	\$185.00 for first hour and \$85.00 for every subsequent hour. (Plus GST)
Preliminary Application Reviews - For Stratifications and potential change of use inquiries, file searches and / or site inspections prior to permit applications.	\$260.00	\$265.00
Earthworks	\$260.00	\$265.00
Annual Backflow test filing fee per device	\$14.45	Backflow Solutions Incorporated (BSI Online) fee plus \$5 handling fee
Blasting Permit	\$260.00	\$265.00

Appendix 4		
BUILDING DEPARTMENT FEES	2020	2021
Other Miscellaneous Building Permit Fees		
Permit to install a fireplace/stove or chimney	\$180.00	\$185.00
Swimming Pool Permit (Private)	\$180.00	\$185.00
Foundation Permit - Additional Application to above grade Building Permit, plus	\$180.00	\$185.00
Additional Fee shall be charged based on the estimated cost of construction	Calculated as per Section 3	Calculated as per Section 3
Secondary Suite	\$400.00	\$410.00
Crane Permits	\$180.00	\$185.00
Change of Use or Occupancy when a Building Permit is not required	\$180.00	\$185.00
Permit Extension Fee - when existing Building Permit has expired	\$105 or 10% of original permit fee(s), whichever is greater	\$110 or 10% of original permit fee(s), whichever is greater
Permit Transfer Fee	\$105.00 (Plus GST)	\$110.00 (Plus GST)
Development Application Refunds		
Refunds with respect to development application are to be addressed in the following manner:		
Building and Plumbing Permit Fee Refund:		
Building and or Plumbing Permit application submitted, permit not issued – Upon cancellation of the Building and or Plumbing Permit application, refund Building Permit and or Plumbing Permit fees less an administrative fee of:		
For Single Family, Duplex and smaller developments	\$500.00 plus \$200.00 for each Alternative Solution requested	\$510.00 plus \$215.00 for each Alternative Solution requested
For all other larger developments	\$1000.00 plus \$200.00 for each Alternative Solution Requested	\$1020.00 plus \$215.00 for each Alternative Solution Requested
Building and or Plumbing Permit issued, no construction started as determined by the Director of Development Services – Upon cancellation of the Building and or Plumbing Permit , refund Building Permit and or Plumbing Permit fees less an administrative fee of:		
For Single Family, Duplex and smaller developments	\$750.00 plus \$200.00 for each Alternative Solution Requested	\$775.00 plus \$215.00 for each Alternative Solution Requested
For all other larger developments	\$1500.00 plus \$200.00 for each Alternative Solution	\$1550.00 plus \$215.00 for each Alternative Solution
Building and or Plumbing Permit issued, construction started as determined by the Director of Development Services – No refund.		
City infrastructure ¹ requirements as part of Building Permit:		
Building permit and/or plumbing permit application submitted, permit not issued – Upon cancellation of the building permit and/or plumbing permit application refund City infrastructure costs paid by the developer less an administrative fee of:		
For Single Family, Duplex and smaller developments	\$480.00	\$490.00
For all other larger developments	\$1,000.00	\$1,025.00
Building permit and/or plumbing permit issued, construction not started as determined by the Director of Development Services and the City infrastructure has not been installed – Upon cancellation of the building permit and or plumbing permit refund City infrastructure costs paid by the developer less an administrative fee of:		
For Single Family, Duplex Triplex and smaller developments	\$480.00	\$490.00
For all other larger developments	\$1,000.00	\$1,025.00
Building permit and/or plumbing permit issued, construction not started as determined by the Director of Development Services and the City infrastructure has been installed – No refund.	No Refund	No Refund

Appendix 4

Appendix 4		
BUILDING DEPARTMENT FEES	2020	2021
Building permit and/or plumbing permit issued, construction started as determined by the Director of Development Services and the City infrastructure has not been installed – The person seeking a refund must make a submission for a refund in the prescribed form to the Director of Development Services or the designate who will prepare a report for Council's consideration.	Council consideration	Council consideration
Council will consider the matter and may by resolution: a. authorize the density bonus refund subject to conditions as; or b. refuse the request for a density bonus refund; c. refer the matter to staff or a future Council meeting; or d. such other determination as Council may direct. As a requirement of any density bonus refund the development permit and building permit must be cancelled and the development Permit must be discharged from the title of the lands.		
Admin. Fee for Single Family, Duplex, Triplex and small Development	\$480.00	\$490.00
For all larger Developments will be held	\$1,000.00	\$1,025.00
Building permit and/or plumbing permit issued, construction started as determined by the Director of Development Services and the City infrastructure has been installed.	No Refund	No Refund
Notes: 1. City Infrastructure is defined as: a. Any items related to the City of Penticton water, sanitary, storm system including main line pipe, appurtenances, services etc. b. Any items related to roads, sidewalks, curb, gutter, signs etc. Sidewalk Uses*		
*Sidewalk Use fees will be waived to December 31, 2020.		
Type 1 Sidewalk Café- Annual Fee	\$310.00 (Plus GST)	\$310.00 (Plus GST)
Type 2 Sidewalk Café - Annual Fee	\$310.00 (Plus GST)	\$310.00 (Plus GST)
For each parking space or portion thereof occupied by a temporary sidewalk café - Annual Fee	\$210.00 (Plus GST)	\$210.00 (Plus GST)
Sidewalk Sales Area or sidewalk seating area - (maximum of 2 tables and 8 seats)	\$105.00 (Plus GST)	\$105.00 (Plus GST)
Martin Street and Westminster Avenue Revitalization Project Area - Storefront sales/seating	\$105.00 (Plus GST)	\$105.00 (Plus GST)
Martin Street and Westminster Avenue Revitalization Project Area - Storefront Café	\$310.00 (Plus GST)	\$310.00 (Plus GST)
Main Street Revitalization Project Area - Storefront Sales/Seating (100 & 200 blocks)	\$105.00 (Plus GST)	\$105.00 (Plus GST)
Main Street Revitalization Project Area - Storefront Café (100 and 200 blocks)	\$310.00 (Plus GST)	\$310.00 (Plus GST)
Main Street Revitalization Project Area - Storefront Sales/Seating (300 block)	n/c to 2022	n/c to 2022
Main Street Revitalization Project Area - Storefront Café (300 block)	n/c to 2022	n/c to 2022
VACANT BUILDING REGISTRATION FEES		
Fee for special safety inspection prior to registration permit	\$520.00 (Plus GST)	\$520.00 (Plus GST)
Fee for subsequent inspections not related to Vacant Building Registration Permit	\$180.00 (Plus GST) per inspection	\$180.00 (Plus GST) per inspection
Fee for Vacant Building Registration Permit (12 months maximum) for each building or structure located on a single and two family zoned properties	\$2,600.00	\$2,600.00
Fee for Vacant Building Registration Permit (24 months maximum) for each building or structure located on all other zoned properties.	\$5,200.00	\$5,200.00
Fee for additional Vacant Building Registration (12 month maximum)	\$2,600.00	\$2,600.00
Attendance by City of Penticton Fire Services	Actual costs incurred by the City for related labour, materials and equipment	Actual costs incurred by the City for related labour, materials and equipment
Refund	75% of Vacant Building Permit Fee may be refunded if it is remediated or demolished within first six (6) months of registration.	75% of Vacant Building Permit Fee may be refunded if it is remediated or demolished within first six (6) months of registration.

Appendix 5		
BUSINESS LICENCE FEES	2020	2021
Application Fee: Non-refundable deposit is required at time of application (credited towards end of Business Licence Fee)	\$80.00	\$85.00
Application Fee: Short Term Rental - Major High Occupant - Non-refundable deposit is required at time of application (credited towards end of Business Licence Fee)	\$250.00	\$255.00
Business Licence Base Fee	\$180.00	\$185.00
Accommodation	Base fee plus \$2.00 per room	Base fee plus \$2.00 per room
Adult Only	Base fee plus Criminal Record Check	Base fee plus Criminal Record Check
Criminal Records Checks	As set out in the RCMP section of this bylaw	As set out in the RCMP section of this bylaw
Bed and Breakfast (Bylaw 2017-16)	\$180.00	\$185.00
Vacation Rental (Home Stay) (Bylaw 2017-16)	No Fees	No Fees
Short Term Vacation Rental (Minor) (Bylaw 2017-16)(per year)	\$180.00	\$185.00
Short Term Vacation Rental (Major) (Bylaw 2017-16) (per year)	\$250.00	\$255.00
Short Term Vacation Rental (Major High Occupant) (Bylaw 2017-16) (per year)	\$400.00	\$410.00
Seasonal - Six month maximum	\$100.00	\$105.00
Seasonal - Short Term 30 day - no location	\$35.00	\$40.00
Change of Owner Fee	\$0.00	\$0.00
Change of Location Fee	\$100.00	\$105.00
Penalty (late payment)	\$50.00	\$50.00
Seconday Suites and Carriage houses (per year)	\$180.00	\$185.00
Agricultural Business (seasonal)	\$105.00	\$110.00
Downtown Farmers Market	\$500/per yr.	\$510/per yr.
Downtown Community Market	\$1250/per yr.	\$1275/per yr.
Inter-Community Business Licence fee	\$150.00	\$150.00

Appendix 6		
CEMETERY	2020	2021
Grave Space		
Standard Size Plot - Flat Marker Section		
Residents (including Care Fund contribution of 25%)	\$1,435	\$1,507
Non-Residents (including Care Fund contribution of 25%)	\$1,937	\$2,034
Standard Size Plot - Up-Right Marker Section		
Residents (including Care Fund contribution of 25%)	\$2,089	\$2,193
Non-Residents (including Care Fund contribution of 25%)	\$2,820	\$2,961
Small Size Plot (includes infants less than 2 years) - Flat Marker Section		
Residents (including Care Fund contribution of 25%)	\$468	\$491
Non-Residents (including Care Fund contribution of 25%)	\$631	\$663
Small Size Plot (includes infants less than 2 years) - Up-Right Marker Section		
Residents (including Care Fund contribution of 25%)	\$682	\$716
Non-Residents (including Care Fund contribution of 25%)	\$920	\$966
Cremation Size Plot - Flat Marker Section		
Residents (including Care Fund contribution of 25%)	\$460	\$483
Non-Residents (including Care Fund contribution of 25%)	\$621	\$652
Cremation Size Plot - Up-Right Marker Section		
Residents (including Care Fund contribution of 25%)	\$671	\$705
Non-Residents (including Care Fund contribution of 25%)	\$906	\$951
Green Burial Plot		
Residents (including Care Fund contribution of 25%)	\$1,435	\$1,507
Non-Residents (including Care Fund contribution of 25%)	\$1,937	\$2,034
Family Estate Plot - Traditional In-ground		
Residents (including Care Fund contribution of 25%)	\$29,000	\$30,450
Non-Residents (including Care Fund contribution of 25%)	\$39,150	\$41,108
Family Estate Plot - Cremation		
Residents (including Care Fund contribution of 25%)	\$2,300	\$2,415
Non-Residents (including Care Fund contribution of 25%)	\$3,105	\$3,260
Any plots reserved as per The Corporation of the City of Penticton Cemetery Management Bylaw No. 2010-09, may be bought back by the Corporation at 80% of the purchase price.		
Services Internment		
Standard size - Traditional In-ground or Green Burial - First Interment per Plot	\$1,471	\$1,515
Standard size - Traditional In-ground or Green Burial - Second Interment	\$1,004	\$1,034
Small size	\$499	\$514
Infant under 2 years	\$499	\$514
Cremation size	\$312	\$321
Green Burial - Memorialization - Name and Dates etched into communal marker stone (optional)		
	\$225	\$236
Opening and Closing Grave for Exhumation		
Standard size	\$1,907	\$1,964
Small size	\$767	\$790
Infant under 2 years	\$767	\$790
Cremation size	\$404	\$416
Less than 24 Hours Notice – Charge		
	\$247	\$254
Installation of Memorials (each time) - including care fund contribution of 25%		
	\$288	\$297
Reset Fee		
	\$196	\$202
Reservation of Side by Side Graves for Extended Family		
One time Administration Fee	\$77	\$79
Annual Reservation Fee	\$29	\$30
Fairview Internment		
Fairview Cemetery Fee	\$388	\$400

Appendix 6		
CEMETERY	2020	2021
Goods		
Grave Liners – Regular	\$490	\$500
Grave Liners – Child	\$207	\$211
Concrete Slab for Lanterns	\$207	\$211
Columbarium		
Resident		
Level I	\$3,245	\$3,342
Level II	\$3,136	\$3,230
Level III	\$3,028	\$3,119
Non-Resident		
Level I	\$4,381	\$4,512
Level II	\$4,234	\$4,361
Level III	\$4,088	\$4,211
The rates include a one-time opening/closing rate, and initial engraving		
Care Fund Per Niche Sold		
Columbarium	\$440	\$453
Marker	\$27	\$28
Other Charges		
Additional Opening/closing (includes 2nd engraving)	\$312	\$321
Niche Flower Vase	\$81	\$81
Exhumation	\$342	\$352
Overtime	\$437	\$450
Mausoleum		
Basic Rate per unit		
Resident		
Level I	\$19,683	\$21,651
Level II	\$18,926	\$20,819
Level III	\$18,169	\$19,986
Non-Resident		
Level I	\$26,573	\$29,230
Level II	\$25,550	\$28,105
Level III	\$24,528	\$26,981
The rates include a one-time opening/closing rate, and initial engraving		
Care Fund Per Unit Sold		
Mausoleum	\$2,700	\$2,781
Marker	\$27	\$28
Opening and Closing for Exhumation		
Level I, II and III	\$1,811	\$1,865
Ossuary / Scattering Garden and Memorial		
Basic Rate per Unit:		
Ossuary - Resident	\$440	\$453
Ossuary - Non-resident	\$594	\$612
Bronze Memorial Wall Name Plaque	\$335	\$345
Lakeview Cemetery – Cost of Saturday burials is the same as on weekdays		
Fairview Cemetery – cost of Saturday burials is subject to additional labour charges		
No Sunday or Statutory Holiday Burials		

Appendix 8		
EQUIPMENT RATES	2020	2021
Passenger Vehicle (<5,500 kg)	\$6.50	\$6.75
Single / Tandem Dump	\$36.00	\$36.00
Trailers	\$5.00	\$5.00
Small Aerial	\$30.00	\$30.00
1 Ton Dump	\$7.50	\$10.00
1 Ton with Utility Box	\$7.50	\$10.00
Litter Truck	\$18.85	\$20.00
AWWTP - Crane Truck	\$9.00	\$10.00
Parks Tractor	\$18.75	\$25.00
Electrical Line Truck	\$40.80	\$40.80
Grader	\$75.00	\$75.00
Back Hoe	\$29.00	\$30.00
Sewer Flush Truck	\$63.50	\$68.50
Street Sweeper	\$50.00	\$52.00
Wheel Loader	\$38.00	\$45.00
Rotary Mower - Large	\$30.00	\$35.00
Rotary Mower - Small	\$16.50	\$20.00
Chipper	\$20.00	\$20.00
Tractor	\$13.00	\$13.00
Fork Lift	\$40.50	\$40.50
Beach Cleaner	\$45.00	\$48.00
Air Compressor	\$10.00	\$10.00
Large Sander & Blade	\$37.25	\$40.00
Small Sander & Blade	\$18.00	\$20.00
Ice Resurfacers	\$6.50	\$6.50
Leaf Vac	\$25.00	\$27.00
Utility Truck (Water/Sewer)	\$14.50	\$18.00

Appendix 8		
EQUIPMENT RATES	2020	2021
Passenger Van (15 Passenger)	\$8.00	\$8.00
ATV	\$6.00	\$6.00
Compost Screener - Trommel	\$120.00	\$120.00
Small Equipment	\$4.00	\$4.00
Valve Machine	\$12.00	\$12.00
Flat Deck Crane Truck	\$33.00	\$33.00
Barge - Water Craft	\$32.00	\$32.00
Pick-Up Utility Box	\$7.50	\$7.50

Appendix 9		
Fire Department	2020	2021
The fees hereinafter specified shall be paid to the City by all applicants for any permit Installation of compressed gas systems, gasoline tanks, oil tanks, diesel tanks and dispensing pumps or refueling station:		
<2500L	\$102.00	\$104.00
>2500L-<5000L	\$255.00	\$260.00
>5000L	\$357.00	\$364.00
Underground Tank		
<2500L	\$102.00	\$104.00
>2500L-<5000L	\$255.00	\$260.00
>5000L	\$357.00	\$364.00
Each dispensing pump	\$51.00	\$52.00
Tank removal or decommission*	\$153.00	\$156.00
* all installation and removal are subject to an environmental assessment to accompany application		
Inspection and installation of domestic and commercial oil burners:		
each domestic installation	\$16.00	\$16.25
each commercial installation	\$26.75	\$27.25
Permits		
Public Fireworks Display permit		
Low Hazard	\$51.00	\$52.00
High Hazard	\$255.00	\$260.00
Burning Permit as allowed by bylaw	\$51.00	\$52.00
Permanent Outdoor Fireplace	\$51.00	\$52.00
Emergency Assist Calls		
Charge for responding to Jaws of Life	as per Provincial Emergency Program Fee Schedule	as per Provincial Emergency Program Fee Schedule
Ambulance Assist	as per Provincial Emergency Program Fee Schedule	as per Provincial Emergency Program Fee Schedule
Public Service	Actual Cost	Actual Cost
False Alarms	1st - n/c 2nd - \$200 3rd - \$300 4th+ \$400	1st - n/c 2nd - \$225 3rd - \$325 4th+ \$425
Other Fees		
File Search for Building Deficiencies/Incident Reports/Investigations	\$165.00	\$170.00
Fire Investigation (for Fire Damage greater than \$5,000.00)	\$500.00	\$510.00
Requested on-site inspection/consultation for commercial purposes	Actual Cost	Actual Cost
Fire Extinguisher Training (per person)	\$5.00	\$5.00
Failure to keep fire under control and Fire Dept must attend pursuant to Fire and Life Safety Bylaw 2004-57 Section 9.04(g) as amended or superceded	Rates are based on the Office of the Fire Commissioner inter agency reimbursement rates as it changes from time to time	Rates are based on the Office of the Fire Commissioner inter agency reimbursement rates as it changes from time to time
Drive over fire hose pursuant to Fire and Life Safety Bylaw 2004-57 Section 8.01 as amended or superceded	Actual cost to repair or replace damaged hose	Actual cost to repair or replace damaged hose
Flat rate per fill for both Self Contained Breathing Apparatus (SCBA) and Self Contained Underwater Breathing Apparatus (SCUBA)	\$10.00	\$10.00
Fire Flow Testing	Actual Cost	Actual Cost
Re-Inspection after Order	\$100.00	\$105.00
Fire Safety Plan Review - Initial	\$100.00	\$105.00
Fire Safety Plan Review - Subsequent	\$50.00	\$51.00

Appendix 9		
Fire Department	2020	2021
Training Centre Rental Rates		
Classroom (projector/screen/TV/sound/flipcharts) / day	\$118	\$120
Live Fire Burn Building / day	\$531	\$535
Search Building / day	\$118	\$120
Engine / day	\$236	\$240
Full Facility - one day (including Engine)	\$826	\$840
Full Facility - two days (including Engine)	\$1,652	\$1,680
Instructor	\$354	\$360
Safety Officer	\$300	\$305
Technician (Rehab/Fire Control/Pump Operator)	\$300	\$305
Consumables (artificial smoke, generator, pallets, propane)	Actual Cost	Actual Cost
SCBA Rental per pack/per day	\$25	\$30
Natural Gas/Fuels	Actual Cost	Actual Cost
Student User Fee (Consumable Supplies) / day / student	\$6	\$6
Bunker Gear Rental (per set per day)	\$25	\$26
Fog Machine / per day	\$50	\$52
Mobile Vending Permit (Annual)**	\$50	\$52
Failure of Property Owner or Agent to attend Emergency Incident Scene	\$300	\$305
Fire Department control of life safety system until Owner or Agent takes responsibility	Actual Cost	Actual Cost
Fire Smart Burning Permit	No Charge	No Charge
Fire Smart Home Assessment	\$100	\$105

Appendix 11		
GARBAGE RATES	2020	2021
The scale of charges by The Corporation of the City of Penticton for the collection, removal and disposal of solid waste and recyclable materials as provided for in the City of Penticton Garbage "Solid Waste Collection and Recyclable Materials Disposal Bylaw", shall be as follows and will be billed by the City as current taxes on the property for which the premises were served by solid waste and recycling collection.		
Annual Fee - Solid Waste Collection Includes one (1) 120L Garbage Cart and one (1) 240L Yard Waste Cart	\$144.00	\$146.00
Annual Fee - Recycling Collection - Bi-Weekly Includes one (1) 240L Recyclable Cart	\$32.00	\$33.00
Annual Fee - Multi-Family Weekly Recycling Collection (per unit, per year)	\$64.00	\$66.00
Administration Fee for Sewer and Garbage Extension - for first unit	\$15.75	\$16.00
- Each Additional Unit in same complex	\$5.00	\$5.25
Tag a Bag - Additional Curb Side Collection bag - price per tag	\$3.50	\$3.75
25 Tag a Bag Coupons	\$62.50	\$65.00
Application for Curb Side Collection from a Multi-Family Dwelling	\$81.50	\$83.00
Application fee for Multi-Family Residential Weekly Recycle Collection	\$81.50	\$83.00
Base Cart Program Base Cart Program includes: one (1) 120 Litre Garbage Cart, one (1) 240 Litre Recyclables Cart, and one (1) 240 Litre Yard Waste Cart		
Cart Change Administration Fee Per property visit, any quantity of carts (Commences January 1, 2017)	\$30.50	\$31.00
Disability Exemption Application	No charge	No charge
Garbage Cart - upgrade to two (2) 120L Carts In addition to the Annual Fee - Solid Waste Collection	\$122.00	\$124.00
Garbage Cart - upgrade to a 240L Cart In addition to the Annual Fee - Solid Waste Collection	\$122.00	\$124.00
Recyclables Cart - upgrade to a 360L Cart	No charge, part of Annual Fee	No charge, part of Annual Fee
Recyclables Cart - upgrade to two (2) 240L Carts	No charge, part of Annual Fee	No charge, part of Annual Fee
Recyclables Cart - upgrade to two (2) 360L Carts	No charge, part of Annual Fee	No charge, part of Annual Fee
Recyclables Cart - downgrade to a 120L Cart	No charge, part of Annual Fee	No charge, part of Annual Fee
Yard Waste Cart - upgrade to 360L Cart In addition to the Annual Fee - Solid Waste Collection	\$35.00	\$35.50
Yard Waste Cart - upgrade to two (2) 240L Carts In addition to the Annual Fee - Solid Waste Collection (max 2 carts allowed)	\$70.00	\$71.00
Yard Waste Cart - upgrade to two (2) 360L Carts In addition to the Annual Fee - Solid Waste Collection (max 2 carts allowed)	\$70.00	\$71.00
Yard Waste Cart - downgrade to 120L Cart	No charge, part of Annual Fee	No charge, part of Annual Fee
Yard Waste Cart - opt out of Yard Waste Program	No charge, part of Annual Fee	No charge, part of Annual Fee
Wildlife Resistant Cart Upgrade - 120L Garbage Cart only (one time fee)	\$75.00/Cart	\$75.00/Cart
Repeated or willful damage to Carts will be charged to property owner	Actual Cost of replacement and Cart Change Administration Fee	Actual Cost of replacement and Cart Change Administration Fee
Screened Compost Sales		
Bulk / Wholesale - (greater than 5 tonnes)	\$12.50 / tonne	\$12.50 / tonne
Less than 5 tonnes	\$20.00 / tonne	\$20.00 / tonne
Individual Bags	\$2.50 / bag	\$2.50 / bag

