



Agenda

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Regular Council Meeting
to be held at the City of Penticton, Council Chambers
171 Main Street, Penticton, B.C.
To view the Council Meeting, visit www.penticton.ca

Tuesday, May 3, 2022
at 1:00 p.m.

1. **Call Regular Council Meeting to Order**

2. **Introduction of Late Items**

3. **Adoption of Agenda**

4. **Recess to Committee of the Whole**

5. **Reconvene the Regular Council Meeting**

6. **Adoption of Minutes:**

6.1 Minutes of the April 5, 2022 Regular Council Meeting 1-8 Adopt

6.2 Minutes of the April 12, 2022 Special Council Meeting 9-10 Adopt

7. **Consent Agenda:**

Recommendation: THAT Council approve the Consent Agenda. 11-35

Consent Agenda:

1. *Minutes of the April 5, 2022 Committee of the Whole Meeting;*

2. *Minutes of the April 5, 2022 Public Hearing;*

Vassilaki 3. *Safety and Security Advisory Committee Meeting Draft Minutes of April 4, 2022;*

Sentes 4. *Heritage and Museum Advisory Committee Meeting Draft Minutes of April 6, 2022;*

Miller 5. *Special Parks and Recreation Advisory Committee Meeting Draft Minutes of April 7, 2022;*

Watt 6. *Economic Prosperity and Development Services Advisory Committee Meeting Draft Minutes of April 8, 2022;*

Sentes 7. *Arts, Creative and Cultural Innovations Advisory Committee Meeting Draft Minutes of April 8, 2022;*

8. Staff Reports:

Supt. Hunter	8.1	RCMP Report <i>Staff Recommendation: THAT Council receive into the record the report titled "RCMP Report" dated May 3, 2022.</i>	36-39
Campbell	8.2	2021 Audited Financial Statements Delegation: Sinead Scanlon, BDO Canada LLP <i>Staff Recommendation: THAT Council accept the Financial Statements, as co-presented by BDO Canada LLP, for the year ending December 31, 2021.</i>	40-80
Campbell/ Jones	8.3	First Quarter 2022 Financial Update <i>Staff Recommendation: THAT Council receive into the record the report dated May 3, 2022 titled "First Quarter 2022 Financial Update".</i>	81-92
Campbell	8.4	First Quarter 2022 Corporate Business Plan Update <i>Staff Recommendation: THAT Council receive into record the report dated May 3, 2022 titled "First Quarter 2022 Corporate Business Plan Update".</i>	93-98
Campbell	8.5	Procurement and Request for Proposal (RFP) Process <i>Staff Recommendation: THAT Council receive into record the report dated May 3, 2022 titled "Procurement and Request for Proposal (RFP) Process".</i>	99-122
Sparrow	8.6	Tax Rates Bylaw No. 2022-17 <i>Staff Recommendation: THAT Council give first, second and third reading to "Tax Rates Bylaw No. 2022-17", a bylaw that establishes property taxation rates for the 2022 tax year with a business tax multiplier of 2.00.</i>	123-138
Haddad/ Lewis	8.7	First Quarter 2022 Economic Development Update Delegation: Thom Tischik, Executive Director, Travel Penticton <i>Staff Recommendation: THAT Council receive into the record the report dated May 3, 2022 titled "First Quarter Economic Development Update"; AND THAT Council receive into the record the report dated May 3, 2022 titled "2022 Travel Penticton Update".</i>	139-158
Coates/ Lewis	8.8	In-Year Grant Requests <i>Staff Recommendation: THAT Council approves a \$5,500 cash grant to the Penticton & Area Cycling Association, funded through administrative savings; AND THAT Council approves a \$5,000 cash grant to the Penticton Regional Bridge Tournament, funded through administrative savings.</i>	159-161
Lloyd-Smith	8.9	Social System Mapping and Navigation Delegation: Jen Kanters, Consultant, HelpSeeker Technology <i>Staff Recommendation: THAT Council receive into the record the report dated May 3, 2022 and titled "Social System Mapping and Navigation".</i>	162- 165