Appendix 13		
INFORMATION TECHNOLOGY	2020	2021
Provision of Dark Fibre Services		
Dark Fibre - per fibre optic strand (per month)	343.25	350.00
Administration Fee	included	included
One Time Connection Fee	\$848.00	865.00
Physical Connection Costs	As quoted	As quoted
Co-location Services (per month)	\$159.00	162.00
Provision of Telephone and Internet Services		
High-end 8861 (Gigabit, Bluetooth, Wifi)	\$42.50	43.25
High-end 8851 (Gigabit, Bluetooth)	\$32.25	32.75
Mid-range 8841(Gigabit)	\$27.00	27.50
Low-end greyscale 8811 (Gigabit)	\$15.50	15.75
Wireless portable phone Model 8821 (Bluetooth)	\$48.00	49.00
Conference phone Model 8832	\$42.50	43.25
D-A Convertor Allows for analog devices on City digital phone network Model ATA 190 (fee per ATA device)	\$10.40	10.60
Extra DID external phone number added to existing hardware	\$5.20	5.30
Internet	\$42.50	43.25
Wireless Internet Services add-on (where available)	\$10.40	10.60
Connection/Configuration Charge	\$106.00	108.00
Electronic Data Fees		
GIS Electronic Data	share data free of charge	share data free of charge

Appendix 14		
LIQUOR LICENCES	2020	2021
A non-refundable application review for Local Government confirmation for Receipt Application or Zoning Confirmation. (credited towards end of Liquor Licence Review Fee)	\$180.00	\$185.00
New Food Primary review or Occupant load reviews	\$180.00	\$185.00
New Liquor Primary Licence (Public Consultation)	\$700.00 + public notice sign	\$720.00 + public notice sign
Permanent Change including change in hours, occupant load, addition of a winery, brewery or distillery lounge or special event area.	\$700.00 + public notice sign	\$720.00 + public notice sign
Structural Change - with public consultation	\$700.00 + public notice sign	\$720.00 + public notice sign
Structural Change - no public consultation	\$360.00	\$370.00
Structural Change - Zoning confirmation including Picnic Area Endorsement	\$180.00	\$185.00
Temporary Change or Request to extend hours for a Special Event Permit	\$180.00	\$185.00
Appeal to Council of a Staff Decision on a Liquor Application Review	\$360.00	\$370.00
Public Notice Signs		
Initial Public Consultation Notice Sign	\$250 (plus GST)	\$255 (plus GST)
Repair of Damaged Signs	\$80 (plus GST)	\$85 (plus GST)
Replacement of damaged signs	\$80 (plus GST)	\$85 (plus GST)

Appendix 15		
MARINAS	2020	2021
Penticton Marina (Okanagan Lake)		
Moorage Fees – January 1 st to December 31 st	Moorage fees, land storage, and parking fee increases as per lease agreement	Moorage fees, land storage, and parking fee increases as per lease agreement
Skaha Lake Marina		
Moorage Fees	Moorage and land storage fees to be determined by the operator based on market value	Moorage and land storage fees to be determined by the operator based on market value
<p>DEFINITIONS:</p> <p>A. Moorage season – March 1 to November 30 inclusive (9 months)</p> <p>B. Storage season – October 1 to March 31 inclusive (6 months)</p> <p>C. Penticton residents and taxpayers acquire moorage on a first come first served basis until May 1st annually, after which any available moorage may be rented to non-resident or non-taxpayer.</p> <p>Overnight Parking</p> <p>A window permit is issued to those user groups requiring an RV on site for special event security – pending approval by the PRC Director or designate. Permit is issued through the RCMP.</p>		
RV Overnight Parking Permit	\$29.68	\$30.25

Appendix 16

Meeting Rooms/Activity Spaces Hourly Rate	Effective April 1, 2020	Effective April 1, 2021
Community Centre/McLaren Arena Meeting Room Non Profit/Local/ Regular		
Child/Youth	\$12.00	\$12.62
Adult	\$12.00	\$12.62
Non School District 67 Schools*	\$9.00	\$9.47
Local Private	\$15.25	\$15.97
Local Commercial	\$26.75	\$27.94
Non-Resident	\$38.25	\$39.92
Community Centre Large Meeting Room Note: Meeting Room #4, Meeting Room #7, and Combined #2 & #3 Rate is 1.75X Meeting Room Rate Non Profit/Local/ Regular		
Child/Youth	\$21.00	\$21.42
Adult	\$21.00	\$21.42
Non School District 67 Schools*	\$15.75	\$16.07
Local Private	\$27.00	\$27.54
Local Commercial	\$46.75	\$47.69
Non-Resident	\$67.00	\$68.34
Community Centre Conference Room Note: Conference Room Rate is 75% X Meeting Room Rate Non Profit/Local/ Regular		
Child/Youth	\$9.00	\$9.18
Adult	\$9.00	\$9.18
Non School District 67 Schools*	\$6.75	\$6.89
Local Private	\$11.50	\$11.73
Local Commercial	\$20.00	\$20.40
Non-Resident	\$28.75	\$29.33
Library/Museum Auditorium Non Profit/Local/ Regular		
Child/Youth	\$18.75	\$19.13
Adult	\$26.25	\$26.78
Non School District 67 Schools*	\$14.00	\$14.28
Local Private	\$30.50	\$31.11
Local Commercial	\$54.25	\$55.34
Non-Resident	\$77.50	\$79.05
Activity Spaces Community Centre Dance Studio Non Profit/Local/ Regular		
Child/Youth	\$21.00	\$21.42
Adult	\$21.00	\$21.42
Non School District 67 Schools*	\$15.75	\$16.07
Local Private	\$26.75	\$27.29

Appendix 16

Meeting Rooms/Activity Spaces Hourly Rate	Effective April 1, 2020	Effective April 1, 2021
Local Commercial	\$46.75	\$47.69
Non-Resident	\$66.75	\$68.09
Community Centre Gymnasium Non Profit/Local/ Regular		
Child/Youth	\$18.25	\$18.62
Adult	\$38.25	\$39.02
Non School District 67 Schools*	\$13.75	\$14.03
Local Private	\$51.00	\$52.02
Local Commercial	\$89.00	\$90.78
Non-Resident	\$127.50	\$130.05
Community Centre 1/2 Gymnasium Note: 1/2 Gymnasium Rate 66.7% X Gymnasium Rate Non Profit/Local/ Regular		
Child/Youth	\$12.25	\$12.50
Adult	\$25.50	\$26.01
Non School District 67 Schools*	\$9.25	\$9.44
Local Private	\$34.00	\$34.68
Local Commercial	\$59.50	\$60.69
Non-Resident	\$85.00	\$86.70
<p>Non School District 67 Schools* are defined as grade schools (K-12) located within City of Penticton boundaries and Penticton Indian Band lands.</p> <p>The Non School District 67 Schools rates are applicable during school hours.</p> <p>NOTE: For all after hours bookings a security premium will be added to the base rate at actual cost</p>		

Appendix 17		
MUSEUM	2020	2021
Museum Exhibits		
Entrance Fee	By Donation-suggested donations: Adult: \$2.00 Child:\$1:00	By Donation-suggested donations: Adult: \$2.00 Child:\$1:00
Exhibit Openings	By Donation-suggested donations: Adult: \$2.00 Child:\$1:00	By Donation-suggested donations: Adult: \$2.00 Child:\$1:00
Museum Programs		
School & group visits (guided)		
Public & Private schools - per student	\$3.00	\$3.00
- maximum per group	\$25.00	\$25.00
Service Groups, Clubs & Societies - per person	\$3.00	\$3.00
- maximum per group	\$50.00	\$50.00
School & group visits (self-guided) - per student	\$1.00	\$1.00
- per adult	\$3.00	\$3.00
Curator Kid Program		
Curator Kid Yearly Membership - individuals	\$20.00	\$20.00
- per family	\$50.00	\$50.00
Curator Kid Programs - drop-in; non-members - per child	\$5.00	\$5.00
- per family	\$20.00	\$20.00
Curator Kid Programs - offsite	Cost dependent on activities	Cost dependent on activities
Curator Kid Programs - summer specials - per child	\$5.00	\$5.00
- per family	\$20.00	\$20.00
Adult Programs		
Onsite - Museum	\$25/per person + supplies	\$25/per person + supplies
	\$25 min; activity dependent	\$25 min; activity dependent
Lectures		
Brown Bag - per person	admission by donation	admission by donation
Custom Guest	Cost dependent on lecture	Cost dependent on lecture
Archives		
Self-guided research	By donation-suggested min. \$10/ph	By donation-suggested min. \$10/ph
Staff-assisted research		
Non-commercial clients - first hour	Free	Free
- each additional hour	\$30.00	\$30.00
Commercial clients (first hour)	\$50.00	\$50.00
(every additional 60 minutes) - per hour	\$30.00	\$30.00
Photograph Reproductions (Print format)		
From existing digital file (up to 8x10 only)	\$16.00	\$17.00
Outsource (paper type and size dependent)	Actual Cost	Actual Cost
Outsource (paper type and size dependent)	Actual Cost	Actual Cost
Photographic reproductions (digital format only - 1200 dpi jpg)		
By email	\$18.00	\$20.00
Non-photographic reproductions (maps, plans, manuscripts)		
From existing digital file - In House (up to 32" only)	\$16.00	\$16.00
Outsource (paper type and size dependent)	Actual Cost	Actual Cost
Outsource (paper type and size dependent)	Actual Cost	Actual Cost
Publication & Commercial Fees (supplement)		
Fee for print, negative or digital copies for : Reports, calendars, brochures, magazines, newsletter, websites - per image	\$20.00	\$20.00
Fee for Print, negative or digital copies for : Books, films, videos - per image	\$50.00	\$50.00

Appendix 17		
MUSEUM	2020	2021
Fee for Print, negative or digital copies for : Postcards, T-shirts, mugs etc. merchandise - per image	\$50.00	\$50.00
Photocopy Fees (black and white only)	see Administration services for fee	see Administration services for fee
Archival Supplies (boxes, tissue, encapsulation etc.)	Retail price plus 35%	Retail price plus 35%
Gift shop		
Books & other Publications	Retail suggested price; minimum 35% markup	Retail suggested price; minimum 35% markup
Souvenirs & crafts	Wholesale price plus 35%	Wholesale price plus 35%
Photographic posters & postcard books	Style and format dependent	Style and format dependent
Museum Curatorial Services & Presentations		
On-site consultation	By donation-suggested min. \$35/ph	By donation-suggested min. \$35/ph
Off-site consultation	By donation-(suggested \$35/ph plus travel)	By donation-(suggested \$35/ph plus travel)

Appendix 18		
PARKING	2020	2021
Off Street Scramble Parking permit (unassigned stall lots) per month	\$50.00	\$50.00
Off Street Reserved Parking Permit - monthly rate	\$60.00	\$60.00
Meters Bagged, No Parking or Reserved Parking - first day*	\$11.00	\$11.00
- each day thereafter*	\$11.00	\$11.00
Off-Street Parking Rental - first day	\$50.00	\$50.00
- each day thereafter	\$50.00	\$50.00
Sidewalk closure and parking meter rental permit*	\$11.00	\$11.00
- administration fee per application	\$25.00	\$25.00
*2020 Fees waived March 25, 2020 to December 31, 2020		
Resident Only Parking Areas		
Resident Parking Only Application - non refundable deposit	\$175.00	\$175.00
Resident Parking Only Sign and Each Timed Parking Sign	\$90.00	\$90.00
Resident Parking Only Permit	\$15.00	\$0.00
Replacement Parking Only Permit	\$15.00	\$0.00
Parking Meters		
For each twelve (12) minutes (2019: for each 6 minutes)*	\$0.25	Remove
For two (2) hours up to the maximum time on the meter*	\$2.50	Remove
For one (1) hour		\$2.00
*2020 Fees waived March 25, 2020 to December 31, 2020		
Ticket Spitters		
Martin Street Extension Lot, 200, 300, 400 Blocks of Main Street parking Lots (first one (1) hour free and for each twelve (12) minutes thereafter (2019: for each 30 minutes thereafter)	\$0.25	Remove
For all other ticket spitters, for each twelve (12) minutes up to the maximum time on ticket (2019: for each 30 minutes)	\$0.25	Remove
For one (1) hour		\$2.00
Daily maximum rate (excluding Downtown)		\$10.00
Boat Trailer Parking (South Main & Skaha Parking Lot)		

Appendix 18		
PARKING	2020	2021
Half Day Permit (up to 5 hours)	\$5.00	\$5.00
Full Day Permit (5 or more hours)	\$10.00	\$10.00
Annual Permit for Residents of Penticton	\$70.00	\$70.00
Annual Permit for Non-Residents	\$105.00	\$105.00
Parking Violations		
Towing and Impound Charges (made payable to the "Contractor" as designed in the Municipal Towing Contract)	As set under: Motor Vehicle Act Regulations, or ICBC Payment Schedule	As set under: Motor Vehicle Act Regulations, or ICBC Payment Schedule
Administration Fee: collected by the "Contractor" payable to the City of Penticton	\$50.00	\$50.00
Storage of Materials or Impounding per 30 days	\$50.00	\$50.00
Permit Parking Sign Installation Fees		
Supply of Placard (each)	\$2.00	\$2.00
Supply of sign post (each)	\$20.00	\$20.00
Supply of sign post sleeve (each)	\$10.00	\$10.00
Supply of Residential Parking Only or Special Event Parking Only sign (each)	\$10.50	\$10.50
Labour to erect a sign and post (each)	\$21.00	\$21.00
Labour to erect and remove a sign from existing infrastructure (each)	\$7.00	\$7.00
<p>Note: i) In all instances Public Works Staff will endeavor to erect permit Parking Signs on existing sign posts; ii) In instances where Special Event Permit Parking signs are being erected in areas where it is likely that multiple or re-occurring Special Events will occur there will be no charge for the sign, or post of sleeve. The only charge will be for the labor to erect and remove the sign.</p>		

Appendix 19		
Parks & Sports Fields Hourly Rate per Field	Effective April 1, 2020	Effective April 1, 2021
Sports Fields Note: Phased in rates 2010-2012 Non Profit/Local		
Child/Youth	\$3.90	\$3.98
Adult	\$11.68	\$11.91
Non School District 67 Schools*	\$2.92	\$2.98
Local Private	\$15.58	\$15.89
Local Commercial	\$27.26	\$27.80
Non-Resident	\$38.93	\$39.71
Kings Park Non Profit/Local		
Child/Youth	\$5.11	\$5.21
Adult	\$13.11	\$13.37
Non School District 67 Schools*	\$3.83	\$3.91
Local Private	\$19.68	\$20.08
Local Commercial	\$34.45	\$35.14
Non-Resident	\$49.22	\$50.21
Major Event Park Non Profit/Local		
Child/Youth	\$6.24	\$6.36
Adult	\$18.69	\$19.07
Non School District 67 Schools*	\$4.68	\$4.77
Local Private	\$24.93	\$25.43
Local Commercial	\$43.61	\$44.48
Non-Resident	\$62.31	\$63.56
Major Event Park (duplicate event - non prime - Before May 1 and After Sept 30) Non Profit/Local		
Child/Youth	\$4.99	\$5.09
Adult	\$14.95	\$15.25
Non School District 67 Schools*	\$3.74	\$3.82
Local Private	\$19.94	\$20.34
Local Commercial	\$34.89	\$35.59
Non-Resident	\$49.85	\$50.85
Major Event Parks: Okanagan Lake Park, Gyro Park/Bandshell, Rotary Park, Skaha		
Minor Event Park Non Profit/Local		
Child/Youth	\$5.55	\$5.66
Adult	\$16.65	\$16.98
Non School District 67 Schools*	\$4.17	\$4.25
Local Private	\$22.19	\$22.64
Local Commercial	\$38.84	\$39.62
Non-Resident	\$55.49	\$56.60
*Major event users	\$23.44	\$23.91
Minor Event Park (additional/second event - non prime - Before May 1 and After Sept 30) Non Profit/Local		
Child/Youth	\$4.44	\$4.53
Adult	\$13.32	\$13.59
Non School District 67 Schools*	\$3.33	\$3.40
Local Private	\$17.75	\$18.11
Local Commercial	\$31.07	\$31.69

Appendix 19		
Parks & Sports Fields Hourly Rate per Field	Effective April 1, 2020	Effective April 1, 2021
Non-Resident	\$44.39	\$45.28
*Major event users	\$18.75	\$19.13
Minor Event Parks: Penticton Youth Park, Lakawanna, Gyro South Lawn, Rose Garden and Marina Way		
Wedding Ceremony Rate - Minimum 4 hour booking (additional hours subject to hourly park rates)	\$229.74	\$234.33
Passive Parks and Play Courts		
Passive Parks		
Non Profit/Local		
Child/Youth	\$3.38	\$3.45
Adult	\$10.14	\$10.34
Non School District 67 Schools*	\$2.53	\$2.58
Local Private	\$13.49	\$13.76
Local Commercial	\$23.61	\$24.08
Non-Resident	\$33.74	\$34.42
Admin Rate User	\$9.22	\$9.40
Passive Parks (additional/second event - non prime - Before May 1 and After Sept 30)		
Non Profit/Local		
Child/Youth	\$2.70	\$2.76
Adult	\$8.11	\$8.27
Non School District 67 Schools*	\$2.03	\$2.07
Local Private	\$10.79	\$11.01
Local Commercial	\$18.88	\$19.26
Non-Resident	\$26.99	\$27.53
Admin Rate User	\$7.38	\$7.52
Passive Parks: Neighbourhood parks, Parking lots, Riverside and Beaches		
Play Courts		
Non Profit/Local		
Child/Youth	\$1.77	\$1.80
Adult	\$5.30	\$5.41
Non School District 67 Schools*	\$1.32	\$1.35
Local Private	\$12.34	\$12.59
Local Commercial	\$14.12	\$14.40
Non-Resident	\$17.64	\$18.00
Penticton Pickleball Society seasonal court usage (per player)	\$14.54	\$14.83
Play Courts (additional/second event - non prime - Before May 1 and After Sept 30)		
Non Profit/Local		
Child/Youth	\$1.41	\$1.44
Adult	\$4.24	\$4.32
Non School District 67 Schools*	\$1.06	\$1.08
Local Private	\$9.87	\$10.07
Local Commercial	\$11.30	\$11.52
Non-Resident	\$14.11	\$14.40
Non School District 67 Schools* are defined as grade schools (K-12) located within City of Penticton boundaries and Penticton Indian Band lands. The Non School District 67 Schools rates are applicable during school hours.		

Appendix 19		
Parks & Sports Fields Hourly Rate per Field	Effective April 1, 2020	Effective April 1, 2021
Parking Space Rental (per parking space/per day)	\$5.74	\$5.86
Specialty Vehicle Event Parking Permits (minimum 50 permits); per vehicle; per day	\$2.08	\$2.12
Misc. Park Fees		
Garbage Removal	Actual Cost	Actual Cost
Beach Cleaning Services - Regular Working Hours - Min 4 Hour Charge (incl. admin fees)	\$1,025.00	\$1,050.00
Beach Cleaning Services - Regular Working Hours - Hourly Rate After 4 Hours (incl. admin fees)	\$258.00	\$265.00
Beach Cleaning Services - Outside Regular Working Hours - Min 4 Hour Charge (incl. admin fees)	\$1,450.00	\$1,475.00
Beach Cleaning Services - Outside Regular Working Hours - Hourly Rate After 4 Hours (incl. admin fees)	\$365.00	\$370.00
Double Cut and Tournament Preparation for Sports Fields on Weekends	Actual Cost	Actual Cost
Field Mowing - Regular Time - Soccer / Field	\$85.00	\$87.00
Field Mowing - Over Time - Soccer / 2 Fields - First 2 Fields	\$255.00	\$260.00
Field Mowing - Over Time - Soccer / Additional Field	\$125.00	\$127.00
Field Lining - Regular Time - Soccer / First Field	\$210.00	\$215.00
Field Lining - Regular Time - Soccer / Additional Field	\$160.00	\$165.00
Field Lining - Over Time - Soccer / First Field	\$295.00	\$300.00
Field Lining - Over Time - Soccer / Additional Field	\$200.00	\$205.00
Rates listed are per day		
Picnic Table (per table)	\$8.61	\$8.79
Picnic Table Delivery & Return (per table)	\$33.78	\$34.46
Garbage/Recycling Cans (per pair of 2)	\$8.61	\$8.78
Garbage Can/Recycling Delivery (per pair of 2)****	\$33.77	\$34.45
All other Parks Delivery, Connect, Disconnect, Return	\$506.76	\$516.90
Note: Additional washroom cleaning charges are applied (when required for an event) as set by contracted cleaning company.		
Rates listed are per day		
Three - Five Tiered Bleacher Rental		
Non Profit/Local	\$11.00	\$11.22
Local Private/ Commercial	\$25.00	\$25.50
Moving and Set Up One Time Fee	\$200.00	\$204.00
Rates listed are per day		
Ten Tiered Bleacher Rental		
Non Profit/Local	\$25.00	\$25.50
Local Private/ Commercial	\$55.00	\$56.10
Moving and Set Up One Time Fee	\$420.00	\$428.40
*Moving and set up costs are in addition to rental fees. A damage deposit may be required.		
Mobile Stage (Rates listed are per day)		
Non Profit/Local	\$160.00	\$163.20
Local Private/ Commercial	\$340.00	\$346.80
Moving and Set Up One Time Fee	\$205.00	\$209.10
Mobile Stage with Awning (Rates listed are per day)		
Non Profit/Local	\$185.00	\$188.70
Local Private/ Commercial	\$430.00	\$438.60

Appendix 19		
Parks & Sports Fields Hourly Rate per Field	Effective April 1, 2020	Effective April 1, 2021
Moving and Set Up One Time Fee	\$1,130.00	\$1,152.60
<p>**Mobile stage daily rates to be calculated annually as part of the City Fleet and approved by Council. Moving and set up costs are in addition to rental fees. Actual Costs of labour and equipment to be added. Prior to confirmation of the booking, users will receive a quote for the estimated moving charges. Users may receive permission to move on their own. A damage deposit may be required.</p>		
Delivery/Removal 1-10 Barricades/Signs*** (one-time fee)	\$95.00	\$96.90
Delivery/Removal 11-20 Barricades/Signs*** (one-time fee)	\$140.00	\$142.80
Delivery/Removal 21-40 Barricades/Signs*** (one-time fee)	\$185.00	\$188.70
Delivery/Removal 40+ Barricades/Signs*** (one-time fee)	Actual Cost	Actual Cost
Delivery/Removal Garbage Cans & Bags**** (one-time fee)	\$33.78	\$34.46
<p>***No charge if paying for delivery/removal of picnic table or bleachers ****No charge if paying for delivery/removal of picnic tables or bleachers Park Donation Program</p>		
Park Bench Donation - New Bench - 15 year - Council Policy 1037 - December 17, 2012 as amended from time to time.	\$2,570.00	\$2,600.00
Park Bench Donation - Refurbished Bench - 10 year renewal - Council Policy 1037 - December 17, 2012 as amended from time to time.	50% of current donation	50% of current donation
Picnic Table Donation - New Table - 15 year - Council Policy 1037 - December 17, 2012 as amended from time to time.	\$3,060.00	\$3,100.00
Picnic Table Donation - Refurbished Table - 10 year renewal - Council Policy 1037 - December 17, 2012 as amended from time to time.	50% of current donation	50% of current donation
Plaque Addition or Replacement	\$415.00	\$425.00
Tree Donation	\$415.00	\$425.00
Bike Rack - New Rack - 15 year - Council Policy 1037 - December 17, 2012 as amended from time to time.	\$1,040.00	\$1,060.00
Bike Rack - Refurbished Rack - 10 year renewal - Council Policy 1037 - December 17, 2012 as amended from time to time.	50% of current donation	50% of current donation
Pet Stand - New Pet Stand - 5 year - Council Policy 1037 - December 17, 2012 as amended from time to time.	\$315.00	\$325.00
Hanging Basket Sponsor - 1 season - location determined by City	\$250.00	\$255.00
Park Stewardship - contribution towards favorite park, trail or beach	\$200.00	\$205.00
Floral Display Sponsor - 1 season - Sponsor one of the City's garden displays	\$2,500.00	\$2,550.00
Park Improvement Projects - Platinum Sponsor	\$10,000.00	\$10,000.00
Park Improvement Projects - Gold Sponsor	\$2,500.00	\$2,500.00
Park Improvement Projects - Silver Sponsor	\$500.00	\$500.00
Electrical Fees		
Gyro Park - seasonal per 50 amp receptical	\$324.73	\$331.22
Gyro Park - seasonal per 15 amp receptical	\$162.36	\$165.61
Gyro Park - Saturday market only (seasonal) per receptical	\$110.37	\$112.57
Nanaimo Square - Saturday market only (season) per receptical	\$55.18	\$56.29

Appendix 20		
PLANNING AND DEVELOPMENT	2020	2021
Subdivision and Development Costs		
Every person who obtains:		
a) approval of the subdivision of a parcel of land under the "Land Registry Act" or the "Strata Titles Act" for any purpose other than the creation of three (3) or less lots to provide sites for a total of three (3) or less self-contained dwelling units; or		
b) a Building Permit authorizing the construction or alteration of buildings or structures for any purpose other than the construction of three (3) or less self-contained dwelling units; or		
c) a building Permit authorizing construction, alteration or extension of a building or structure, other than a building or portion of it used for residential purposes, where the value of the work exceeds Twenty-five Thousand Dollars (25,000);		
Shall:		
1) prior to commencement of the construction or installation of any works or services required under the Subdivision and Development Bylaw 2004-81, the owner shall pay to the City an administration fee of 3% of all works and services to be provided;		
2) prior to commencement of the construction or installation of any works or services required under the Subdivision and Development Bylaw 2004-81, as amended from time to time, the owner shall pay to the City a Rectification and Repair Contingency fee of 2% of the estimated cost of construction. This fee shall be used to repair or replace existing City infrastructure that has been altered or damaged by activity related to the installation of the works and services for the development. The remainder of the fee will be returned to the owner upon issuance of the Total Performance Certificate.		
OCP Amendments		
OCP Amendments	\$2,000.00	\$2,200.00
OCP Amendments (where in conjunction with a Rezoning Application)	\$1,300.00	\$1,430.00
OCP Amendment in conjunction with Public Engagement	New Fee	\$5,500.00
Rezoning		
All other stand alone Rezoning applications.	\$1,750.00	\$1,925.00
Zoning Bylaw Text Amendments	\$1,250.00	\$1,375.00
Comprehensive Development Zone	\$5,000.00	\$5,500.00
Public Notice Signs (OCP and Zoning Amendments)		
Initial OCP or Zoning Bylaw Sign	\$250.00	\$275.00
Repair of Damaged Signs	\$250.00	\$275.00
Replacement of damaged signs	\$250.00	\$275.00
Additional Public Hearing Fee	\$250.00	\$550.00
Development Permit Application per lot		
Major Development Permit (Council Decision)	\$1,200.00	\$1,320.00
Minor Development Permit (Staff issuable)	\$700.00	\$770.00
Major Amendments to Development Permits (Council Decision)	\$600.00	\$660.00
Minor Amendments to Development Permits (Staff issuable)	\$350.00	\$385.00
Appeal to Council of a Staff Decision on a Development Permit	\$700.00	\$770.00
Hillside Development Permit	New Fee	\$1,320.00
Riparian / Environmental Assessment Development Permit	\$600.00	\$660.00
Development Variance Permit Application or Board of Variance Application		
Major Variance (3+ Variances per development)	\$1,200.00	\$1,320.00
Major Variance (3+ Variances per development) if in conjunction with a Development Permit Application	\$700.00	\$770.00

Appendix 20		
PLANNING AND DEVELOPMENT	2020	2021
Minor Variance (1 or 2 Variances per development)	\$700.00	\$770.00
Minor Variance (1 or 2 Variances per development) if in conjunction with a Development Permit Application	\$500.00	\$550.00
Note: No additional fee is required for a Variance where it is issued under Section 490 (1)(a) of the <i>Local Government Act</i> .		
Board of Variance	\$500.00	\$550.00
Temporary Use Permit		
Temporary Use Permit	\$800.00	\$880.00
Temporary Use Permit Renewal	\$400.00	\$440.00
Cannabis Retail Store		
Application for local government support or relocation of a Cannabis Retail Store	\$2,500.00	\$2,750.00
Subdivision (Fee Simple & Bareland Strata) Preliminary Layout Approval Review		
1-2 Lots	\$1,000.00	\$1,100.00
3-10 Lots	\$1000.00 + \$300.00 per lot in excess of 2 lots	\$1100.00 + \$330.00 per lot in excess of 2 lots
11-20 Lots	\$3,000.00 + \$220.00 per lot in excess of 10 lots	\$3,300.00 + \$240.00 per lot in excess of 10 lots
21-30 Lots	\$5,000.00 + \$200.00 per lot in excess of 20 lots	\$5,700.00 + \$220.00 per lot in excess of 20 lots
31-40 Lots	\$7,000.00 + \$180.00 per lot in excess of 30 lots	\$7,900.00 + \$200.00 per lot in excess of 30 lots
41 Lots or Greater	\$8,800.00 + \$110.00 per lot in excess of 40 lots	\$9,900.00 + \$120.00 per lot in excess of 40 lots
Preliminary Layout Approval (PLA) Renewal or Amendment	\$220.00	\$240.00
Legal Plan Approval Fee	Removed	\$60.00
Early Registration Agreement (Applicable to Fee Simple Subdivisions)	\$800.00	\$875.00
Latecomer Agreement (Applicable to any excess or extended services as a result of Subdivision or Building)	\$750.00	\$825.00
Strata Conversion		
First lot	\$500.00	\$550.00
Each Additional Lot	\$500 + \$150 per strata lot to a max. of \$2,000.	\$500 + \$150 per strata lot to a max. of \$2,000.
Report Inspection Fees	\$250.00	\$275.00
Third Party Review of Professional Reports submitted with an Application	Actual Cost	Actual Cost
Phased Strata		
Phasing Approval Fee	\$600.00	\$660.00
Form P Approval	\$100.00	\$110.00
Preliminary Layout Approval (PLA) Renewal or Amendment	\$450.00	\$240.00
ALR		

Appendix 20		
PLANNING AND DEVELOPMENT	2020	2021
ALR Exclusion/Inclusion/Subdivision/Non Farm Use	As established by the Agricultural Land Commission	As established by the Agricultural Land Commission
Other Administrative Fees		
Boulevard Trees - Planted within a soft scape environment such as a park or turf boulevard. All trees planted within a hardscape boulevard such as a sidewalk or other hard surface shall be charged at estimated actual cost.	\$472.50	\$480.00
Ministry of Environment-Site Profile Referral	\$100.00	\$100.00
Address Number Change Request (owner initiated)	\$150.00	\$153.00
Road Name Change Fee (owner initiated)	\$500.00	\$510.00
Land Title Search (when not provided at time of application)	\$20.00	\$20.00
File Search or comfort letter initial fee for first hour	\$250.00	\$255.00
File search hourly rate (minimum 1/2 hour charge \$30)	\$60.00	\$61.00
Property File review request (new)	\$25.00	\$26.00
Developer initiated address change affecting other properties (fee charged per unit affected)	\$250.00	\$255.00
Landscape inspection fees		
First inspection	No charge	No charge
2nd inspection	\$75.00	\$76.00
Additional inspections	\$150.00	\$152.00
Map and Bylaw Rates		
Plotter Printing Fees for all documents over 11" X 17"/ per sq/m (A1 page = 0.5 sq/m)	\$12.00	\$13.00
Bylaws (OCP, Zoning, Subdivision and Development)/page (note: large bylaw maps shall be charges separately as above)	As outlined in Appendix 1 Administrative Rates	As outlined in Appendix 1 Administrative Rates
Land Administration Services		
Prepare document and register with Land Titles Office	\$1200 min or actual cost ¹	\$1225 min or actual cost ¹
Prepare amended document and register with LTO	\$840 min. or actual cost ¹	\$855 min. or actual cost ¹
Prepare discharge document and register with LTO	\$840 min. or actual cost ¹	\$855 min. or actual cost ¹
Prepare document (lease, licence, sub-licence) not registered with LTO	\$300.00	\$305.00
Amend or renew document (lease, licence, sub-licence)	\$150.00	\$153.00
Location Certificate (Licenced BC Land Surveyor prepared)	Actual Cost	Actual Cost
Use of City Owned Lands	Market Value	Market Value
Appraisals	Actual Cost	Actual Cost
To raise title on Park or Road for the purposes of Disposition	\$1200 min or actual cost ¹	\$1225 min or actual cost ¹
Road Closure Permit (excluding GST)	\$140.00	\$143.00
City Survey Costs	Actual Cost	Actual Cost
Removal of Section 57 Notice on Title	\$500.00	\$510.00
¹ Any additional city legal and/or survey costs which are required in the processing of any of the applications listed in this Application Fee Schedule will be borne by the applicant including but not limited to the preparation and registration of restrictive covenants, land use Contract Amendments, Statutory Rights-of-Way, Road Closure and Disposition, etc.		
Development Applications Refunds		
Development Cost Charges, DCC, Refund:		
Refunds for development cost charges are to be addressed as per City of Penticton Development Cost Charges Bylaw No. 2007-79 as amended or superceded.		
Density Bonus Refund:		

Appendix 20		
PLANNING AND DEVELOPMENT	2020	2021
<p>Density bonus paid as part of building permit issuance, construction beyond the footings not started, as determined by the Director of Development Services – Upon cancellation of the building permit or building permit application refund all density bonus paid less an administrative fee of \$250.</p>		
<p>Density bonus paid as part of building permit issuance, construction beyond the footings started as determined by the Director of Development Services – The person seeking a refund must make a submission for a refund in the prescribed form to the Director of Development Services or the designate who will prepare a report for Council’s consideration.</p>		
<p>Council will consider the matter and may by resolution:</p> <p>a. authorize the density bonus refund subject to conditions as; or</p> <p>b. refuse the request for a density bonus refund;</p> <p>c. refer the matter to staff or a future Council meeting; or</p> <p>d. such other determination as Council may direct.</p>		
As a requirement of any density bonus refund the development permit and/or building permits must be cancelled and the development permit must be discharged from the title of the land – all density bonus paid shall be refunded less an administration fee of:	\$250.00 and a discharge notice of fee of \$250.00	\$250.00 and a discharge notice of fee of \$250.00
<p>City infrastructure¹ requirements as part of Subdivision:</p> <p>Subdivision not approved and infrastructure not installed – Upon cancellation of the preliminary layout approval, refund infrastructure charges less an administrative fee of:</p>		
For Single Family, Duplex and smaller developments	\$470.00	\$517.00
For all other larger developments	\$990.00	\$1,089.00
Subdivision not approved and infrastructure installed	No Refund	No Refund
Subdivision approved	No Refund	No Refund
<p>City infrastructure¹ requirements as part of Zoning:</p> <p>Zoning Bylaw amendment not adopted and infrastructure not installed – Upon rescinding all readings of the Zoning Bylaw amendment refund infrastructure charges less an administrative fee of:</p>		
For Single Family, Duplex and smaller developments	\$470.00	\$517.00
For all other larger development	\$990.00	\$1,089.00
Zoning Bylaw amendment not adopted and infrastructure installed	No Refund	No Refund
Zoning Bylaw Amendment adopted	No Refund	No Refund
<p>Development Variance Permit Application Fee:</p>		
Cancellation of a development variance permit application not received at a Technical Planning Committee meeting	\$500.00	\$550.00
Cancellation of a development variance permit application, discussed at a Technical Planning Committee meeting but not scheduled for delegations and submissions at Council	\$250.00	\$275.00
Development variance permit application scheduled for Council consideration	No Refund	No Refund
<p>Development Permit Application Fee:</p>		
Cancellation of a development permit application not received at a Technical Planning Committee meeting	\$500.00	\$550.00
Cancellation of a development permit application discussed at a Technical Planning Committee meeting but not scheduled for Council consideration.	\$250.00	\$275.00
Development permit application considered by Council	No Refund	No Refund
<p>Rezoning Application Fee:</p>		

Appendix 20		
PLANNING AND DEVELOPMENT	2020	2021
Cancellation of a rezoning application not received at a Technical Planning Committee meeting	\$1000.00 + associated Public Hearing signage fees	\$1100.00 + associated Public Hearing signage fees
Cancellation of a rezoning application discussed at a Technical Planning Committee meeting but has not considered by Council	\$600.00 + associated Public Hearing signage fees	\$660.00 + associated Public Hearing signage fees
Rezoning application considered by Council	No Refund	No Refund
Official Community Plan, (OCP) Amendment Application Fee:		
Cancellation of an OCP amendment application not reviewed at a Technical Planning Committee meeting	\$1000.00 + associated Public Hearing signage fees	\$1100.00 + associated Public Hearing signage fees
Cancellation of an OCP amendment application received by the Technical Planning Committee but not considered by Council	\$600.00 + associated Public Hearing signage fees	\$660.00 + associated Public Hearing signage fees
OCP amendment application considered by Council	No Refund	No Refund
Subdivision Application Fee Refund		
Cancellation of a subdivision application that has not been received at a Technical Planning Committee meeting	75% of original application fee	75% of original application fee
Cancellation of a subdivision application received by the Technical Planning Committee but has not been issued preliminary layout approval (PLA)	50% of original application fee	50% of original application fee
Subdivision has been issued or refused Preliminary Layout Approval (PLA)	No Refund	No Refund
Landscaping Security Refund:		
In the case where a development has paid a landscape bond, but the development has not proceeded.	full refund minus a \$350.00 administration fee	full refund minus a \$350.00 administration fee
Agriculture Land Reserve (ALR) Application Fee:		
Cancellation of an ALR application that has not been forwarded to the Agricultural Land Commission (ALC)	As per the Agricultural Land Commission	As per the Agricultural Land Commission
Cancellation of an ALR application that has been forwarded to the Agricultural Land Commission	No Refund	No Refund
<p>Notes:</p> <p>1. City Infrastructure is defined as:</p> <p>a. Any items related to the City of Penticton water, sanitary, storm system including main line pipe, appurtenances, services etc.</p> <p>b. Any items related to roads, sidewalks, curb, gutter, signs etc.</p> <p>Sign Permit Fees:</p> <p>For the purpose of calculating the fee for a sign permit, the value of construction shall be the total contract price for the work, including all subcontractors, or the value of construction as determined by the Building Inspector on the basis of the plans, specifications and information available, whichever value shall be the greater.</p>		
for enlargement, conversion, alteration or relocation of a sign for which a permit has been issued	\$30.00	\$31.00
signs with a value of \$1,000 or less (per sign)	\$50.00	\$51.00
for each \$1,000 of part thereof, by which the value exceeds the sum of \$1,000 (per sign)	\$10.00	\$10.00
Variance to the Sign Bylaw	\$700.00	\$710.00
Where any sign has been erected without a permit having previously been obtained, the fee for obtaining such permit shall be double the amount of the regular permit fee	minimum \$100 fine	minimum \$100 fine

Appendix 22		
PUBLIC WORKS	2020	2021
Concrete Rates: Note: costs involving concrete will be estimated by the Engineering Department (with the exception being all flat rate fees for water, sewer and storm sewer for which concrete costs are included)		
Asphalt Rates: Note: costs involving asphalt will be estimated by the Engineering Department (with the exception being all flat rate fees for water, sewer and storm sewer for which concrete costs are included)		
Minimum Work Order Charge:		
The minimum charge for any work order shall be:	\$400.00	\$410.00

Appendix 24		
Recreation - Miscellaneous	Effective April 1, 2020	Effective April 1, 2021
Gymnasium Drop -In		
Single Visit	\$4.29	\$4.29
Family	\$11.43	\$11.43
Service Fees		
Membership Card Replacement	\$2.14	\$2.14
*Non-Profit Sport/Recreation Groups	\$2.38	\$2.38
*Non-Profit Theatre Tickets	\$2.38	\$2.38
*Commercial Theatre Tickets	\$2.86	\$2.86
* Subject to applicable taxes and card service (Visa/Master/Amex) fees for credit card use.		
Group Discounts	10% off drop-in admission rates for groups of 10 or more. 20% off drop-in admission rates for groups of 20 or more. Non School District 67 schools*: 50% off drop-in admission rates for groups of 30 or more.	10% off drop-in admission rates for groups of 10 or more. 20% off drop-in admission rates for groups of 20 or more. Non School District 67 schools*: 50% off drop-in admission rates for groups of 30 or more.
Recreation Program Fees		
Program fees set at a level sufficient at minimum to cover all instructor, expendable and consumable materials and extraordinary costs plus an additional 20%.		

Appendix 24		
Recreation - Miscellaneous	Effective April 1, 2020	Effective April 1, 2021
Storage Rental (Community Centre Gym)		
4x7x10 compartment (per month)	\$26.97	\$27.51
Misc. Storage Rentals/sq feet/month (minimum \$10/month)	\$0.65	\$0.66
Piano Rental		
The Licensee shall be responsible for and shall pay for the tuning of the Piano if required	Actual Cost	Actual Cost
Grand/Upright Piano (1/3 of a day)	\$12.37	\$12.62
Concert Steinway Piano		
Commercial - 1 day of First day	\$190.83	\$194.65
Commercial - Subsequent Days	\$95.40	\$97.31
Non-Profit 1 day or first day	\$95.40	\$97.31
Non-profit - Subsequent days	\$47.70	\$48.65
Specialty Items		
Community Centre Equipment Rentals	market value	market value
Community Centre Retail Merchandise	mark up at Retail Price to reflect 25%-50%	mark up at Retail Price to reflect 25%-50%
McLaren Arena Advertising		
Standard Rink Boards	\$499.00	\$510.00
On-site advertising/promotion per week (commercial)		
	\$50.00	\$51.00
<p>Non School District 67 Schools* are defined as grade schools (K-12) located within City of Penticton boundaries and Penticton Indian Band lands. The Non School District 67 Schools rates are applicable during school hours.</p>		

Appendix 28		
VENDING FEES	2020	2021
Park, Beach and Street Vending Fees		
One Year Permits (Victoria Day - Labour Day weekends) Price per 10'x10' spot annually (3 year terms available, rate adjusted annually by CPI)		
Beach and Park Vending Fee (annually) 10'*10' Okanagan Prime Plus	\$1,615.00	\$1,645.00
Beach and Park Vending Fee (annually) 10'*10' Okanagan Prime	\$1,460.00	\$1,485.00
Beach and Park Vending Fee (annually) 10'*10' Okanagan Secondary	\$1,380.00	\$1,405.00
Beach and Park Vending Fee (annually) 10'*10' Skaha Prime	\$1,380.00	\$1,405.00
Beach and Park Vending Fee (annually) 10'*10' Skaha Secondary	\$1,355.00	\$1,380.00
Sudbury Beach Shack	\$1,565.00	\$1,595.00
Street Vending Fees		
One Year Permit 6' x 12'	\$1,380.00	\$1,405.00
Motorized and Non-Motorized Mobile Vending (Victoria Day -		
Seasonal Motorized Mobile Vending Fee	\$1,960.00	\$1,995.00

Appendix 30		
Excessive Nuisance Abatement Fee	2020	2021
Administered through the Good Neighbour Bylaw		
RCMP Nuisance Service Call	\$200/Call	\$205/Call
City of Penticton Fire Department Nuisance Service Call	\$400/Call	\$410/Call
City of Penticton Staff Nuisance Service Call	\$200/Call	\$205/Call

Council Report

penticton.ca

Date: October 6, 2020 File No: 1700-05
To: Donny van Dyk, Chief Administrative Officer
From: Courtney Jones, Financial Analyst
Subject: **Bylaw Notice Enforcement Amendment Bylaw No. 2020-39**
Municipal Ticketing Information Amendment Bylaw No. 2020-40

Staff Recommendation

THAT Council give first, second, and third reading to "Bylaw Notice Enforcement Amendment Bylaw No. 2020-39", a bylaw to increase "A" Ticket overtime parking and "B" Ticket Infraction fines;

THAT Council give first, second, and third reading to "Municipal Ticketing Information Amendment Bylaw No. 2020-40".