Goodwin	8.10	Penticton Child Care Action Plan: Advocacy, Spaces, and Staffing <i>Staff Recommendation: THAT Council direct staff to work with community partners, the Province, and relevant City committees on examining the redevelopment of Bugaboo University in order to prepare an application to the Province for childcare spaces funding during the next application period; AND THAT Council approve the City to release an Expression of Interest to incorporate the core principles in Attachment C, and to return to Council with a recommendation for a partner organization; AND THAT Council direct staff to work with community partners on finalizing correspondence highlighting Penticton's child care priorities to be submitted to the Province's child care consultation process.</i>	166- 183
Collison	8.11	Appointment of Chief Election Officer and Deputy Chief Election Officers <i>Staff Recommendation: THAT Council appoint Angie Collison as the Chief Election Officer for the 2022 General Local Election; AND THAT Council appoint Laurie Darcus and Paula McKinnon as Deputy Chief Election Officers for the 2022 General Local Election.</i>	184-187
Collison	8.12	Council and Committee 2022 Meeting Schedule <i>Staff Recommendation: THAT Council revise the 2022 Regular Council meeting schedule as follows: add a meeting on September 6; remove meeting of September 20; remove meeting of October 4; and add a meeting on October 18; AND THAT the term for all Council Advisory Committees end August 31, 2022.</i>	188-191
Collison	8.13	Council Procedure Amendment Bylaw No. 2022-18 <i>Staff Recommendation: THAT Council give first, second and third reading to "Council Procedure Amendment Bylaw No. 2022-18".</i>	192-196
Collison	8.14	Regional District and General Appointment Policy <i>Staff Recommendation: THAT Council approve "CP#2022-02 Regional District and General Appointment Policy".</i>	197-200
9.		Public Question Period	
10.		Recess to a Closed Meeting: <i>Resolution: THAT Council recess to a closed meeting of Council pursuant to the provisions of the Community Charter as follows: Section 90 (1) (g) litigation or potential litigation affecting the municipality.</i>	
11.		Reconvene the Regular Council Meeting following the Public Hearing at 6:00 p.m.	
12.		Bylaws and Permits:	
Collison	12.1	Zoning Amendment Bylaw No. 2022-14 Re: 273 Scott Avenue	201-202 Adopt
Collison	12.2	Fees and Charges Amendment Bylaw No. 2022-15	203 Adopt
Collyer	12.3	Zoning Amendment Bylaw No. 2022-16 Re: 719 Alexander Avenue	204-205 2 nd /3 rd

13. **Land Matters**

Laven	13.1	Temporary Use Permit PL2022-9294 Re: 200 Carmi Avenue <i>Staff Recommendation: THAT Council approve "Temporary Use Permit PL2022-9294, a permit to allow 'General Industrial' as a temporary permitted use, to allow the operation of recycling material drop-off site for used cans and bottles operated by Return-It as a "Express & Go Station" on Lot A District Lot 32375 Similkameen Division Yale District Plan KAP87660, located at 200 Carmi Avenue, for a three (3) year period; AND THAT staff be directed to issue the permit.</i>	206-218
Laven	13.2	Development Variance Permit PL2022-9252 Re: 152 Westminster Place <i>Staff Recommendation: THAT Council approve "Development Variance Permit PL2022-9252" for Lot 11 District Lot 38215 Similkameen Division Yale District Plan 37490, located at 152 Westminster Place, a permit to vary Section 8.2.3.5.i of Zoning Bylaw 2021-01 to increase the maximum carriage house building height in the R1 zone, where no lane exist from 5.0m and one floor to 6.5m and two floors. AND THAT Council direct staff to issue "Development Variance Permit PL2022-9252".</i>	219-237
Capewell	13.3	Zoning Amendment Bylaw No. 2022-20 Development Variance Permit PL2021-9239 Development Permit PL2021-9240 Re: 145 Kinney Avenue <i>Staff Recommendation: THAT Council give first reading to "Zoning Amendment Bylaw No. 2022-20", for Lot A District Lot 115 Similkameen Division Yale District Plan 8719, located at 145 Kinney Avenue, a bylaw to rezone the subject property from R1 (Large Lot Residential) to RM2 (Low Density Multiple Housing); AND THAT Council forward "Zoning Amendment Bylaw No. 2022-20" to the May 17th, 2022 Public Hearing; AND THAT Council, subject to adoption of "Zoning Amendment Bylaw No. 2022-20", consider "Development Variance Permit PL2022-9239", for Lot A District Lot 115 Similkameen Division Yale District Plan 8719, located at 145 Kinney Avenue, a permit to vary the following section of Zoning Bylaw No. 2021-01: 1. Section 10.9.2.3: to increase the maximum lot coverage from 40% to 51%. AND THAT Council, subject to approval of "Development Variance Permit PL2021-9239", approve "Development Permit PL2021-9240", for Lot A District Lot 115 Similkameen Division Yale District Plan 8719, located at 145 Kinney Avenue, a permit to allow for the construction of a 4-plex.</i>	238-267
Capewell	13.4	Zoning Amendment Bylaw No. 2022-21 Re: 813, 825 and 877 Westminster Avenue West <i>Staff Recommendation: THAT Council give first reading to "Zoning Amendment Bylaw No. 2022-21", for: 1. Lot 1 District Lot 2 Group 7 Similkameen Division Yale (Formerly Yale-Lytton) District Plan 13891; 2. Lot 2 District Lot 2 Group 7 Similkameen Division Yale (Formerly Yale-Lytton) District Plan 13891; and 3. Lot 1 District Lot 2 Group 7 Similkameen (Formerly Yale-Lytton) Division Yale District Plan 15658, Located at 813, 825 and 877 Westminster Avenue West, a bylaw to rezone the subject properties from CT1 (Tourist Commercial), C7 (Service Commercial), and C8 (Vehicle Service Station) to CD9 – Comprehensive Development Zone (877 Westminster Avenue West), AND THAT Council forward "Zoning Amendment Bylaw No. 2022-21" to the May 17, 2022 Public Hearing;</i>	268-326

AND THAT Council, prior to adoption of "Zoning Amendment Bylaw No. 2022-21", require the following conditions be met:

- 1. A 2.5m wide road dedication along the eastern property line (Power Street) be registered with the Land Title Office;*
- 2. A 8.5m x 8.5m southeast corner cut at the intersection of Westminster Avenue West and Power Street is registered with the Land Title Office; and*
- 3. A Section 219 Covenant, to ensure the long-term protection and viability of the City-owned boulevard trees prior to, during and after construction, along the Westminster Avenue West frontage of the subject properties, is registered with the Land Title Office.*

AND THAT Council requires a higher standard for the Westminster Avenue West and Power Street frontages than the current Subdivision and Development Bylaw requires, to be constructed at the developers cost prior to building occupancy, to be designed in alignment with the vision of the North Gateway Redevelopment and Investment Strategy, including the installation of a treed walkway along Power Street.

Collyer

13.5 Official Community Plan Amendment Bylaw No. 2022-22

327-397

Zoning Amendment Bylaw No. 2022-23

Development Permit PL2022-9275

Re: 435 Green Avenue West

Staff Recommendation: THAT Council give first reading to "Official Community Plan Amendment Bylaw No. 2022-22", a bylaw that amends Map 1: Future Land Use of Official Community Plan Bylaw No. 2019-08, by changing the future land use designation for Lot 3 District Lots 379 and 182 Similkameen Division Yale District Plan 6750 Except Plan H14743, located at 435 Green Ave West, from 'Detached Residential' to 'Ground Oriented Residential';

AND THAT Council, prior to adoption of "Official Community Plan Amendment Bylaw No. 2022-22" and in accordance with Section 475 of the Local Government Act, consider whether early and on-going consultation, in addition to the required Public Hearing, is necessary with:

- 1. One or more persons, organizations or authorities;*
- 2. The Regional District of Okanagan Similkameen;*
- 3. Local First Nations;*
- 4. School District #67;*
- 5. The provincial or federal government and their agencies.*

AND THAT Council, following the Community Engagement for OCP Amendments Procedure, direct staff to commence public engagement for Official Community Plan Amendment Bylaw No. 2022-22 to change the future land use designation change from "Detached Residential" to "Ground Oriented Residential", in support of an 84-unit townhouse development at 435 Green Avenue West;