Strategic priority objective

Mission: Penticton will serve its residents, businesses and visitors through good governance, partnership and the provision of effective and community focused services.

Community Safety: The City of Penticton will support a safe, secure and healthy community.

Background

Parking fines are an important component of ensuring compliance of the City's parking regulations and best practices require fines to be set at a level that will lead to compliance, without being overly punitive. Parking fines are authorized through two separate bylaws:

- Bylaw Notice Enforcement Bylaw No. 2012-5037 was established with the authority of the *Local Government Bylaw Notice Enforcement Act* to set fine amounts for contraventions of City bylaws. This bylaw allows for early payment, late payment and a cost effective adjudication system.
- Municipal Ticketing Information Bylaw No. 2012-5021 authorizes the use of Municipal Ticketing Information System as per the *Community Charter* and can have penalties for continuing offences for each day the offence continues.

The City has 2 parking related ticket categories:

- 1) "A" Ticket Overtime Parking which is for metered parking infractions;
- 2) "B" Ticket infractions for parking in residential areas without a permit, in yellow curb zones, and no parking zones, etc.

Financial implication

An increase of \$5 for both “A” and “B” ticket parking fines would increase collected revenue by approximately \$28k annually. The provisions of these bylaws will be effective January 1, 2021.

Analysis

In 2019, the City issued 7,345 parking related tickets with a revenue of approximately \$116k collected. In 2019, ticket issuance was approx. 66% for “A” tickets and approx. 34% of “B” tickets.

The City offers a discount incentive for early payment (within 14 days) and a penalty for late payment of fines. In 2019, approximately 38% of fine recipients who paid their fines utilized the early payment incentive. The current parking ticket fines were set in 2016 are:

Description of Offense	Fine	Early payment Amount	Late Payment Penalty
“A” Ticket Overtime Parking	\$40.00	\$20.00	\$45.00
“B” Ticket Infraction	\$55.00	\$40.00	\$55.00

In determining whether the rates established were reasonable, staff compared the rates against neighbouring jurisdictions. A comparison of the parking fine rates in neighboring municipalities are:

	Kelowna	Vernon	Kamloops	West Kelowna
Parking Infraction	\$30.00	\$35.00 Fine \$15.00 Early \$50.00 Late	\$25.00 Fine \$15.00 (pay within 24 hrs) \$50.00 Late	\$50.00

This comparison with neighbouring jurisdictions, along with the additional enforcement requirements of the expanded metered parking, associated costs with enforcement and the inflationary increases since 2016, staff are recommending an increase in 2021 of \$5 to both “A” Ticket overtime parking and “B” Ticket Infraction fine, early payment and late payment amounts.

Description of Offense	Fine	Early Payment Amount	Late Payment Penalty
“A” Ticket Overtime Parking	\$45.00	\$25.00	\$50.00
“B” Ticket Infraction	\$60.00	\$45.00	\$65.00

Alternate recommendations

1. THAT Council give first, second and third reading as amended to “Bylaw Notice Enforcement Bylaw No. 2020-39” and “Municipal Ticketing Information Amendment Bylaw No. 2020-40” and match the fine rates for A Ticket Overtime Parking and B Ticket Infraction fines at \$50.00 for the fine, \$35.00 for early payment and \$55.00 for late payment.
2. THAT Council receive into the record the report dated October 6, 2020 titled “Bylaw Notice Enforcement Amendment Bylaw No. 2020-39” and “Municipal Ticketing Information Amendment Bylaw No. 2020-40” and make no changes to the parking fine amounts.

Attachments

Attachment – Bylaw Notice Enforcement Amendment Bylaw No. 2020-39

Attachment – Municipal Ticketing Information Amendment Bylaw No. 2020-40

Respectfully submitted,

Courtney Jones

Courtney Jones, CPA, CGA, B.Comm
Financial Analyst

CFO/GM Finance and Administration <i>LWB</i>	Director, Development Services <i>BL</i>	A/Chief Administrative Officer JB
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Bylaw No. 2020-40

A bylaw to amend the Municipal Ticketing Information Bylaw No. 2012-5021

WHEREAS the Council of the City of Penticton has adopted a Municipal Ticketing Information Bylaw pursuant to the *Community Charter*;

AND WHEREAS the Council of the City of Penticton wishes to amend the "Municipal Ticketing Information Bylaw No. 2012-5021";

NOW THEREFORE BE IT RESOLVED that the Council of the City of Penticton in open meeting assembled, hereby ENACTS AS FOLLOWS:

1. Title:

This Bylaw may be cited as "Municipal Ticketing Information Amendment Bylaw No. 2020-40".

2. Amendment:

2.1 Amend "Municipal Ticketing Information Bylaw No. 2012-5021" by deleting and replacing the following lines of Schedule B10 to Bylaw #5021 for Traffic Bylaw #94-39:

17. "A" Ticket Overtime Parking	Schedule P	\$25.00 within 14 days \$45.00 over 14 days
18. "B" Ticket Infractions	Schedule P	\$45.00 within 14 days \$60.00 over 14 days

2.2 The provisions of this bylaw are effective January 1, 2021.

READ A FIRST time this day of , 2020
 READ A SECOND time this day of , 2020
 READ A THIRD time this day of , 2020
 ADOPTED this day of , 2020

John Vassilaki, Mayor

Angie Collison, Corporate Officer

Council Report

penticton.ca

Date: October 6, 2020
To: Donny van Dyk, Chief Administrative Officer
From: Amber Coates, Revenue Supervisor

File No: 1970-04

Subject: 2021 Permissive Tax Exemption Bylaw No. 2020-36

Staff Recommendation

THAT Council give first, second and third reading to the "2021 Permissive Tax Exemption Bylaw No. 2020-36", a bylaw granting \$588,356 in permissive tax exemptions as listed in Schedule A granting 100% of the allowable exemptions for the 2021 Tax Year;

AND THAT Council adopt "2021 Permissive Tax Exemption Bylaw No. 2020-36".

Strategic priority objective

Mission: Penticton will serve its residents, businesses and visitors through good governance, partnership and the provision of effective and community focused services.

Background

Pursuant to the *Community Charter*, on or before October 31 in any year, Council may, by bylaw, exempt land or improvement from taxation under very specific circumstances. Over the last several years, the City of Penticton has reviewed and updated the Permissive Tax Exemption Policy in an effort to best align the program with the community's priorities and needs. The May 19, 2020 Permissive Tax Exemption Policy is included as Attachment B for reference.

For clarity, there are a variety of assessment exemptions that fall into two broad categories. The first are statutory and exempted at the provincial level by the *Community Charter*, such as buildings set apart and used for public worship or hospitals, and those for incorporated institution of learning. The other type are exemptions that are exempted by bylaw at the municipal level, such as permissive and revitalization exemptions. The municipal exemptions may compliment the statutory exemptions by addressing the surrounding lands that are not covered by the provincial level exemption. This is most often grassy areas and parking lots, and are referred to as the Places of Worship, Private Schools and Hospitals ancillary properties for our purposes to distinguish them from the statutory exemptions.

Financial implication

Applications received during the 2021 Permissive Tax Exemption intake total \$588,356. This estimate is derived using 2020 taxable assessment values and 2020 property tax rates and represents 1.70% of the 2020 total budgeted general municipal tax requisition.

Description	Amount
2020 Schedule B Budget Amount for General Municipal Property Taxes	\$34,660,120
2021 Permissive Tax Exemptions Requested	\$588,356
Percentage of Budget Amount	1.70%

Analysis

Only those applications that meet the criteria of the *Community Charter* are able to move forward for more in-depth analysis. Staff then review the application to confirm that the organization has been able to demonstrate appropriate attempts to secure alternate funding, community support, competent administration, and a clear mandate. All applications in this intake were able to demonstrate the above.

As part of the Permissive Tax Exemption application, applicants are asked to self-identify in one of the six evaluation categories outlined in the policy. Categories are considered as part of the staff review to confirm the applicant has chosen a category that is reasonable to their use of the property. The below table provides a summary overview of the structure of this year's applications:

Self-Declared Evaluation Category	# of Folios	\$ per Category	% of Ask
Affordable Rental Housing	42	\$55,755	9.48%
Arts, Cultural and Heritage facilities	4	\$47,093	8.00%
Health, Safety and Social Service properties	31	\$237,004	40.28%
Parks, Recreation and Sports facilities	11	\$67,770	11.52%
Places of Worship, Private Schools and Hospitals ancillary properties	31	\$138,675	23.57%
Special Needs and Supportive Housing	8	\$42,059	7.15%
Grand Total	127	\$588,356	100.00%

In the past year, BC Assessment has specifically reviewed and updated the application of permissive exemption bylaws on properties where the exemptions pertain to only a portion of the property. This has resulted in more accurate exemptions being applied to the properties and in most cases reduced the value of the permissive exemption. This activity has reduced the overall ask from last year from \$591,309 to \$588,356.

Changes in the intake for 2020 Permissive Tax Exemption applications from last year are summarized below. We have one prior applicant not returning for the 2021 tax year and one new property requesting exemption.

Applications not Returning for the 2021 Tax Year

1. Penticton Wine and Country Chamber of Commerce – 102 Ellis St.

- Currently operating at 185 Lakeshore Dr. and not responsible for property taxes.

New Applications for the 2021 Tax Year

1. Penticton Yacht Club – 293 Marina Way
 - The eligible area for Permissive Tax Exemption does not include those portions of the property used for liquor sales, nor the three units occupied by commercial tenants. The estimated value of 2021 municipal taxes that would be exempted for this property is \$10,733.

Alternate recommendations

1. THAT Council direct Staff to prepare the 2021 Permissive Tax Exemption Bylaw 2020-36 to award permissive exemptions at 100% to only the returning 2020 applicants, a bylaw granting \$577,623 in permissive tax exemptions.

Attachments

Attachment A – 2021 Permissive Tax Exemption Bylaw No. 2020-36

Attachment B – New Applications for the 2021 Tax Year Details

Attachment C – Permissive Tax Exemption Policy

Respectfully submitted,

Amber Coates,
Revenue Supervisor

Concurrence

GM of Finance & Administration <i>JWB</i>	A/Chief Administrative Officer JB
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Bylaw No. 2020-36

A Bylaw to Exempt Certain Parcels of Land from Taxation

WHEREAS it is deemed expedient to exempt certain parcels of land from taxation, subject to final approval of germane authorities;

AND WHEREAS the *Community Charter* provides specific exemptions for certain type or uses of property;

NOW THEREFORE the Municipal Council of The Corporation of the City of Penticton in an open meeting assembled ENACTS as follows:

- 1. Title:
This Bylaw may be cited for all purposes as the "2021 Permissive Tax Exemption Bylaw No. 2020-36".
- 2. Administration:
 - 2.1 This Bylaw shall come into full force and effect and is binding on all persons during the 2021 taxation year.
 - 2.2 The properties described on the attached Schedule "A" shall be permissively exempt from taxation with respect to land and improvements for the year 2021.

READ A FIRST time this	day of	October, 2020
READ A SECOND time this	day of	October, 2020
READ A THIRD time this	day of	October, 2020
ADOPTED this	day of	October, 2020

Notice of intention to proceed with this bylaw was published on the 23 day of September, 2020 and the 30 day of September, 2020 in the Penticton Western newspaper, pursuant to Section 94 of the *Community Charter*.

In accordance with the Province of BC Ministerial Order No. M192, the Council of the City of Penticton may adopt a bylaw on the same day as third reading.

John Vassilaki, Mayor

Angie Collison, Corporate Officer

Applicant	Folio	Civic Address	Additional Comments	Estimated 2021 Municipal Taxes Foregone
Affordable Living for Today Society	02166-020	245 Warren Ave. W.		\$7,484
BC Wine Info Centre	05757-020	#101 - 553 Vees Dr.		\$3,709
BPOE Penticton Elks Lodge #51	06275-000	343 Ellis St.	Apportioned based on area used for liquor sales - 66.12% of land/improvements used for charitable purposes	\$2,891
Cheers the Church	00128-000	639 Main St.		\$6,514
Christian Science Society, Penticton, BC	00068-000	608 Winnipeg St.		\$1,325
Community Foundation of the South Okanagan Similkameen	00111-005	501 Main St.		\$22,253
Concordia Lutheran Church of Penticton BC	03084-000	2800 South Main St.		\$4,772
Fraternal Order Of Eagles #4281	01247-000	1197 Main St.	Class 8 portion used for charitable purposes	\$4,206
Good Samaritan Canada	01162-580	270 Hastings Ave.		\$59,631
Grace Mennonite Brethren Church	01737-000	74 Penticton Ave.		\$1,601
Green Mountain Congregation of Jehovah's Witnesses	02068-100	52 Roy Ave.	Class 8 portion only	\$3,493
Hellenic Community of Penticton	01064-000	1265 Fairview Rd.		\$1,541
Holy Cross School	01806-000	1299 Manitoba St.		\$15,886
Luso Canadian Multicultural Society	05022-000	135 Winnipeg St.		\$2,364
Oasis United Church	02241-101	2964 Skaha Lake Rd.		\$11,158
Okanagan Boys & Girls Clubs	01806-010	1295 Manitoba St.		\$7,793
Okanagan Similkameen Neurological Society	07464-006	#103 - 550 Carmi Ave.		\$1,397
OneSky Community Resources Society	06300-300	330 Ellis St.		\$12,029
OneSky Community Resources Society	01603-010	470 Edmonton Ave.		\$3,423
OneSky Community Resources Society	01603-020	500 Edmonton Ave.		\$1,022
OneSky Community Resources Society	02176-500	2434 Baskin St.		\$1,154
OneSky Community Resources Society	02176-510	2450 Baskin St.		\$1,157
OneSky Community Resources Society	02844-000	150 McPherson Cres.		\$2,868
OneSky Community Resources Society	02845-000	154 McPherson Cres.		\$2,868
OneSky Community Resources Society	07643-000	1160 Commercial Way	Leased portion addressed as 1140 Commercial Way	\$2,951
OneSky Housing Society	05099-010	285 Nanaimo Ave. W.	Only those residential units held in the name of OneSky/Catalyst (26 units) Land Title registrations in process	\$10,970
Ooknakane Friendship Centre	06033-020	146 Ellis St.		\$3,930
Our Redeemer Lutheran Church of Penticton, B.C.	02574-110	1370 Church St.		\$1,629
Penticton & District Community Arts Council	01807-200	220 Manor Park Ave.		\$12,722
Penticton & District Minor Hockey Association	05757-000	399 Power St.		\$1,292
Penticton Alliance Church	02178-060	197 Brandon Ave.		\$4,112
Penticton and District Emergency Program Society	07565-010	251 Dawson Ave.		\$1,525
Penticton and District Multicultural Society	06300-260	340 Ellis St.		\$4,809
Penticton and District Society for Community Living	01552-030	180 Industrial Ave. W.		\$11,683
Penticton and District Society for Community Living	00375-010	453 Winnipeg St. (Chestnut Place)		\$4,413
Penticton and District Society for Community Living	01031-000	252 Conklin Ave.		\$2,056
Penticton and District Society for Community Living	01552-040	146 & 150 Bruce Crt.		\$13,030
Penticton and District Society for Community Living	06209-000	234 Van Horne St.		\$2,739
Penticton and District Society for Community Living	07475-010	1706 Main St.		\$15,612
Penticton and District Society for Community Living	04794-000	259 Backstreet Blvd. up to 15 units	Only those residential units held in the name of PDSC (15 units) Land Title registrations in process	\$8,144
Penticton Art Gallery	05888-000	199 Marina Way		\$21,094
Penticton Bethel Pentecostal Tabernacle	01195-020	945 Main St.		\$7,291
Penticton Bethel Pentecostal Tabernacle	01194-505	973 Main St.		\$4,716
Penticton Bethel Pentecostal Tabernacle	01194-000	65 Preston Ave.		\$1,963
Penticton BMX Society	07338-105	630 Munson Mountain Rd.		\$3,076
Penticton Christian School Society	01619-000	#102 - 96 Edmonton Ave.		\$842
Penticton Community Garden Society	05986-001	480 Vancouver Ave.		\$1,110
Penticton Curling Club	05757-040	505 Vees Dr.		\$11,937
Penticton Disc Golf Club	05902-012	500 Marina Way		\$6,808
Penticton First Baptist Church	02623-000	1498 Government St.		\$5,311
Penticton Free Presbyterian Church	01202-000	120 Preston Ave.		\$2,734
Penticton Golf & Country Club	04245-010	600 Comox St.	Approx. 172,000 sf exempt for land and all improvements associated with the golf course to be exempted with the exception of the 6410 sf restaurant/bar area and 1120 sf pro shop area	\$6,835
Penticton Golf & Country Club	04251-000	852 Eckhardt Ave. W		\$15,315
Penticton Kiwanis Housing Society	06064-011	#101 - 150 Van Horne St.		\$727
Penticton Kiwanis Housing Society	06064-012	#103 - 150 Van Horne St.		\$621
Penticton Kiwanis Housing Society	06064-013	#105 - 150 Van Horne St.		\$621
Penticton Kiwanis Housing Society	06064-017	#113 - 150 Van Horne St.		\$621
Penticton Kiwanis Housing Society	06064-018	#115 - 150 Van Horne St.		\$734

Applicant	Folio	Civic Address	Additional Comments	Estimated 2021 Municipal Taxes Foregone
Penticton Kiwanis Housing Society	06064-048	#312 - 150 Van Horne St.		\$629
Penticton Kiwanis Housing Society	06064-019	#112 - 150 Van Horne St.		\$724
Penticton Kiwanis Housing Society	06064-022	#104 - 150 Van Horne St.		\$618
Penticton Kiwanis Housing Society	06064-023	#102 - 150 Van Horne St.		\$724
Penticton Kiwanis Housing Society	06064-024	#201 - 150 Van Horne St.		\$731
Penticton Kiwanis Housing Society	06064-028	#209 - 150 Van Horne St.		\$625
Penticton Kiwanis Housing Society	06064-029	#211 - 150 Van Horne St.		\$625
Penticton Kiwanis Housing Society	06064-030	#213 - 150 Van Horne St.		\$625
Penticton Kiwanis Housing Society	06064-031	#215 - 150 Van Horne St.		\$738
Penticton Kiwanis Housing Society	06064-032	#214 - 150 Van Horne St.		\$731
Penticton Kiwanis Housing Society	06064-033	#212 - 150 Van Horne St.		\$629
Penticton Kiwanis Housing Society	06064-034	#210 - 150 Van Horne St.		\$625
Penticton Kiwanis Housing Society	06064-037	#204 - 150 Van Horne St.		\$625
Penticton Kiwanis Housing Society	06064-038	#202 - 150 Van Horne St.		\$731
Penticton Kiwanis Housing Society	06064-039	#301 - 150 Van Horne St.		\$731
Penticton Kiwanis Housing Society	06064-046	#315 - 150 Van Horne St.		\$738
Penticton Kiwanis Housing Society	06064-047	#314 - 150 Van Horne St.		\$731
Penticton Kiwanis Housing Society	06064-049	#310 - 150 Van Horne St.		\$625
Penticton Kiwanis Housing Society	06064-050	#308 - 150 Van Horne St.		\$709
Penticton Kiwanis Housing Society	06064-052	#304 - 150 Van Horne St.		\$625
Penticton Kiwanis Housing Society	06064-053	#302 - 150 Van Horne St.		\$731
Penticton Kiwanis Housing Society	06064-054	#401 - 150 Van Horne St.		\$731
Penticton Kiwanis Housing Society	06064-060	#413 - 150 Van Horne St.		\$625
Penticton Kiwanis Housing Society	06064-061	#415 - 150 Van Horne St.		\$738
Penticton Kiwanis Housing Society	06064-062	#414 - 150 Van Horne St.		\$731
Penticton Kiwanis Housing Society	06064-063	#412 - 150 Van Horne St.		\$628
Penticton Kiwanis Housing Society	06064-064	#410 - 150 Van Horne St.		\$625
Penticton Kiwanis Housing Society	06064-065	#408 - 150 Van Horne St.		\$709
Penticton Kiwanis Housing Society	06064-066	#406 - 150 Van Horne St.		\$625
Penticton Kiwanis Housing Society	06064-067	#404 - 150 Van Horne St.		\$625
Penticton Kiwanis Housing Society	06064-068	#402 - 150 Van Horne St.		\$731
Penticton Lawn Bowling Club	05104-010	260 Brunswick St.		\$5,420
Penticton Masonic Building Association	05289-010	416 Westminster Ave. W.		\$3,200
Penticton New Beginnings Christian Fellowship	01619-000	#101 - 96 Edmonton Ave.		\$842
Penticton Recovery Resource Society (Discovery House)	00634-000	633 Winnipeg St.		\$3,509
Penticton Safety Village Society	01603-030	490 Edmonton Ave.		\$4,687
Penticton Seniors' Drop-In Centre Society	02233-000	2905 South Main St.		\$24,081
Penticton Sikh Temple and Indian Cultural Society	03096-010	3290 South Main St.	Class 1 Residential portion not eligible for exemptions & 5% of taxable Class 8 portion not eligible for exemption as not usable in relation to worship or charitable works	\$9,071
Penticton Tennis Club	05902-025	675 Marina Way		\$3,016
Penticton United Church	06900-000	696 Main St.		\$3,638
Penticton Vineyard Community Church	01540-050	#102 - 1825 Main St.	Class 8 portion used for charitable purposes	\$9,802
Penticton Yacht Club	05905-000	293 Marina Way	Apportioned based on area used for liquor sales and commercial tenants, 93% of land/improvements eligible for exemption	\$10,733
S.S. Sicamous Restoration Society	08729-000	1099 Lakeshore Dr. W.		\$9,568
Seventh-day Adventist Church (British Columbia Conference)	02167-000	290 Warren Ave. W.		\$4,204
South Okanagan Similkameen Brain Injury Society	00721-000	742 Argyle St.		\$2,361
South Okanagan Similkameen Brain Injury Society	00739-000	332 Eckhardt Ave. W.		\$2,842
South Okanagan Similkameen Medical Foundation	07495-010	1802 Camrose St.		\$4,243
South Okanagan Similkameen Medical Foundation	07495-005	1748 Camrose St.		\$6,081
South Okanagan Women in Need Society	NOT DISCLOSED	Hughes House	Qualified for Class 03-Supportive Housing in 2020	\$0
South Okanagan Women in Need Society	NOT DISCLOSED	Tamarack	Qualified for Class 03-Supportive Housing in 2020	\$0
South Okanagan Women in Need Society	05838-020	#102 - 1027 Westminster Ave. W.		\$1,419
South Okanagan Women in Need Society	05838-010	#101 - 1027 Westminster Ave. W.		\$688
St. Andrew's Presbyterian Church	04857-000	397 Martin St.		\$1,522
St. Andrew's Presbyterian Church	04872-005	157 Wade Ave. W.		\$2,489
St. Ann's Parish	01805-000	1296 Main St.	Class 8 portion only	\$6,699
St. Ann's Parish (St. John Vianney Church)	05310-000	361 Wade Ave W.	Class 8 portion only	\$3,008
St. Ann's Parish (Penticton Recovery Resource Society)	05311-000	397 Wade Ave. W.		\$1,484
St. Ann's Parish (Pregnancy Support Program under OneSky Communities)	01804-220	200 Bennett Ave.		\$1,573
St. Saviour's Anglican Church	00059-000	150 Orchard Ave.		\$4,943
The British Columbia Society for the Prevention of Cruelty to Animals	07658-050	2200 Dartmouth Dr.		\$14,846

Applicant	Folio	Civic Address	Additional Comments	Estimated 2021 Municipal Taxes Foregone
The Care Closet	06572-000	574 Main St.		\$2,238
The Church of Jesus Christ of Latter-day Saints in Canada	03085-030	2946 South Main St.		\$5,400
The Penticton Church of the Nazarene	00238-010	523 Jermyn Ave.	Class 8 portion only	\$3,009
The Penticton Horseshoe Pitchers Club	02233-005	2905 South Main St.		\$2,228
The Penticton Kinsmen Disability Resource Center Society	01162-060	216 Hastings Ave.		\$9,864
The Salvation Army Penticton	02189-010	2399 South Main St.		\$11,688
The Salvation Army Penticton	02193-020	2469 South Main St.		\$3,722
The Salvation Army Penticton	06300-355	318 Ellis St.		\$4,216
YMCA of Okanagan Association	05628-012	630 Birch Ave.		\$2,472
Total One (1) Year Permissive Tax Exemptions		127 Properties		\$588,356

Attachment B - New Applications for the 2021 Tax Year Details

1. Penticton Yacht Club – 293 Marina Way

- Information provided by the organization as part of their application:
 - A community focused and operated club providing moorage and member services to over 600 members. Over the last years, there has been a significant transformation of the board and the operations to look toward modernizing and updating the facilities, direct and operation of the club, while providing good value and boating services to the community and tourism on Okanagan Lake. We are an integral part of the Okanagan Lake boating community and offer temporary and overnight moorage for visitors and members of other yacht clubs on the lake. The marina provides two boat launches, restaurant, gas dock, shower, laundry and washroom facilities to members and visitors.
 - Penticton Yacht Club (PYC) has a volunteer Board of Directors and various volunteer committees for sailing events, sail past during the annual commodore's ball, and working committees including volunteer PYC staff, club members and board members who have been involved in sand bagging efforts, etc. over the years and as other major projects arise.
 - There are two public boat launches at our facility, so non-members can launch their boats into Okanagan Lake, at no cost. The public can also use the facilities at PYC's Gas Bar picking up ice, snacks and the use of the sani-dump is also available. There is paid day parking for cars, trucks, and trailers available. Travelers who wish to bring their boats on vacation are able to reserve moorage within the marina, which includes parking for their trailers while berthed at the facility.
 - PYC offers competitive rates for all the services we provide on and off the lake, while offering one of the safest and protected breakwaters. A fully service gas dock offers marine fuel and septic service pump out as well as snack and beverage sales. Temporary and guest moorage services are available, as is off season outdoor boat storage. PYC's facility is within blocks from Penticton's city center and also within walking distance to many lakefront restaurants, motels, etc. therefore members and guests are huge supporters of Penticton's fine dining and its variety of shops and service promoting Penticton's local economy.
- The eligible area for Permissive Tax Exemption does not include those portions of the property used for liquor sales, nor the three units occupied by commercial tenants. The estimated value of 2021 municipal taxes that would be exempted for this property is \$10,733.

Approval date: May 19, 2020

Resolution No.: 141/2020

Subject: **Permissive Tax Exemption Policy**

1.0 Goal

The goal is to provide clarity, consistency and certainty to the municipality, the public and the prospective applicants in the requirements and evaluations of applications for exemption from property taxes pursuant to Section 224 of the *Community Charter*.

2.0 Background and Scope

Section 224 of the *Community Charter* provides for permissive tax exemptions for properties used by a variety of non-profit organizations or properties that Council considers are used for a purpose directly related to the purposes of the organization. It also provides for permissive exemptions for some properties which are additional to statutory exemptions under Section 220, such as church halls or ancillary land surrounding places for public worship or privately run schools.

Exemptions provided for in Section 224 are established by Council bylaw at the absolute discretion of Council. There is no obligation to give the exemption or to continue it in future years.

Exemptions cannot be granted if the organization does not qualify under the *Community Charter*.

The intent of this policy and associated evaluation categories and guidelines is to identify the services and organizations which are the most complementary extensions of municipal services, and for which the burden resulting from the exemption is a justifiable expense to the taxpayers of Penticton. Support will be directed towards services the City would consider providing given adequate resources.

3.0 Policy

3.1 Applications for permissive tax exemption will only be accepted during the annual advertised application period and using the prescribed application method and form in order to ensure reasonable consideration and opportunity for all applicants.

3.2 The following information will be considered when determining whether to grant a permissive tax exemption:

- a) The principal use of the property, including the services offered
- b) The need for the services
- c) The availability of the services

- d) Other funding sources
- e) The use of volunteers to deliver services

3.3 A permissive tax exemption may be granted when:

- a) The organization is able to demonstrate a need for its services
- b) The organization has made an effort to obtain other funding sources for provision of services
- c) The organization does make use of volunteers to provide services

3.4 Exemptions are based on the principal use of the property, not on the charitable service of the organization as a whole.

3.5 Exemptions can only be granted to the portion of a property that meets all the requirements of this policy. The exemption may apply to the whole or part of the taxable assessed value of land, improvements, or both.

3.6 Only that part of the property used for non-profit activities will be considered for exemption. Commercial activities will be excluded. For clarity, society administration is considered part of the non-profit organization's program delivery.

3.7 Applicants must show evidence of a clear mandate and competent administration.

3.8 Applicants must not be in arrears with the City in regard to any accounts for taxes, fees or charges.

3.9 The use of the property must be consistent with and in compliance with all applicable municipal policies, bylaws and legislation.

3.10 The organization must justify the need for the services and may be required to make a presentation to Council.

3.11 The organization must be seen to be working towards self-sufficiency by seeking funding from other sources.

3.12 The organization may be required to show evidence of ongoing, active volunteer involvement.

3.13 Services and activities should be equally available to all residents of the City, and benefit primarily residents of the City.

3.14 Each year, new property applications and applications with significant changes will be highlighted at the time of the annual bylaw presentation in order to demonstrate the additional benefits of services being provided for in the community. Council will have the opportunity to deny the addition of any new or changed properties whose services do not align with the current community priorities or needs.

4.0 Evaluation Categories

All applications must meet the description of at least one of the categories below, and self-declare their primary category as part of the application:

- 4.1 **Affordable Rental Housing:** housing with rents equal to, or lower than, average rates in the private market.
- 4.2 **Special Needs and Supportive Housing:** short term emergency or crisis protection for members of the community, supportive housing for people with special needs, halfway houses, transitional homes and group homes with supportive staff and programs.
- 4.3 **Health, Safety and Social Service properties:** support services and programs to assist maximizing the health, safety, and quality of life of members of the community.
- 4.4 **Arts, Cultural and Heritage facilities:** preparation and delivery of artistic, cultural or historical events, exhibits, or education to the public.
- 4.5 **Parks, Recreation and Sports facilities:** provide space and equipment for the physical and mental enjoyment of the participants.
- 4.6 **Places of Worship, Private Schools and Hospitals ancillary properties:** must be recognized by BC Assessment as operating in one of these capacities as well as be able to provide supporting documentation to that effect.

5.0 Application and Exemption Cycle

- 5.1 **Applications:** The annual application period will be during the Spring months of each year in order to apply to the following tax year. Each year in advance of the application period the dates will be advertised in the local newspaper, as well as notice made to prior year applicants if possible.
 - a) **Long Form Application:** form to be used for first time applications on a property, or if a property has had significant changes in use, applicant, or physical changes to the site since the prior year application.
 - b) **Short Form Application:** form to be used for prior year exempted properties with no significant changes in use, applicant, or physical changes to the site.
- 5.2 **Evaluations and Bylaw Preparation:** The annual evaluation period will be during the Summer months of each year for the following tax year. During the evaluation time period applicants may be contacted for additional information as needed or to appear before Council to make a presentation.
- 5.3 **Bylaw Review and Adoption:** The Permissive Tax Exemption Bylaw, or amendments to the Permissive Tax Exemption Bylaw, must be adopted and submitted to BC Assessment prior to the end of October in order to apply for the following tax year in order for the exemptions to take

effect. Proposed bylaw or bylaw amendment and the dates Council will deliberate will be advertised in accordance to the *Community Charter* Section 227.

Previous revisions

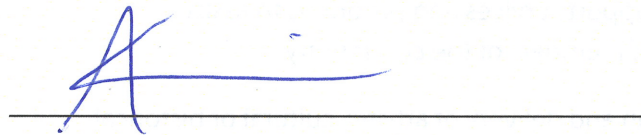
Approval Date: April 2, 2013

Council Resolution: 200/2013

Approval Date: April 2, 2019

Council Resolution: 190/2019

Certified correct:



Angie Collison, Corporate Officer

Council Report

penticton.ca

Date: October 6, 2020
To: Donny van Dyk, Chief Administrative Officer
From: Angie Collison, Corporate Officer
Subject: **RDOS Director Appointments for 2021**

File No: 0550-20

Staff Recommendation

THAT Council approve the following Regional District of Okanagan-Similkameen (RDOS) director appointments and vote distributions effective November 2020: John Vassilaki (5), Judy Sentes (5), Katie Robinson (5), Campbell Watt (4), Frank Regehr, first alternate director, Julius Bloomfield, second alternate director and Jake Kimberley, third alternate director.

Strategic priority objective

Mission: Penticton will serve its residents, businesses and visitors through good governance, partnership and the provision of effective and community focused services.

Background


As per the *Local Government Act*, the appointment and term of office for municipal directors to the Regional District is made by Council from among its members. The term of office of a municipal director continues until another director takes original director's place or November 30 in the year of a general local election. Alternate directors are also appointed by Council, take the place of, vote, and act in all matters for an absent municipal director.

Analysis

The Regional District of Okanagan-Similkameen (RDOS) is governed by a board comprised of nine electoral area directors and ten municipal directors. Council can appoint four municipal directors to the board to represent the City of Penticton.

Respectfully submitted,

Angie Collison
Corporate Officer

GM of Finance and Administration 	A/Chief Administrative Officer JB
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Council Report

penticton.ca

Date: October 6, 2020 File No: RMS-4300 Licenses
To: Donny van Dyk, Chief Administrative Officer
From: Ken Kunka, Deputy Director Development Services
Subject: **Local Government approval for Temporary Expanded Liquor Service Areas**

Staff Recommendation

THAT Council direct staff to inform the Liquor and Cannabis Control Branch (LCRB) of its preference to review and approve all individual requests (Option #02) for liquor primary and manufacturer expansions, prior to licensees submitting their applications to the LCRB for expanded service areas under the Temporary Expanded Service Area Authorization Policy.

Strategic priority objective

Mission: Penticton will serve its residents, businesses and visitors through good governance, partnership and the provision of effective and community focused services.

Community Safety: The City of Penticton will support a safe, secure and healthy community.

Background

On June 2, 2020 Council resolved (Resolution 165/2020) to inform the Liquor and Cannabis Control Branch (LCRB) of its preference to provide one approval (Option #1) to cover all liquor primary and manufacturer establishments who apply for temporary expanded service area requests. At that time staff considered Option 1 most appropriate due to the low risk associated to potential service area changes, as the majority would be looking to alter and expand exterior spaces. The initial temporary expansion period was set to expire on October 31, 2020.

As of Friday, September 18, the LCRB has extended the Expanded Service Areas to **October 31, 2021**. Because of this expanded time frame, the LCRB is again requesting local government confirmation of either Option #1 or #2. As this extension will run thru the winter months, staff cite a higher likelihood of expanded service area changes occurring in interior spaces not original permitted as public use areas. Possible areas of concern relate to minimum life safety requirements such as exiting, emergency lighting and health standards.

Here are the two options that local governments are being asked to decide between:

Option 1

Local governments may provide one pre-approval to cover all liquor primary and manufacturer establishments within their jurisdiction who may apply for an expanded service area.

Considerations:

- This will enable the fastest processing of applications
- Local governments will not have an opportunity to see individual requests before they are approved by the LCRB
- Applicants will be required to disclose that they have met all local government requirements when applying, and
- Local governments will receive notice when the expanded service area is authorized by the LCRB

Option 2

Local governments may choose to review and approve all individual requests for liquor primary and manufacturer expansions prior to licensees submitting their applications to the LCRB.

Considerations:

- This will increase the time required for businesses to begin operating their expanded areas.
- Local governments will have the ability to determine what information is required from applicants seeking your approval, and to withhold approval if there are concerns.
- Local governments will be asked to provide written approval directly to the applicant (email is sufficient). The applicant will be required to include this information with their application to the LCRB, and
- Local governments will receive notice when an expanded service area is authorized by the LCRB.

Financial implication

Minor staff resources to review expanded area proposals. Staff are recommending not charging a city review fee.

Analysis

Staff recommend proceeding with Option #02 to ensure that proposed interior alterations are reviewed to ensure minimum life standards are being met. In many cases there may be a change of use from manufacturing to assembly (public) use, which would trigger additional measures to be taken to ensure occupant safety. With Council support staff would directly work with the applicant and provide written approval as outlined in Option 2 above. Although this may add some additional time to the review process, it would be in the best interests (liability risks) of the City and occupants to ensure a review is completed prior to LCRB application. Staff will ensure that enquires are expedited to assist operators in their change requests. Other measures are also in place to regulate the use of city sidewalks and parking spots and for operators wishing to alter areas on private property. Staff will provide a general outline of criteria for operators to review in planning their changes and to contact City staff if there may be concerns.

When preparing their expansion plans operators will be reminded to take into consideration:

- Change of Use of internal spaces such as manufacturing areas to public spaces,
- Avoid or limit removal of required on-site parking stalls,

- No change to exit routes from the building (exterior sales/tasting areas),
- Provide accessible travel paths for persons with disabilities,
- Limit any negative effects (noise) the expanded area could have on neighbouring properties, and
- Wineries within the ALR cannot exceed the City’s Zoning Bylaw maximum area allowances of 125 sqm indoors and 125 sqm outdoors.

COVID 19 protocols will be required to be followed, under the oversight of Interior Health, WorkSafe BC and the Liquor & Cannabis Regulation Branch (LCRB).

Alternate recommendations

Council may want continue the initial support of Option #1 for one pre-approval to cover all liquor primary and manufacturing expansion requests. If this is the case, Council should consider Alternative 1, which is to inform the LCRB that the City wishes to proceed under Option 1 as outlined in the policy directive. Staff are not supportive of this alternative as with the 12-month extension period and cold weather conditions involving more interior space alterations could create a safety risk for occupants and set a precedent, which may be difficult to roll back once the temporary expansion is disconnected by the province.

1. THAT Council direct staff to inform the Liquor and Cannabis Control Branch (LCRB) of its preference to provide one pre-approval (Option #1) to cover all liquor primary and manufacturer establishments who may apply for an expanded service area under LCRB Policy Directive 20-13 Temporary Expanded Service Area Authorization.

Attachments

Attachment A – LCRB Policy Directive No.20-26

Respectfully submitted,

Ken Kunka ASCT RBO
Deputy Director Development Services

Concurrence

Director <i>BL</i>	A/Chief Administrative Officer JB
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Attachment A
LCRB Policy Directive No. 20-26



Liquor and Cannabis Regulation Branch
POLICY DIRECTIVE
No: 20 - 26

Date: September 18, 2020

To: All Licensees
All LCRB Staff
All Industry Associations
All local government, First Nations and police agencies

Re: Temporary Expanded Service Area, extension

Current Policy

Under the Liquor Control and Licensing Regulation (LCLR), s.109.1, the General Manager (GM) of the Liquor and Cannabis Regulation Branch (LCRB) may issue a Temporary Expanded Service Area (TESA) authorization to Food Primary, Liquor Primary, and Manufacturer licensees.

Under LCLR, s. 109.4 all TESA authorizations expire at the end of the day on October 31, 2020. Further, under LCLR s. 109.5, the TESA provisions in the LCLR will be repealed on October 31, 2020.

See Policy Directive 20-13 for further information.

New Policy

In light of the ongoing COVID-19 pandemic, the Province's March 2020 declaration of a state of emergency and the Provincial Health Officer's (PHO) March 2020 declaration of a public health emergency, this time-limited measure is being amended to support the PHO's direction and recommendations.

The TESA provisions in the LCLR will now expire on **October 31, 2021**. Licensees may apply for new TESA authorizations up to this date.

The GM's authority to extend existing approved TESA authorizations up to this date, without first requiring the licensee to make an application, has also been made explicit.

The LCRB is reaching out to local authorities with approved TESAs in their jurisdiction to confirm their support for extending the TESAs to October 31, 2021. To limit the risk of disruptions in service, local authorities must confirm their position with the LCRB by October 16, 2020.

If concerns related to public safety and public interest are raised regarding the TESA authorizations or the operation of particular TESAs, the LCRB will work with licensees and local authorities to ensure TESAs operate in a manner that balances the interests of licensees, municipalities and the general public.

If the local authority is supportive, the LCRB will reissue authorization letters to licensees with existing TESAs in that jurisdiction prior to October 31, 2020. The new authorization letter will provide an extended expiry date of the TESA. Unless a new authorization letter has been issued, the existing TESA will expire on October 31, 2020.

Licensees will not need to apply to the LCRB for an extension, and there will be no fee charged.

All other requirements relating to TESA authorizations remain the same. To meet the intent of this temporary authorization, licensees will not be permitted to increase or exceed their currently approved person/patron capacities or occupant loads. All means of access to the service area must also be supervised to the satisfaction of the GM. Finally, licensees must comply with all local bylaws and health and fire regulations.

Approved TESAs must be in compliance with local bylaws and requirements. If the local authority bylaws or requirements change and prevent the operation of TESAs in that jurisdiction, the local authority should advise the LCRB.

For licensees who are applying for new TESA authorizations, an expedited online application is available at no charge. Please check our website for a link to the application.

Explanation

The new policy is provided in the context of the provincial state of emergency and public health emergency related to the COVID-19 pandemic. Extending TESA authorizations, which increase the size of existing service areas, is expected to support licensees in complying with requirements under the PHO and recommendations, in particular with respect to social/physical distancing.

Further Information

Further information regarding liquor and cannabis regulation and licensing in British Columbia is available on the Liquor and Cannabis Regulation Branch website at <http://www.gov.bc.ca/liquorregulationandlicensing>

If you have any questions regarding these changes, please contact the Liquor and Cannabis Regulation Branch toll free in Canada at 1-866-209-2111 or 250 952-5787 if calling from the Victoria area.

Disclaimer

This communication is intended to be used only for general informational purposes and may not apply to all situations. This communication does not constitute legal advice nor is it a comprehensive statement of the legal obligations that arise under the Liquor Control and Licensing Act, regulations, or any other applicable laws. When interpreting and applying the information contained in this communication, you are encouraged to seek specific advice from your professional advisors as appropriate in the circumstances.

Original signed by
Mary Sue Maloughney,
Assistant Deputy Minister and General Manager

Council Report

penticton.ca

Date: October 6, 2020
To: Donny van Dyk, Chief Administrative Officer
From: Blake Laven, Director Development Services

File No: 6750/20 2020 Branding

Subject: 200 Block Breezeway Upgrades

Staff Recommendation

THAT Council support the Downtown Penticton Association (DPA) Breezeway Improvement Project, by directing \$5,000 towards the initiative and giving approval for the works.

Strategic priority objective

Vision: A vibrant, innovative, healthy waterfront city focused on sustainability, community and economic opportunity.

Community Vitality: The City of Penticton, guided by the Official Community Plan, will promote the economic wellbeing and vitality of the community.

Background

The Downtown Penticton Association (DPA) has received a \$10,000 grant and other in-kind contributions, to improve the City owned 200 Block Breeze way that leads from Main Street to the Braeburn parking lot and downtown public washrooms. The Breezeway currently has new lighting and was recently painted, done City Public Works staff, but the existing murals are currently in need of replacement as they are weathered and have been vandalized.

The DPA plan is to have the City remove the murals and replace the 11 panels with sheets of plywood, with the intent of having a clean surface to install vinyl wraps (similar to the technology used to wrap utility boxes).

A call for proposals to the artist community will go out, with the intent that artists will submit designs in a digital format, with a local print company preparing and installing the wraps. The artists will receive \$1,000 for each piece of original artwork. The wraps are



intended to be graffiti resistant and are such that they can be replaced with other artwork in a few years to keep the breezeway fresh and modern.