AND THAT Council give first reading to "Zoning Amendment Bylaw No. 2022-23", a bylaw to rezone Lot 3 District Lots 379 and 182 Similkameen Division Yale District Plan 6750 Except Plan H14743, located at 435 Green Ave West, from the 'R2 (Small Lot Residential)' zone to the 'RM2 (Low Density Multiple Housing)' zone;

AND THAT Council, following the public engagement period, forward "Official Community Plan Amendment Bylaw No. 2022-22" and "Zoning Amendment Bylaw No. 2022-23" to the June 20, 2022 Public Hearing;

AND THAT Council, prior to adoption of "Zoning Amendment Bylaw No. 2022-23" require a 47.6m² road dedication at the south west corner of the property along Green Avenue West to be registered with the Land Title Office;

AND THAT Council, subject to adoption of "Official Community Plan Amendment Bylaw No. 2022-22" and "Zoning Amendment Bylaw No. 2022-23", approve "Development Permit PL2022-9275", a permit to approve the form and character of the proposed multifamily development consisting of 84 townhouse units.

14. **Notice of Motion**

14.1 Introduced by Councillor Regehr, for consideration by Council on May 17, 2022

398-399

THAT Council direct staff, as part of the fees & charges comprehensive review of recreation fees for Penticton sport facilities, examine how Penticton could implement a two-tier fee structure for recreation facility fees.

15. **Business Arising**

16. **Council Round Table**

17. **Public Question Period**

If you would like to ask Council a question with respect to items that are on the current agenda, please visit our website at www.penticton.ca to find the telephone number or Zoom link to ask your question before the conclusion of the meeting. Please do not try to join the meeting early, you will not be let in to participate electronically until Council approaches the Public Question Period. Watch the livestream on our website and prepare to call or join during the Business Arising.

18. **Adjournment**

Regular Council Meeting
held at City Hall, Council Chambers
171 Main Street, Penticton, B.C.

Tuesday, April 5, 2022
at 1:00 p.m.

Present: Mayor Vassilaki
Councillor Bloomfield
Councillor Miller
Councillor Regehr
Councillor Robinson (via Zoom)
Councillor Watt
Councillor Sentes

Staff: Donny van Dyk, Chief Administrative Officer
Angie Collison, Corporate Officer
Angela Campbell, Director of Finance & Administration
Blake Laven, Director of Development Services
Anthony Haddad, General Manager, Community Services
Kristen Dixon, General Manager of Infrastructure
Paula McKinnon, Deputy Corporate Officer

1. Call to Order

The Mayor called the Regular Council Meeting to order at 1:00 p.m.

2. Introduction of Late Items

3. Adoption of Agenda

99/2022

It was MOVED and SECONDED

THAT Council adopt the agenda for the Regular Council Meeting held on April 5, 2022 as presented.

CARRIED UNANIMOUSLY

4. Recess to Committee of the Whole

Council recessed to a Committee of the Whole Meeting at 1:00 p.m.

5. Reconvene the Regular Council Meeting

Council reconvened the Regular Council Meeting at 1:46 p.m.

6. Adoption of Minutes:

6.1 Minutes of the Regular and Special Meetings of Council

100/2022

It was MOVED and SECONDED

THAT Council adopt the regular minutes of March 15, 2022 as presented, the special minutes of March 21, 2022 and the special minutes of March 24, 2022 as amended.

CARRIED UNANIMOUSLY

7. Consent Agenda:

101/2022

It was MOVED and SECONDED

THAT Council approve the Consent Agenda:

1. Minutes of the March 15 2022 Committee of the Whole Meeting;
2. Minutes of the March 15, 2022 Public Hearings;
3. Parks and Recreation Advisory Committee Meeting Draft Minutes of March 14, 2022;
4. Community Sustainability Advisory Committee Meeting Draft Minutes of March 16, 2022.

CARRIED UNANIMOUSLY

8. Staff Reports:

8.1 Section 57 Notice on Title
Re: 718 Chase Avenue

Owner/Representative: Mr. Leenhouts was provided with an opportunity to be heard.