The DPA is asking for a contribution from the City for this initiative as the budget is currently underfunded by \$5,000.

Committee Consideration

This item was reviewed by the Arts, Creative and Cultural Innovations Committee at their September 18, 2020 meeting. At that meeting, after hearing from the Downtown Penticton Association and discussing the request, the following motion was made:

THAT the Arts, Creative and Cultural Innovations Advisory Committee recommend to Council to support the Downtown Penticton Association’s ask for \$5,000 towards the 200 Block Breezeway Project;

AND THAT preference be provided to local artists and indigenous representation.

Financial implication

The request from the DPA for this initiative is \$5,000. Should Council support this project these funds would come through administrative savings from the Economic Development budget.

Analysis

The 200 Block Breezeway is in need of upgrading. The Downtown Penticton Association has received a substantial grant to do the majority of the works. The City has been asked to contribute to the project. Having a fresh and clean breezeway linking the downtown parking lots to Main Street is important to making the downtown a safe and vibrant place.

Given the above, staff are recommending Council support the project by directing \$5,000 towards the initiative and approving the works in the breezeway.

Alternate recommendations

Council may feel that given the City’s current financial situation that this is not the time to contribute to the work. If that is the case, Council could approve the works and not direct \$5,000 to the project. Without the funds from the City, the DPA would likely move ahead with a project with less or no artwork.

Attachments

Attachment A – DPA Brief: 200 Block Breezeway Project

Respectfully submitted,

Blake Laven, MCIP, RPP
Director of Development Services

Concurrence

A/Chief Administrative Officer JB

200 Block Breezeway Project



Photo of now to?



Outline:

The Downtown Penticton Association initiated the breezeway project as it covered three essential topics in our downtown core - safety, vision, and parking initiative. Over the past year, we've developed our plan to repaint the murals, we researched sponsorship and grants within and outside our community.

We've received a \$10,000 grant from Tweed Collective. Tweed Collective is an initiative that funds community impact projects all across Canada. Tweed's main partners are the non-profits, business improvement areas (BIA), and registered charities, whose main mandates to grow opportunities, grow greener and grow connections in their communities.

The City of Penticton repainted the breezeway and will replace each mural with new plywood. Initially, the plan was to remove the mural structures altogether to have a clean, fresh surface. However, recognizing the structural issues and that they cannot be removed, we came up with a new plan. To have the murals in a digital format and printed on vinyl anti-graffiti wraps.

We want to discuss with several artists the potential of the area and vision of what we want to see, including the provisions of a vibrant, family-friendly themed breezeway.

We will request a digital form for the artwork provided by the artist. The artwork will be fashioned onto the murals with a vinyl wrap. Jafa Signs has provided generous sponsorship to have the wraps made at cost. We have chosen this direction versus individual paintings because the wraps will combat against graffiti and be easier to replace in the future should any damage occur or if a new design is requested.

Vision:

Our vision is to create visually aesthetic murals in the breezeway that promotes a sense of identity, belonging, attachment, welcoming, and strengthening of the community. To generate a tangible sense of place, destination, resulting in increased foot traffic while adding colour, vibrancy, and character to the urban environment.

Why:

Safety initiative – Enhance public safety by creating a feeling that the breezeway is cared for, making crimes of opportunity less likely to happen.

Economic development initiative – Increase tourism by making commercial retail sectors more attractive destinations for visitors and residents.

Parking initiative – Increase awareness of parking available in the downtown core. When parking in the 200 Block Lot, it is a quick access point through the breezeway to connect onto Main Street.

How:

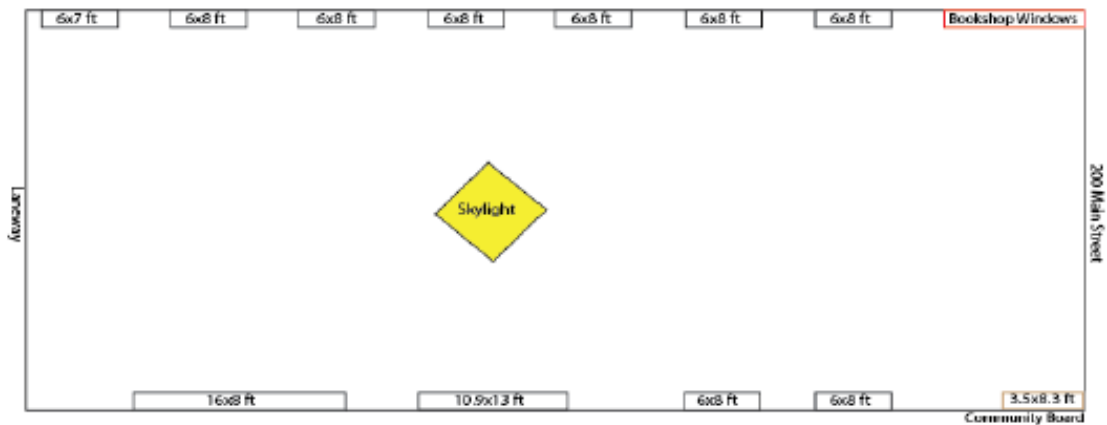
- Create a committee made up of City of Penticton, Art Council and Downtown Penticton Association
- Define the cost for each artist
- Set guidelines for artists to follow
- Committee approves the artwork before printing

Our Ask:

We are bringing this proposal forward to the Arts, Creative & Cultural Innovations Advisory Committee to see if there is any available funding to pay the artists a higher rate. As you can see, in the budget we have allocated \$4000 for the artist honorarium. We value our local artists' time, creativity, and energy, and would like to offer a suitable payment.

Breezeway Layout:

200 Block Breezeway Project





Revised Breezeway Project Budget Sept 2020

Revenue

Tweed Collection Grant	10,000
DPA	2,000
CoP In-kind Breezeway Prep	4,500

Total Revenue 16,500

Expenses

CoP In-kind Breezeway prep/lighting	4,500
JAFAs artwork wraps	4,000
DPA- community board/admin	2,000
Artists payment 11boards@\$1000 each	11,000

Total Expenses 21,500

Net -5,000



Date: October 6, 2020
To: Donny van Dyk, Chief Administrative Officer
From: Audrey Tanguay, Planning Manager
Address: 903 Vernon Avenue
Subject: **Development Variance Permit PL2020 - 8855**

File No: RMS/903 Vernon Ave

Staff Recommendation

THAT Council approve "Development Variance Permit PL2020-8855" for Lot 2, District Lot 366, Similkameen Division Yale District, Plan EPP37269, located at 903 Vernon Avenue, a permit that increases the permitted lot coverage on the subject property from 40% to 75% and allows for up to 50% of parking to be located offsite, within 200 m of the subject land and subject to the registration of a covenant or lease agreement acceptable to the City securing the parking.

Strategic priority objective

Community Vitality: The City of Penticton, guided by the Official Community Plan, will promote the economic wellbeing and vitality of the community.

Background

The subject property is located on the corner of Westminster Avenue and Alberni Street in close proximity to the Penticton Trade and Convention Centre. The property is owned by the City of Penticton. The property is zoned CT1 (Tourist Commercial) and is designated in the Official Community Plan as 'Institutional'.

Council has recently given staff direction to issue an Expression of Interest (EOI) with the intent of attracting an investor to construct a hotel on the property to support the Trade and Convention Centre.

The Trade and Convention Centre, while contributing close to \$11 million dollars in economic benefit to the community on a yearly basis, is considered underutilized. In discussions with Spectra, who manage the facility, the main limiting factor to attracting more business to the facility is the lack of a connected, high amenity hotel. The desire is to have a hotel of a minimum of 90 rooms.



In the preparation of the EOI documents, staff have determined that there are two limitations that make developing a 90 + room hotel for future investors. The first is the requirement for on-site parking and the second is the lot coverage provisions limiting the lot coverage to 40%. Staff are recommending that Council support a variance permit increasing the site coverage to up to 75% and allow for up to 50% of the required parking to be located off site.

Proposal

The request is to increase the permitted lot coverage on the subject property from 40% to 75% and allows for up to 50% of parking to be located on a separate property.

Analysis

When considering a variance to a City bylaw, staff encourage Council to be mindful as to whether approval of the variance would cause a negative impact on neighbouring properties and if the variance request is reasonable. In the consideration of the two proposed variances, staff can provide the following analysis:

1. Section 11.10.2: to increase the permitted lot coverage on the subject property from 40% to 75%.

The lot is located adjacent to but within the South Okanagan Event Centre Complex. The Official Community Plan identifies the lands as part of the complex. Given this situation, having a larger footprint on the property will fit in since the hotel is intended to be integrated into the larger property and linked through landscaping and other means to the amenities and current uses on the property.

2. Section 6.1.1.1: to allow for up to 50% of parking to be located on a separate property, within 200m of the subject land.

Allowing for a percentage of the required parking to be located offsite will assist a future purchaser of the land to either negotiate the lease of some city lands on the SOEC complex lands or to purchase other properties to achieve the required parking for the facility. This is a situation similar to what is allowed in other commercial zones in the City. One of the conditions would be that the parking would be secured via a covenant or other means satisfactory to the City, that the City would be a party to and would not be able to be released without approval from the City. The other condition would be that the parking would need to be located within 200m of the subject lands, a reasonable walking distance.

Usually, in the consideration of a variance permit, Council would have plans to consider. In this case however, the intent is to provide the opportunity for a future developer/ investor to deliver a product that Council desires and that will be in the community's best interest. The City will have opportunities to review proposals for the property prior to the sale of the lands and issuance of any further permits. Without the variances, a developer may not be able to bring forward a development desired by Council and the City.

Alternate recommendations

Council may wish to issue the Expression of Interest and then consider any variances that may come up at that time before issuance of a development permit for the site. If that is the case, Council should deny the development variance permit. Staff are not recommending this approach, as issuing the variance first, will provide more assurance to those responding to the EOI and removes uncertainty.

Attachments

Attachment A – Zoning Map

Attachment B – Official Community Plan Map

Attachment C – Draft Development Variance Permit PL2020-8855

Respectfully submitted,

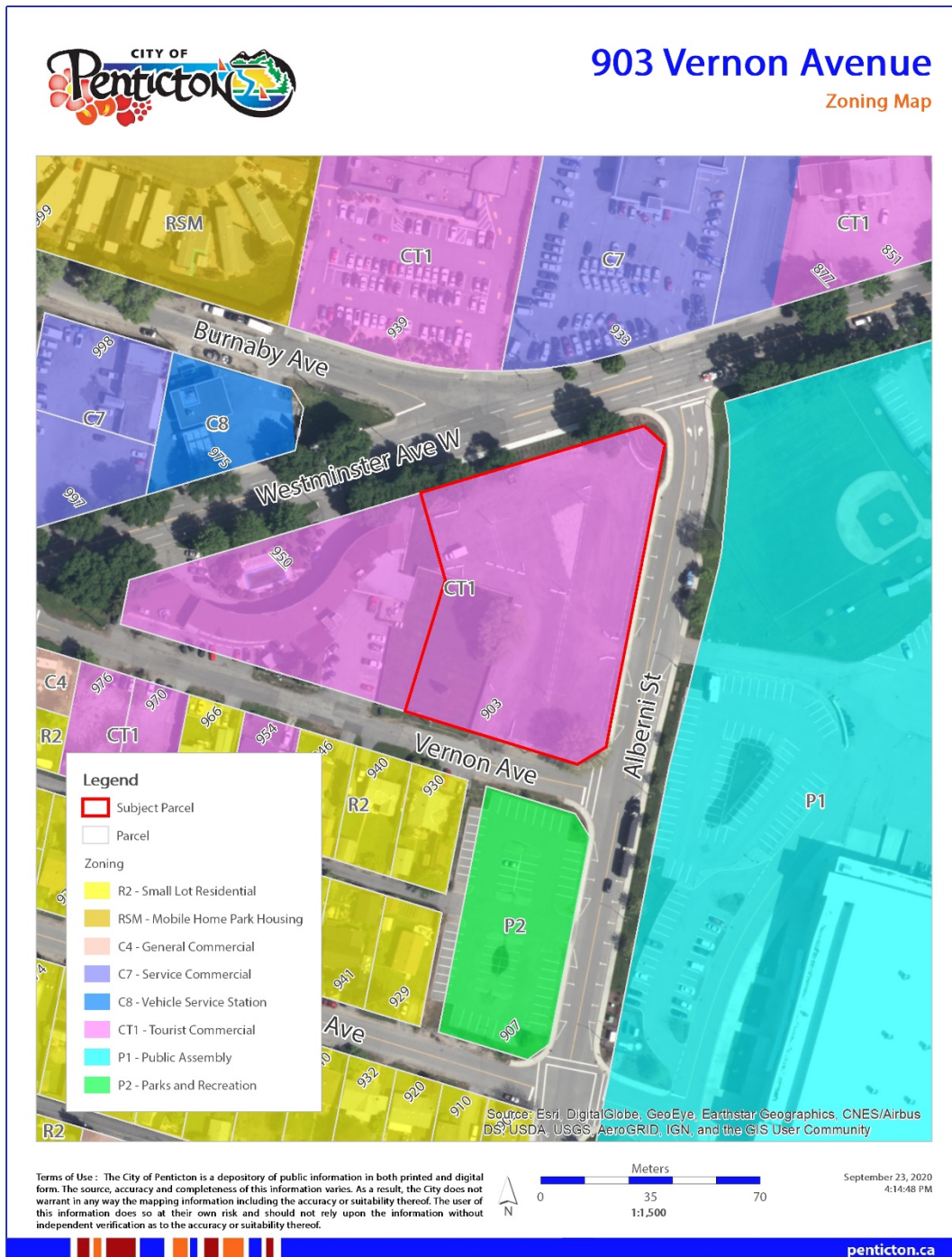
Audrey Tanguay

Planning Manager

Concurrence

Director <i>BL</i>	A/Chief Administrative Officer JB
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Attachment A – Zoning Map



Attachment B – OCP Map



Development Variance Permit

Permit Number: DVP PL2020-8828

Owner Name
Owner Address

Conditions of Permit

1. This permit is issued subject to compliance with all of the bylaws of the City, except as specifically varied or supplemented by this Permit.
2. This permit applies to:
 - Legal: Lot 2, District Lot 366, Similkameen Division Yale District, Plan EPP37269
 - Civic: 903 Vernon Avenue
 - PID: 029-242-681
3. This permit has been issued in accordance with Section 498 of the *Local Government Act*, to vary the following sections of Zoning Bylaw 2017-08 to allow for the construction of a hotel:
 - a. Section 11.10.2: to increase the permitted lot coverage on the subject property from 40% to 75%.
 - b. Section 6.1.1.1: to allow for up to 50% of parking to be located on a separate property, within 200m of the subject land and subject to the registration of a covenant or lease agreement acceptable to the City securing the parking.

General Conditions

4. In accordance with Section 501 of the *Local Government Act*, the lands subject to this permit shall be developed in general accordance with this permit.
5. In accordance with Section 504 of the *Local Government Act*, if the holder of this permit does not commence the development authorized by this permit within 2 years of the date of this permit, this permit shall lapse.
6. **This permit is not a building permit. In order to proceed with this development, the holder of this permit must hold a valid building permit issued by the Building Inspection Department.**
7. This permit does not constitute any other municipal, provincial or federal approval. The holder of this permit is responsible to obtain any additional municipal, federal, or provincial approvals prior to commencing the development authorized by this permit.
8. This permit does not include off-site infrastructure costs that may be required at the building permit stage, such as Development Cost Charges (DCC's), road improvements and electrical servicing. There may be substantial infrastructure and servicing costs payable at a later date. For more information on servicing and infrastructure requirements please contact the Development Engineering Department at (250) 490-2501. For more information on electrical servicing costs,

please contact the Electric Utility at (250) 490-2535.

Authorized by City Council, the ____ day of _____, 2020.

Issued this ____ day of _____, 2020.

Angela Collison
Corporate Officer

Council Report

penticton.ca

Date: October 6, 2020 **File No:** RMS/352 Winnipeg St
To: Donny van Dyk, Chief Administrative Officer
From: Adam Goodwin, Social Development Specialist and Nicole Capewell, Planner 1
Address: 352 Winnipeg Street

Subject: **Temporary Use Permit PL2020-8834**

Staff Recommendation

THAT Council approve "Temporary Use Permit PL2020-8834", a permit to allow the use 'emergency shelter' for Lot A District Lot 4 Group 7 Similkameen Division Yale (Formerly Yale-Lytton) District Plan KAP49367, located at 352 Winnipeg Street, for a period of six-months with the following conditions:

1. Permitting the number of beds for winter emergency shelter at 352 Winnipeg Street to a maximum of 42 beds;
2. Requiring all other beds in existing support locations in the community be full before using 352 Winnipeg Street;
3. Requiring appropriate staffing supports to be on-site 24 hours a day;
4. Requiring security to be provided on-site 24 hours a day;
5. Require communication be sent to the neighbouring properties from BC Housing indicating resources available for neighbours; and
6. That operations at Penticton's other shelter location remain operational during the winter months. There may not be a consolidation of shelter services to 352 Winnipeg Street.

AND THAT staff be directed to issue "Temporary Use Permit PL2020-8834".

Strategic Priority Objective

Community Safety: The City of Penticton will support a safe, secure and healthy community.

Proposal

The applicant (BC Housing) is requesting a Temporary Use Permit (PL2020-8834), to allow for an 'emergency shelter' to operate on the subject property until April 1, 2021, in response to capacity issues at the existing shelter due to COVID guidelines.

Background

The subject property is zoned C5 (Urban Centre Commercial) with a site-specific provision to allow for self-storage (approved in May 2020) and designated by the City's Official Community Plan as 'Urban Residential'.

After exploring many potential sites in Penticton, BC Housing and Penticton and District Society for Community Living (PDSCL) identified the subject property as a suitable location for a temporary COVID-19 Isolation Emergency Response Centre (ERC).

The site was identified during the early stages of COVID-19 to be an ERC. ERCs are set-up across the province to act as emergency locations for individuals experiencing homelessness in case there is a local COVID-19 public health crisis (e.g., outbreak, lack of space elsewhere to socially distance). The ERC includes pre-staged services set-up inside the building to ensure it is turn-key in the event it needs to operationalize. Therefore, the building already has a number of services available should they be required (e.g., socially distanced sleeping pods, health services). The facility was never used as an ERC, but remains on standby for that purpose.

The applicant is requesting a Temporary Use Permit PL2020-8834 for a six-month period. The permit would allow for the temporary use of the property as an 'emergency shelter', throughout the upcoming winter months. The Zoning Bylaw No. 2017-08 describes an emergency shelter as "a boarding home operated by non-profit society or government agency which provides temporary emergency accommodation, meals and support services to individuals who are in a housing crisis".

The request for a temporary use permit is a direct result of the COVID-19 crisis. Currently, the Compass House Shelter provides up to 30 beds for individuals experiencing homelessness. In the winter months, additional beds and spaces are provided as an emergency winter shelter (a total of 55 beds during the winter months were funded last year, although the numbers sheltered were likely much higher). However, the COVID-19 provincial guidelines will be in place through the 2020/21 winter shelter season, which has required BC Housing to look elsewhere in the community to accommodate the winter beds, as no more than 30 persons are permitted at Compass Court.

Staff note that the property owner still intends to continue moving forward with development plans for the property in the spring (self-storage on site and significant renovations to the building). The property owner understands the hardships that COVID-19 has placed on many communities and that the temporary use of the property as an emergency shelter will assist in providing beds to those in need through the winter months.

Technical Review

The application was reviewed by the City's Technical Planning Committee. No significant items were identified. Potential permits and requirements were provided to the applicant. Any building changes will be subject to Building Permit issuance and compliance with the BC Building Code and Building Bylaw.



Figure 1 - Property Location Map

Analysis

When considering an application for a temporary use permit, the Official Community Plan has established a set of guidelines for Council and staff to assess each request based on:

1. Compatibility with its Land Use Designation
2. Minimizing conflict with adjacent land uses
3. Avoiding impacts on environmentally-sensitive areas
4. Not creating a significant increase in the level of demand for services
5. Not permanently altering the site where it is located

Staff consider that the proposal is not in conflict with the majority of the items listed above. In reviewing the requested land use, staff considered that there may be conflict with existing adjacent land uses. As such, staff have included a number of conditions that are subject to the approval of the Temporary Use Permit. These conditions are intended to minimize conflict with adjacent land uses for the limited duration of the permit. Staff understand the significant impacts that COVID-19 has had on the community, including those experiencing homelessness and programs adapting their services to respond to the pandemic.

In addition to the temporary use permit being limited to a six-month duration (October 2020 to March 2021), staff are recommending the following conditions be placed on the permit:

1. Permitting the number of beds for winter emergency shelter at 352 Winnipeg Street to a maximum of 42 beds.
 - a. While the facility can accommodate over 70 persons, staff consider a restriction on the numbers appropriate. The City's main emergency shelter at Compass House will still be operating all winter with the 30 year-round shelter beds. Staff consider the 42 beds will meet the community's need given last year's numbers of sheltered persons per night through the winter (65 – 75 persons a night were sheltered).
 - b. Staff note that the 42 beds does not include the 20 beds / isolation pods that are set aside for COVID isolation at Victory Church.
2. Requiring all other beds in existing support locations in the community be full before using 352 Winnipeg Street.
 - a. 352 Winnipeg Street will be used to supplement the existing services that are in the community. This location is not intended to replace other beds in the community, but rather used as an emergency location to ensure the safety and well-being of individuals experiencing homelessness during the winter months.
3. Requiring appropriate staffing supports to be on-site 24 hours a day.
 - a. As indicated within the applicant's Letter of Intent (Attachment 'X'), this is already anticipated to occur and would include prescriptions filled and delivered to site, outreach overdose prevention and primary care supports, as well as ongoing case management for those connected with mental health and substance use services through Interior Health.
4. Requiring security to be provided on-site 24 hours a day.
 - a. The applicants have indicated that camera systems and access control to the site have already been installed, and that 24-hr, 7 days a week, a private security operator will also be provided.
5. Require communication be sent to the neighbouring properties from BC Housing indicating resources available for neighbours (i.e., contacts for BC Housing, information on shelter, neighbourhood advisory process, contacts for PDSCL on-site manager, information about the services being provided by Interior Health Authority).

- a. The applicants have indicated this service is already planned for, including 24-hr staffing from BC Housing and PDSCL. Local residents will be provided with contact information and a direct line to the manager of the site for any questions and concerns that they may have.
- 6. That operations at Penticton’s other shelter location remain operational during the winter months. There may not be a consolidation of shelter services to 352 Winnipeg Street.

Public health and safety is identified as a top priority, and through the use of the conditions listed above, staff feel the impacts of an emergency shelter at the subject property will be lessened or mitigated. Further, the proposal to have beds available at 352 Winnipeg Street will be a trial in alleviating the neighbourhood pressure at the Compass House Shelter and on encampments on public lands.

BC Housing has committed to fully resource this facility to ensure suitable integration in to the neighbourhood.

Staff are recommending that Council support the issuance of a permit for a six-month period. Any future request for subsequent temporary use permits on the subject property would be re-evaluated by staff and require Council’s consideration.

Alternate Recommendations

Alternate Recommendation:

Council may feel that an emergency shelter is not appropriate for this location, even with the number of restrictions in place, even on a temporary basis. If this is the case, Council should deny the Application. If Council were to deny the application, BC Housing and community housing partners will need to try to find another location in the community to house persons experiencing homelessness in Penticton this winter and it is likely that the problems surrounding compass Court will continue and Bylaw Services will continue to deal with the impacts of housing encampments on City land.

THAT Council deny “Temporary Use Permit PL2020-8834”.

Attachments

- Attachment A – Zoning Map
- Attachment B – Official Community Plan Map
- Attachment C – Letter of Intent
- Attachment D – Temporary Use Permit

Concurrence

Director <i>BL</i>	A/Chief Administrative Officer JB
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Respectfully submitted by both,

Adam Goodwin
Social Development Specialist

Nicole Capewell
Planner 1

Attachment A – Zoning Map



352 Winnipeg Street

Zoning Map



Legend

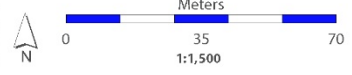
- Subject Parcel
- Parcel

Zoning

- RD1 - Duplex Housing
- RD2 - Duplex Housing: Lane
- RM2 - Low Density Multiple Housing
- RM3 - Medium Density Multiple Housing
- RM4 - High Density Multiple Housing
- C3 - Mixed Use Commercial
- C5 - Urban Centre Commercial
- P1 - Public Assembly
- P2 - Parks and Recreation

Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

Terms of Use: The City of Penticton is a depository of public information in both printed and digital form. The source, accuracy and completeness of this information varies. As a result, the City does not warrant in any way the mapping information including the accuracy or suitability thereof. The user of this information does so at their own risk and should not rely upon the information without independent verification as to the accuracy or suitability thereof.



Tuesday, September 22, 2020
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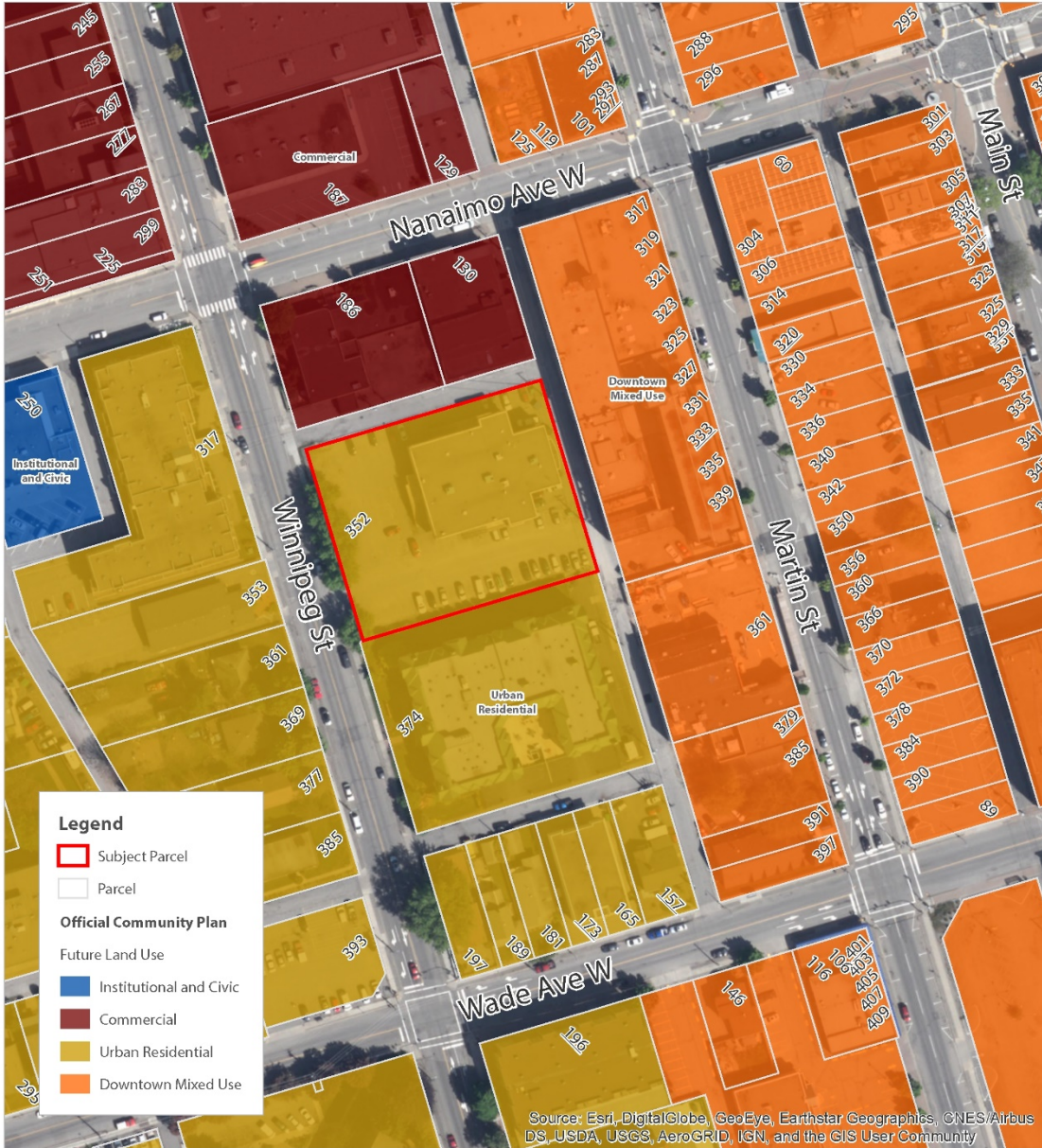
penticton.ca

Attachment B – Official Community Plan Map



352 Winnipeg Street

Official Community Plan Map



Legend

- Subject Parcel
- Parcel

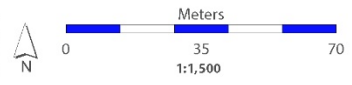
Official Community Plan

Future Land Use

- Institutional and Civic
- Commercial
- Urban Residential
- Downtown Mixed Use

Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

Terms of Use: The City of Penticton is a depository of public information in both printed and digital form. The source, accuracy and completeness of this information varies. As a result, the City does not warrant in any way the mapping information including the accuracy or suitability thereof. The user of this information does so at their own risk and should not rely upon the information without independent verification as to the accuracy or suitability thereof.



Tuesday, September 22, 2020
4:11:31 PM



penticton.ca

Attachment C – Letter of Intent

LETTER OF INTENT

by

BC Housing Management Commission (BC Housing)

Regarding the Temporary use of the Victory Church at 352 Winnipeg Street as a means of temporary shelter in the City of Penticton for vulnerable persons who are Homeless.

Intent

BC Housing (BCH) and its non-profit partner, Penticton and District Society for Community Living (PDSCL), wish to utilize the Victory Church at 352 Winnipeg Street in Penticton as a temporary capacity expansion shelter in response to the ongoing COVID-19 pandemic.

Background: COVID-19 Response

In spring of 2020, after exploring potential sites in Penticton suitable for a COVID-19 Isolation Emergency Response Centre (ERC), the Victory Church was leased through a private owner. In preparation for the location's COVID-19 intended use, BC Housing and our partners undertook engagement with the community.

That site has the ability to isolate any community members that would be unable to isolate themselves should they be required to do so. The location has the potential to isolate up to 70 individuals using three separate rooms, and sleeping "pods" purchased by BCH that provide a bed and nightstand, as well as partition walls that provide a degree of privacy for the user. Portable showers and additional washrooms have been brought in and installed outside of the building, and privacy fencing surrounds the entire area.

While the upstairs was developed onto an Emergency Response Centre, a parallel COVID-19 response effort has been made on the ground floor, which has been renovated into a one-stop drop-in centre that promotes enhanced hygiene. This Hygiene Centre allows for use of the portable toilets and showers, as well as laundry facilities and hygiene products. Both the design and implementation of the ERC and Hygiene centre are the results of a strategic planning group involving Interior Health and their Vulnerable Populations team, BC Housing, the City of Penticton, PDSCL, SOSBIS and other various non-profit partners in Penticton. The Hygiene Centre has been operating well for several months and has been positively received by the community.

A third response in Penticton has been to have a number of motel rooms on hand for those who have no ability to isolate if need be, but could do so safely with little staff support. While these rooms were fully utilized in the early days of the response, most of those individuals using them have since been housed, leaving those rooms in check for any emergent COVID related need.

To date, there has not been a need to open the ERC portion of the Victory Church. If and when a community member with no ability to isolate tests positive, or if multiple individuals are required to isolate while awaiting test results, and these individuals will require on site, 24 hour a day staff support, the Victory Church ERC can be operationalized within hours.

Background: Current Shelter Operations

In the summer months, the Compass House Shelter is funded by BC Housing to provide up to 30 beds for those experiencing homelessness. In the winter months, between November 1 and March 31, BC Housing provides funding for an additional 25 beds, operating a total of 55 beds. Current Compass House shelter capacity while observing Health Authority personal distancing guidelines is 30 individuals. Those COVID-19 guidelines will be in place throughout the 2020/2021 winter shelter season, and as such an additional shelter site for Penticton is critical.

Compass House also provides access to health services for residents, including access to substance use addiction and mental health referrals and other social supports. Opioid overdose prevention services and supplies are also provided.

Intent: Temporary Capacity Expansion Shelter (TCES)

If approved, the Victory Church capacity expansion shelter would provide much needed beds that would be available to those in Penticton experiencing homelessness. The shelter would be operational between October 2020, and March 31, 2021.

The interior of the building has been designed to provide areas of isolation and potential shelter overflow needs. The site can also support the needs of the winter shelter and still provide space for those needing to isolate. PDSCL is prepared to continue to operate the winter shelter in the Victory Church location, with meals being delivered from Compass House, as well as continuing to operate the year-round shelter at Compass House. Staffing will be 24 hours a day. Interior Health has committed to providing daytime in-reach supports to Victory Church. This would include, prescriptions filled and delivered to site, outreach, overdose prevention and primary care supports, as well as ongoing case management for those connected with mental health and substance use services through IH.

Shelter guests will be provided with the same services that are available at Compass House, and those needing to isolate will have their needs met and get the care they require in order to isolate in place, and not risk the health and safety of the community of Penticton. BC Housing has provided isolation “pods” for both shelter guests and those needing to isolate. Additional hygiene facilities are on site and fenced in for privacy. The additional shelter capacity will provide us with an opportunity to extend health and safety services to a greater number of vulnerable Penticton residents.

This shelter overflow use will be a temporary measure to promote public health and safety. BC Housing and PDSCL will have 24-hour staffing and local residents will have contact information that provides a direct line to the manager of the site for any questions and concerns they may have. Camera systems and access control to the site have been installed, and 24 hour a day, 7 days a week, private security will be provided.

Public health and safety is a top priority at BC Housing. We know there will be community questions about this change in intended use for the location, and we’re committed to ensure an open and

responsive dialogue with our community, both now and on an ongoing basis. Should issues arise, we will work closely and proactively with our community partners to both communicate with the community, and swiftly address their questions or concerns.

Thank you for your consideration,

Matthew Camirand
Supportive Housing Advisor
BC Housing, Interior Region
2020-08-31

Temporary Use Permit

Permit Number: TUP PL2020-8834

Owner Name
Owner Address

Conditions of Permit

1. This permit is issued subject to compliance with all of the bylaws of the City, except as specifically varied or supplemented by this Permit.
2. This permit applies to:
 - Legal: Lot A District Lot 4 Group 7 Similkameen Division Yale (Formerly Yale-Lytton)
District Plan KAP49367
 - Civic: 352 Winnipeg Street
 - PID: 018-187-391
3. This permit has been issued in accordance with Section 493 of the *Local Government Act*, to allow for the temporary use of the above noted lands for an 'emergency shelter', subject to the following conditions:
 - i. Permitting the number of beds for winter emergency shelter at 352 Winnipeg Street to a maximum of 42 beds;
 - ii. Requiring all other beds in existing support locations in the community be full before using 352 Winnipeg Street;
 - iii. Requiring appropriate staffing supports to be on-site 24 hours a day;
 - iv. Requiring security to be provided on-site 24 hours a day;
 - v. Require communication be sent to the neighbouring properties from BC Housing indicating resources available for neighbours; and
 - vi. That operations at Penticton's other shelter location remain operational during the winter months. There may not be a consolidation of shelter services to 352 Winnipeg Street.

General Conditions

4. In accordance with Section 501 of the *Local Government Act*, the lands subject to this permit shall be developed in general accordance with this permit.
5. In accordance with Section 497 of the *Local Government Act*, this permit shall expire on **April 1, 2021**.

6. **This permit is not a building permit. In order to proceed with this development, the holder of this permit must hold a valid building permit issued by the Building Inspection Department.**
7. This permit does not constitute any other municipal, provincial or federal approval. The holder of this permit is responsible to obtain any additional municipal, federal, or provincial approvals prior to commencing the development authorized by this permit.
8. This permit does not include off-site infrastructure costs that may be required at the building permit stage, such as Development Cost Charges (DCC's), road improvements and electrical servicing. There may be substantial infrastructure and servicing costs payable at a later date. For more information on servicing and infrastructure requirements please contact the Development Engineering Department at (250) 490-2501. For more information on electrical servicing costs, please contact the Electric Utility at (250) 490-2535.

Authorized by City Council, the ____ day of October, 2020.

Issued this ____ day of October, 2020.

Angela Collison
Corporate Officer

DRAFT

From: Patti Hamborg
Sent: Monday, October 5, 2020 10:20 AM
To: corpadmin
Subject: Temporary Use Permit PL2020-8834

Temporary Use Permit PL2020-8834
352 Winnipeg Street, Penticton

I was absolutely appalled to read in a newspaper article that this temporary use permit was to go before city council. A temporary use permit for an overflow emergency shelter for a six month period. As the owner of a neighbouring property I received a letter from BC Housing this past spring to advise they were applying for approval to set up an ERC and hygiene center at this building. I received nothing from BC Housing for this current application. Why would that be?

I live half a block away from this building and am very familiar with issues at this building. Issues that affect my ability to feel safe living in my neighbourhood. In the past, newspaper articles have referenced and also quoted city staff about problems at this building - nuisance building, people gathering, a hotspot for loitering, vandalism and other activities, the number of calls for bylaw issues. Anyone in the area was able to witness these undesirable activities on a very frequent basis and I fear that by approving this application we will see this well-known building return to being a hotspot! Once the fencing was erected around the perimeter of the building things did improve. This past summer when the ERC and the hygiene centre was opened it reared it's ugly head again and many times I felt very uncomfortable walking past this building (even during daylight hours) because of the people hanging around. The area around this building is home to many respectable residents, many are seniors. The existing problem areas in the neighbourhood such as the activities that go on behind the Martin Street Plaza Building or the occupants of the Saint Saviour's Anglican Church property and other spots in the neighbourhood already makes one feel unsafe. Far too many people loitering or wandering around the buildings and parking lots, day and night, many with obvious drug and/or mental health issues and some just being obnoxious and aggressive. Why are we to be subjected to more problems?

I understand the facility will be staffed 24 hours a day and there will be 24 hour on site security. Presumably this is the same as at the Compass Court (House) and if the Compass Court is to be used as a reference point on how the operators of these facilities enforce the rules for acceptable behaviour, I can only envision more of a nightmare for our neighbourhood. BC Housing and the PDSCL should be ashamed and embarrassed of what they have created in the neighbourhood around the Compass Court and should be held accountable. This is totally wrong. Homelessness is a problem but at some point different strategies have to be tried. Maybe if an emergency shelter was opened in a single family neighbourhood, in a nice part of town, people would see what us downtown homeowners and taxpayers have to put up with. Penticton has created an industry of providing for and servicing the homeless. Every city should want a vibrant and livable downtown but at every turn Penticton seems to make decisions to discourage this. I oppose this application and will be watching Tuesday's council meeting with interest.

Patricia Hamborg
305 - 196 Wade Ave W, Penticton V2A 1T6

From: Jan Higgins
Sent: Friday, October 2, 2020 6:33 AM
To: corpadmin
Subject: Temporary Use Permit PL2020-8834

Regarding Temporary Use Permit PL2020-8834

This property has been of concern to the neighbourhood for several years. It has been a hangout for street people during the day, also seeing overt drug use, overnight partying and sleeping places.

Since it was purchased in 2019 the activity has decreased, especially since the open car park area under building was fenced off.

In March 2020 the building was repurposed as COVID-19 emergency care, with beds and dividers being installed. Fortunately, to my knowledge this facility has not been needed. However, the new Hygiene Center on the north side of the building has increased activity in the area. It has been well supervised and kept secure.

For myself, living in the area where there are two seniors residences and a 55 plus condominium, this proposal caught my interest. I accept the need for temporary housing during the winter. I am pleased to see there is mention of 24 hour supervision and security services in the proposal.

I would hate to see this area return to an area of prostitution, drug use and all night partying. Please ensure in passing this Temporary Use Permit that all the protocols and security issues are followed. Also remember that this is a "Temporary" solution and continue to work toward making available supported housing for those in need.

Sincerely

Jan Higgins
374 Winnipeg St.
Penticton V2A 5M5

From: Dan Shewfelt
Sent: Saturday, October 3, 2020 1:42 PM
To: corpadmin
Subject: 352 Winnipeg St Rezone Application

Good Day,

I am a property owner and resident of the area of the subject property. I would like to voice my opposition to this application.

I do not believe that this choice of location will have any positive impact on the residents of the area, who many are seniors. As a long time downtown resident, I have seen open drug use daily. Drug transactions occur day and night in plain view. Anti social behavior has now become the norm in this area. and now with this proposed shelter, I feel that these issues will increase. I have been the victim of theft many times. I have been spit on, had knives, needles and bats used on me by individuals, who for no real reason other than asking that someone please leave me property. It is bad enough that the IHA clinic on Martin St was allowed be located in a completely inappropriate location, and the supportive housing, Burdock House was allowed to located where it is as both of those places have caused a great deal of the issues in my area. It is to the point that I am even unable to walk down winnipeg st as the sidewalks are full of chopped up bikes, shopping carts and garbage. Where does this end?

What I also find ironic is the proponent will be having 24 hr security. I would like to ask the security provider and the proponent if it is standard policy to allow drug use and open alcohol consumption on site. I walk by this location daily on my way to work and I often see the "security" person socializing with individuals drinking and using drugs, all in plain sight.

Unfortunately, I cannot, and will not support this initiative.as I believe it will have a negative impact on my neighbourhood, and the citizens that live here. I also have no doubt that the city will just go ahead regardless of public opinion. Why even bother asking for public input when the proponent and city will just let it go in. Has anyone even considered the seniors residences that are on 3 sides of this place?

I look at how the proponent is running Compass Court and have little faith that this facility will be any different in the fact that it is common knowledge that drug and alcohol use is permitted on the property and the alleyways and other areas in the vicinity. This place will be allowed to degenerate into a publicly funded 24 hr a day drug market and stolen bike chop shop.

I feel that the special interest groups that are proposing this application have a louder voice than the property owners and citizens that are often too afraid to walk the streets out of fear.

Dan Shewfelt
205-196 Wade Ave W
Penticton BC

From: Patricia Van Koll
Sent: Sunday, October 4, 2020 4:20 PM
To: corpadmin
Subject: 352 Winnipeg temporary use permit

October 4, 2020

To the Penticton City Council,

I am writing this letter in regards to the Temporary Emergency Shelter which is proposed to be located at 352 Winnipeg Street. As a citizen of Penticton, I am extremely concerned about this location. I am an owner and live at 196 Wade Avenue West. I am feeling quite stressed and worried about the location of this Temporary Emergency Shelter.

I will explain why.

In the past few years, we have had to experience much negative impact as a result of the Martin Street Clinic which is located at 437 Martin. Prior to the Martin Street Clinic being open it was our understanding that they would be good neighbours and as well Interior Health was going to have security on site. Unfortunately, both of these promises were not kept.

We were victims of theft not once, not twice but three times. We have also had to experience verbal threats several times. We have had to witness open drug use/drinking/people setting up camp/ nudity and people urinating and defecating on this property. As a result, we were truly unable to come home at the end of the day from work and relax. This was due to the goings on at the back of the 437 Martin Street Property which our property faces.

We had many sleepless nights and also experienced overwhelming feelings of distress as having concerns about our safety.

So now there is a proposal to have a Temporary Emergency Shelter located about a block from us. Are we worried and concerned? Yes, we are extremely worried and concerned.

My understanding is that PDSCL will be managing this Temporary Emergency Shelter. It is also well known that PDSCL is currently managing Compass Court. PDSCL has not been a good neighbour and there have been many business owners and homeowners which have been affected negatively as a result of Compass Court being located there.

I hear there is to be security on site. My concern is what will the security be doing and how long will it last?

So, what happens when one of the homeless individuals does not follow the guidelines or policies while staying at the shelter? I believe I know the answer they are back out on the streets terrorizing the neighbourhood. What's ironic is that the most unpredictable homeless individuals end up right back on the street as there is nowhere else for them to go. Which in turn then makes it unsafe for many Penticton citizens because you have the most unpredictable homeless individuals on the streets again.

Penticton is well known for its tourism, cycling, golfing, beaches, wineries etc. The way things have been going in Penticton with the increased homelessness, substance use and mental health. Tourists will not want to come here.

If the council permits this Temporary Emergency Shelter, I hope the applicant and the council are working in good faith.

Thank you, Patti Van Koll,

Address 205-196 Wade Ave West, Penticton, B.C. V2A-1T6

Memorandum

penticton.ca

Date: October 6, 2020
To: Donny van Dyk, Chief Administrative Officer
From: Superintendent Brian Hunter, Office in Charge Penticton South Okanagan Similkameen Regional Detachment
Subject: **Notice of Motion – Two (2) Additional RCMP Officers**

Notice of Motion from Mayor Vassilaki, for consideration on October 6, 2020:

THAT Council include funds in the 2021 budget discussion for two additional RCMP members.

Staff comments:

As of 2020, Penticton funds 48 police officers. The 2020-2024 financial plan contains an increase by one police officer in 2021.

The most recent "Police Resources" document as produced by the BC Government is for 2018. The 2019 statistics are not expected to be released until early 2021. **It is important to know that the number of reported crimes in Penticton increased by 55% from 2018 to 2019, making the situation significantly worse than what the numbers below indicate.** The following comments are based on 2018 statistics.

- There are 31 municipalities with a population greater than 15,000 in BC that are policed by the RCMP.
- Penticton has the highest Criminal Code caseload per officer amongst the 31 RCMP detachments at 113. The average caseload of the 31 detachments is 59. (Case load is the number of criminal offences recorded in a year divided by the number of police officers contracted out by the municipality and is an indicator of how busy the detachment is).
- If Penticton were to fund enough police officers to match the provincial caseload average, they would need to fund an additional 40 police officers.
- Per the 2018 Crime Severity Index, There are 321 policing jurisdictions across Canada with a population greater than 10,000. Of those 321 policing jurisdictions, Penticton is ranked 22nd for the highest overall Crime Severity (Top 7% in the Country).

As previously stated at the July 21 Council meeting, Penticton RCMP General Duty Officers have an average of, 12% of their time dedicated to proactive police work (Approximately 7 minutes an hour). Proactive police work is the "extra" things that police officers do, outside of responding to calls for service from the public and working on those files. Proactive police work includes things like; surveillance of drug dealers, traffic stops, foot patrols, bike patrols, targeting drug dealers, executing search warrants and most importantly, targeting our prolific offenders. A "healthy" detachment should have approximately 35% proactive time. Proactive policing is the primary way to reduce crime in a community. The only way to increase the members' proactive time is to increase the number of members at the detachment.

The addition of two members to our detachment's current strength would enhance our ability to proactively target the prolific offenders in our community. Prolific offenders are those criminals who continue to re-offend (recidivism) and cause the majority of the crime/issues in our community. Prolific offenders are the reason that our Crime Rate and our Crime Severity Index are so high. We currently do not have enough police resources to effectively police our prolific offenders and hold them accountable. Having more members would enhance the detachment's ability to effectively police our prolific offenders, which would be a significant factor in lowering our crime rate.

Please note, if these two additional positions are approved, they would not be on-site and the increase budget of \$360,000 would not be required until 2022.

Should this resolution receive Council's support, these additional officers will be considered as part of the 2021-2025 financial plan.

Concurrence:

CFO/GM Finance & Administration <i>JWB</i>	A/Chief Administrative Officer JB
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Memorandum

penticton.ca

Date: October 6, 2020
To: Donny van Dyk, Chief Administrative Officer
From: Blake Laven, Director of Development Services
Subject: **Notice of Motion – Additional Bylaw Officers / Days of Week & Hours of Operation**

Notice of Motion from Mayor Vassilaki for consideration on October 6, 2020:

THAT Council include funds in the 2021 budget discussion for two additional Bylaw Enforcement Officers and increase the hours of bylaw operations to 2:00 am, seven days a week.

Staff comments:

Over the last 3 years, a significant investment has been made in the Bylaw Department, moving from a staff of 4 (3 Bylaw Officers and a Supervisor) to a staff of 13 (6 Bylaw Officers, 5 relief officers, a Supervisor and an Intake Clerk). In addition, the Bylaw Department is now housed in its own downtown storefront office, moving in July 2020, from its previous location within City Hall.

The bylaw enforcement role has also evolved from one focussed on mainly parking / traffic enforcement, dealing with neighbour complaints and property use issues, to, in addition to those roles, regularly engaging the City's vulnerable populations. The investments in Bylaw over these past few years has increased perceptions of safety in the downtown and elsewhere in the City.

Bylaw staff traditionally work Monday to Friday and in the summer on Saturdays. This past summer Bylaw staff worked on Sundays as well, in response to a Council request and a corresponding budgetary amendment. Sunday coverage ceased as of the end of September, but Saturday coverage will continue throughout the rest of 2020.

Should Council wish to move to a situation of more permanent weekend coverage, additional full time Officers will be required. The requested two additional officers would cost approximately \$170,000/year and would allow for Saturday and Sunday coverage, albeit with reduced hours and still utilizing relief staff for coverage and holidays and some overtime for full time Officers.

Moving to Sunday/ full weekend coverage and providing staffing to 2 AM, 7 days a week would require an four bylaw officers additional, at a cost of \$340,000/year.

While the role of Bylaw has expanded in recent years, for the most part Bylaw staff still mainly respond to parking / traffic and neighbour / land use related enforcement files and having a visual presence at beaches and downtown. These tasks are not practical in the late evening / early morning hours (pay parking ends at 6 PM and does not exist on Sundays). Working within the current mandate, staff do not consider that Bylaw staffing until 2 AM would provide much benefit for the expense.

There are some duties that Bylaw could manage in the evening hours including proactive patrols, hot spot locations, ticketing of overnight parking, etc. Bylaw Enforcement Officers, however, have no lawful authority to investigate criminal offences which is usually the case in the later hours of the evening/night. After approx. 10-11pm, there are not typically bylaw offences taking place and instead criminal acts requiring police response.

Furthermore, risks to officers increases with the types of offences happening in the evening. Some of these concerns could be alleviated with additional training (additional training has not been factored into the estimated costs above).

Should this resolution receive Council's support, this initiative will be considered as part of the 2021-2025 financial plan.

Concurrence:

CFO/GM Finance & Administration <i>JWB</i>	A/Chief Administrative Officer JB
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Memorandum

penticton.ca

Date: October 6, 2020
To: Donny van Dyk, Chief Administrative Officer
From: Blake Laven, Director of Development Services
Subject: **Notice of Motion – Increase of Development Cost Charges by 40% on January 1, 2021**

Notice of Motion from Councilor Regehr for consideration on October 6, 2020:

THAT Council direct staff to bring back an amending bylaw to “Development Cost Charges Bylaw 2007-79” that increases all non open space (parks) DCCs by 40% on January 1, 2021.

Staff comments:

Staff understand this request to mean that all development cost charge (DCC) rates, with the exception of the Open Space DCC charge, would be subject to a 40% increase should this motion pass. This would mean that the water filtration, highways, domestic water, sanitary sewer and storm drainage DCC rates would be increased 40% and the Open Space (Parks) DCC would be dealt with separately.

Development Cost Charges (DCCs) are charges paid by developers at the time of development to finance infrastructure intended to support the community’s growth. DCCs are an important component of the City’s infrastructure financing approach.

With rates having been originally set in 2007 and without any substantial increase since that time, the DCC program is currently considered ‘underfunded’. Staff estimate that construction costs have risen by 40% since 2007 and with rates not increasing since 2007, funds currently being collected are not adequate to construct the works identified in the DCC program. This underfunding is exacerbating an estimated \$95 million in unfunded capital projects the City is facing over the next 5 years.

Prior to the COVID pandemic, staff were prepared to present Council with an amending bylaw raising DCC rates by 40% (20% July 1 and 20% on January 1, 2021). Extensive consultation on the proposed increases was done by the City’s engagement team in 2019 and preliminary approval from the Inspector of Municipalities, a necessary step when amending a DCC bylaw, was also in place. The bylaw, and updates to the DCC program, were put on hold as part of the financial relief package supported by Council in response to the pandemic.

Staff are intending a full review of the DCC program beginning in Q1 2021 based on Infrastructure Master Plan work that is currently underway. An interim 40% increase would ensure that the City would collect DCC funds at an up-to-date rate, until such time as the update project is complete – mid 2021.

With regard to the Open Space (Parks) DCC rate, staff can share that work is underway on updating parks and open space DCCs based on the projects identified in the Parks and Recreation Master Plan (2018) and new Official Community Plan (2019). That work is intended to form a separate DCC amendment bylaw and be presented to Council by the end of 2020.

Should this resolution receive council's support, staff would bring forward, for Council's consideration, the bylaw that was put on hold during the early COVID response – effectively raising rates of all non parks DCCs by 40% on January 1, 2020.

Concurrence:

<p>General Manager of Infrastructure</p> 	<p>CFO/GM Finance & Administration</p> 	<p>A/Chief Administrative Officer</p> <p>JB</p>
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Memorandum

penticton.ca

Date: October 6, 2020
To: Donny van Dyk, Chief Administrative Officer
From: Blake Laven, Director of Development Services
Subject: **Notice of Motion – Amendments to the DCC Reduction Bylaw**

Notice of Motion from Councilor Regehr for consideration on October 6, 2020:

THAT Council direct staff to bring back a bylaw that repeals “Development Cost Charges Reduction Bylaw 2010-11” and preserves DCC reductions for affordable housing.

Staff comments:

Development Cost Charges (DCCs) are charges paid by developers at the time of development to finance infrastructure (sewer, water, storm, parks and transportation) intended to support the community’s growth. DCC Reduction Bylaw 2010-11 provides reductions in the DCCs that a developer has to pay for projects achieving specified environmental criteria and/or meeting housing affordability goals.

Prior to the COVID pandemic, staff were prepared to present Council with a bylaw that repealed DCC Reduction Bylaw 2010-11 and replaced it with a new DCC reduction bylaw. Extensive consultation on the proposed changes was done by the City’s engagement team in 2019. The bylaw, and updates to the DCC program, were put on hold as part of the financial relief package supported by Council in response to the pandemic.

The current DCC reduction bylaw provides a 100% reduction for projects meeting specified housing affordability criteria and a 50% reduction for those projects that achieved a minimum point total on the sustainability checklist attached to the bylaw. The proposed bylaw proposed the following DCC reductions:

- 75% reduction for non-market housing meeting specific criteria
- 25% reduction for projects meeting provincial Step Code levels (above what is required by BC Building Code) and
- 25% for purpose built rental housing

The reductions for sustainable construction were intended to provide an incentive to build above what the current BC Building Code requires in an effort to create more energy efficient buildings. DCCs are one of the only ways that municipalities have to influence the construction industry to build more sustainably. The reductions for non-market housing and purpose built rental were intended to incentivize needed affordable housing in the community.



Given the City’s current financial situation, because of the COVID pandemic and underfunded capital program (\$95 million in unfunded capital projects over the next 5 years), Council may want to consider just rescinding the DCC Reduction Bylaw in its entirety and not replacing it with a new bylaw. The DCC reduction bylaw provides a good way to incentivize certain types of development, but the City can find other ways to achieve the same results without underfunding the DCC program. If Council were to move forward with just rescinding

the Bylaw, this would require all projects to pay the full DCCs specified by the DCC Bylaw. With regard to housing affordability, the City has seen many purpose built rental projects proceed in the past few years, without any DCC incentive to do so. Creating an incentive for more rental housing, may be seen as unfair to those projects that have previously proceeded. Furthermore, given the demand for rental housing, it is likely that the DCC incentive is unnecessary – many companies are actively developing projects in Penticton without the incentive in place. With regard to the development of non-market housing, Council can always pass an individual bylaw on any project they wish, amending the amount of DCCs paid. Many municipalities provide a yearly fund for this process. This ensures that the DCC program is fully funded through development and any contributions to non-market housing are accounted for through other means. This is likely a better way to account for these projects.

Should this resolution receive Council’s support, staff would bring forward a bylaw repealing DCC Reduction Bylaw 2010-11 and replacing it with a Bylaw that retains reductions for affordable housing, but not include the 25% reduction incentive to built to the Step Code as previously proposed.

Alternatively, if Council were to give direction to rescind the bylaw and not replace it with another reduction bylaw, staff would bring forward a report and draft bylaw achieving that intention.

Concurrence:

General Manager of Infrastructure 	CFO/GM Finance & Administration 	A/Chief Administrative Officer JB
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Memorandum



Date: October 6, 2020
To: Donny van Dyk, Chief Administrative Officer
From: Blake Laven, Director of Development Services
Subject: **Notice of Motion – Heritage Registry Program Review**

Notice of Motion from Councillor Sentes for consideration on October 6, 2020:

THAT Council include funds in the 2021 budget discussion for a review and development of a City of Penticton heritage registry program.

Staff comments:

The Penticton Heritage Registry was completed in four phases between 2006 – 2009 and currently includes 55 properties, owned both privately and publically (The City owns 11 properties on the Registry). As the development of the Registry is now 10 years past, many of the properties may have changed ownership and the benefits of being on the registry may not be fully understood. Furthermore, while there are 55 properties on the registry, there are many more places and buildings in the community that have heritage significance that could be contained within the registry.

The City’s Official Community Plan has as a ‘medium term’ project an update to the Heritage Strategy, which is a predecessor to a Heritage Registry update. This update would involve engagement with the community on the benefits of being recognized on the heritage registry and identify additional properties to be included onto the registry. It would also include First Nations sites and places and more modern landmarks, including examples of mid-century modern architecture. This program would also take into account exploring the designation of identified character neighbourhoods as Heritage Conservation Areas.

A medium term project is one that is intended to be 3 – 5 years after adoption of the OCP. This work is scheduled for beyond 2022 and is not currently included in the 2021 Planning Department Budget.

Staff estimate that such a review would be in the order of \$50,000 - \$75,000, involving the use of consultants. Matching grants would likely be available to reduce the City’s financial contributions.

Should this resolution receive council’s support, this initiative will be considered as part of the 2021-2025 financial plan.

Concurrence:

<p>CFO/GM Finance & Administration</p> <p><i>JWB</i></p>	<p>A/Chief Administrative Officer</p> <p>JB</p>
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Memorandum

penticton.ca

Date: October 6, 2020
To: Donny van Dyk, Chief Administrative Officer
From: Blake Laven, Director Development Services
Subject: **Notice of Motion – Public Washroom Security / Attendant**

Notice of Motion from Councillor Sentes for consideration on October 6, 2020:

THAT Council include funds in the 2021 budget discussion for a plan to address the public washroom safety concerns, this may include security or an attendant.

Staff comments:

The City operates 21 separate washroom facilities in parks and beaches – not including facilities within buildings, such as the museum / library, city hall or community centre which also have washrooms open to the public (Attachment A).

Public washrooms are opened either year-round, seasonally or during special events by schedules and bookings (events / sports fields) and are generally opened at 7 AM and closed at dusk. Washrooms are opened, closed and stocked and cleaned twice a day by a contractor.

The annual public washroom budget is \$145,000 a year, which includes the contract price, vandalism repairs, utility costs, facilities staff time for maintenance and other contingencies. Additionally, Community Safety Bylaw Enforcement Officers conduct proactive patrols as part of their daily duties to ensure safety and cleanliness of washroom facilities.

Vandalism, graffiti and drug use are constant problems with public washrooms, costing on average over \$50,000 a year for the past three years (this is included in the \$145k yearly budget listed above). Vandalism occurs most frequently during periods when the washrooms are closed / locked or shortly after they are opened, first thing in the morning. Damage to doors and locks is expensive even if persons are not successful in gaining entry. The five (5) year-round washrooms (OK Lake Park, Jubilee, Lakawanna, Skaha East and Skaha Main) are heated and attract individuals experiencing homelessness in colder months. These washrooms, given their more prominent locations in the community, experience the most amounts of vandalism. Vandalism also puts targeted washrooms out of commission for repairs and cleaning for days and sometimes longer, depending on the extent of the damage and availability of trades people / cleaners to respond.

This summer, security was hired for the washrooms in the Braeburn parking lot downtown (200 block) for 12 hours per day, 7 days a week. The cost of this was approximately \$8,500 a month. Staff comment that the security was successful in deterring vandalism at these washrooms (but also comment that this may have pushed vandalism to other washroom facilities). At times, security officers requested assistance from Bylaw Officers to help manage issues at this location.

Staff recommends, that if Council wishes to support paid attendants at washrooms, that the five (5) year-round washrooms (OK Lake Park, Jubilee, Lakawanna, Skaha East and Skaha Main) would make the most sense. The estimated cost of this per washroom would be \$102,000/year per site x 5 sites = \$510,000. This would provide



coverage 12 hours per day (from opening to closing), 7 days a week, 12 months per year. Council may consider a pilot project with fewer hours, fewer locations and/or seasonally.

Staff also note though, that the cost of dealing with the vandalism for all washroom facilities (~\$50,000 a year), is less than the cost of hiring security for one washroom attendant year round (\$102,000). Even if the 5 washrooms have attendants, there will still be vandalism and other undesirable activity at the other washrooms and there will still be attempts to enter when the washrooms are closed / locked. Community Safety Bylaw Enforcement Officers will continue to patrol washroom facilities proactively and respond to public complaints/concerns when a call for service is dispatched during operational hours.

The City and other partners are working on other means of reducing the underlying causes of this problem, including providing supportive housing to those experiencing homelessness and addictions, working with the justice system on sentencing of repeat offenders, reducing substance use addiction and other community wide initiatives. Having washroom attendants would provide a reduction in vandalism while the City and partners work on these initiatives, but is a much more expensive option than dealing with the vandalism directly.

Should this resolution receive council's support, this initiative will be considered as part of the 2021-2025 financial plan.

Concurrence:

General Manager Infrastructure 	CFO/GM Finance & Administration 	A/Chief Administrative Officer JB
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Attachment A: City managed public washrooms

Park	open	closed	open	Closed – no later than 9pm
Jubilee Breezeway @ Rotary Family Washrooms	Year Round		by 7:00 AM	Dusk
Lakawanna Family Washrooms (East side)	Year Round		by 7:00 AM	Dusk
Okanagan Lake Family Washrooms	Year Round		by 7:00 AM	Dusk
Skaha East Family Washrooms	Year Round		by 7:00 AM	Dusk
Skaha Park Main Family Washrooms	Year Round		by 7:00 AM	Dusk
Riverside Park	April 1	Sept 30	by 7:00 AM	Dusk
Skaha Park East	May 1	Sept 30	by 7:00 AM	Dusk
Sudbury Beach	April 1	Sept 30	by 7:00 AM	Dusk
Kings Park	April 1	Oct 30	by user	clean once a day
Lions Park	April 1	Oct 30	by 7:00 AM	Dusk or later by ball schedule
Jubilee Breezeway @ Rotary	May 1	Sept 30	by 7:00 AM	Dusk
Lakawanna Park (West side of building)	May 1	Sept 30	by 7:00 AM	Dusk
Okanagan Lake Park	May 1	Sept 30	by 7:00 AM	Dusk
Skaha Park Main	May 1	Sept 30	by 7:00 AM	Dusk
Gyro Park	May 1	Oct 30	by 7:00 AM	Dusk
Gyro Park Mobile Washrooms	May 1	Oct 30	by schedule	by schedule & bookings
200 Block Washroom	May 1	Oct 30	by 7:00 AM	Dusk
Okanagan Marina Washrooms	Victoria Day	Labour Day	by 7:00 AM	Dusk
Edmonton Ave	April 1	Sept 30	by schedule	by schedule & bookings
Carmi Ball Field	April 1	Oct 30	by schedule	by schedule & bookings
McNicoll Ball Field	April 1	Oct 30	by schedule	by schedule & bookings

Memorandum

penticton.ca

Date: October 6, 2020
To: Donny van Dyk, Chief Administrative Officer
From: Mitch Moroziuk, General Manager of Infrastructure
Subject: **Notice of Motion – Parks**

File No: 1855-03

Notice of Motion from Councilor Sentes for consideration on October 6, 2020:

THAT Council include funds in the 2021 budget discussion for improved garbage receptacles and maintenance in City parks.

Staff comments:

The Public Works Department have recognized that the amount and type of garbage in Parks is different in the wake of COVID19 and as a result of changes to the rules around alcohol consumption on beaches and in parks. Changes are required to improve the service that we provide to our customers.

The 2021 Draft Budget will include funds to make changes to the way in which garbage in our high use parks is collected. This will include changes to the type of receptacles used and the timing and number of collections done. The exact costs are still being worked on but they will be ready for discussion during the 2021 Budget deliberations.

Concurrence:

A/Chief
Administrative Officer

JB

Memorandum

penticton.ca

Date: October 6, 2020
To: Donny van Dyk, Chief Administrative Officer
From: Jim Bauer, CFO/GM Finance & Administration
Subject: **Notice of Motion – Lakawanna Tennis Courts**

File No:

Notice of Motion from Councilor Sentes for consideration on October 6, 2020:

THAT Council include funds in the 2021 budget discussion for improvements and repair to the two existing tennis courts on Power Street;

AND THAT Council direct staff to begin discussions with the local tennis organization as they have proposed funding a tennis bubble on Power Street.

Staff comments:


The Lakawanna tennis courts located on Power Street were resurfaced in 2013 to address water pooling and general surface painting at a cost of \$25,000. Presently the infrastructure of these courts is failing and requires a major upgrade. This upgrade includes new fences and the removal and replacement of the entire asphalt surface given damages from tree roots. The cost to remove and replace the existing two courts at Lakawanna is estimated at \$250,000, is not currently contemplated in the 5 year capital budget and is unfunded.

Parks Staff plan to complete a review of racquet court usage in 2021 to determine current usage on tennis and pickleball courts and future anticipated community needs. This data, along with the Parks & Recreation Master Plan, would inform decision making on how best to move forward with court renewal, removal or possible change in usage.

Earlier in 2020 the City was approached as interest was expressed by tennis supporters in resurrecting a plan for an indoor tennis facility. At that time staff proposed that discussions on any further funding and development of a newly publicly funded indoor tennis facility be postponed until the completion of the Asset and Amenity Management initiative. At the February 4 Council meeting Council defeated the motion THAT Council direct staff to proceed with the next steps in the development of a new publicly funded indoor tennis facility, and return to Council with project details and financial impacts. In addition, the completion of the racket sports utilization study is another important step before proceeding with further discussions.

Should this resolution receive council's support, these costs will be considered as part of the 2021-2025 financial plan and staff will begin discussions with the local tennis organization on proposed funding of a tennis bubble on the Lakawanna site or other potential options for indoor courts.

Concurrence:

General Manager Infrastructure 	A/Chief Administrative Officer JB
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