102/2022

It was MOVED and SECONDED

THAT Council, after hearing from the impacted owner, resolve to place a Notice on Title, under section 57 of the Community Charter, with respect to contraventions of the City of Penticton Building Bylaw No. 2021-21, on Lot 29, District Lot 2 Group 7 Similkameen Division Yale District, Plan 1049, located at 718 Chase Avenue (the Property), stating the following: "Failure to complete a building permit, which is a violation of the City of Penticton Building Bylaw No. 2021-21. Further information about it may be inspected at the municipal hall."

CARRIED UNANIMOUSLY

8.2 Section 57 Notice on Title
Re: 1201 Moosejaw Street

Owner/Representative: The owner or agent was not in attendance, however, a submission was provided and read into the record.

103/2022

It was MOVED and SECONDED

THAT Council, after hearing from the impacted owner, resolve to place a Notice on Title, under section 57 of the *Community Charter*, with respect to contraventions of the City of Penticton Building Bylaw No. 2021-21 on Lot 1, District Lot 1 Group 7 Similkameen Division Yale District, Plan 10265, located at 1201 Moosejaw Street (the Property), stating the following: "Failure to obtain a building permit, which is a violation of the City of Penticton Building Bylaw No. 2021-21. Further information about it may be inspected at the municipal hall."

DEFEATED

Mayor Vassilaki, Councillors, Bloomfield, Miller, Regehr, Robinson, Sentes and Watt, Opposed

104/2022

It was MOVED and SECONDED

THAT Council, after hearing from the impacted owner, resolve to place a Notice on Title if issuance of occupancy is not obtained by December 31, 2022, under section 57 of the *Community Charter*, with respect to contraventions of the City of Penticton Building Bylaw No. 2021-21 on Lot 1, District Lot 1 Group 7 Similkameen Division Yale District, Plan 10265, located at 1201 Moosejaw Street (the Property), stating the following: "Failure to obtain a building permit, which is a violation of the City of Penticton Building Bylaw No. 2021-21. Further information about it may be inspected at the municipal hall."

CARRIED UNANIMOUSLY

8.3 Asset and Amenity Management Project Engagement Update and Next Steps to Advance to the Public Safety and Protective Services Centre

105/2022

It was MOVED and SECONDED

THAT Council, based on the results of the Asset and Amenity Management Project and the Civic Places & Spaces Engagement Program, direct staff to conduct further analysis of each of the four key recommendations and prepare proposals to provide site alternatives, needs analysis, financial impacts, facility concepts and funding options for further consultation with the committees, user groups and the community prior to a decision by Council; AND THAT Council direct staff to complete the proposals in order of priority and in alignment with the timeline provided by the Asset and Amenity Management Project beginning with Recommendation #1 Public Safety and Protective Services Centre; AND THAT Council direct staff to develop a work plan that describes the scope, schedule, budget, resourcing, and community engagement required to prepare the proposal for the Public Safety and Protective Services Centre for review by Council prior to proceeding.

**CARRIED
Councillor Miller, Opposed**

The Mayor recessed the meeting at 2:52 p.m. and the meeting reconvened at 3:04 p.m.

8.4 Penticton Lawn Bowling Club – BC Gaming Grant Letter of Support

106/2022

It was MOVED and SECONDED

THAT Council provide a letter of support to the Penticton Lawn Bowling Club for a BC Gaming Grant application.

CARRIED UNANIMOUSLY

8.5 Recreation and Culture Services – Q1 2022 Update

107/2022

It was MOVED and SECONDED

THAT Council receives into the record the report and accompanying presentation titled "Recreation & Culture Services – Q1 2022 Update" dated April 5, 2022.

CARRIED UNANIMOUSLY

8.6 Neighbourhood Heritage Values for Lakeshore Drive, Front Street and Windsor Avenue Area

108/2022

It was MOVED and SECONDED

THAT Council direct staff to proceed with amendments to the City's zoning bylaw specific to residential properties along Lakeshore Drive and properties within the 'Cherryland' neighbourhood, including increasing front yard setbacks reflective of the historical distance from the street, increasing minimum lot widths, limiting maximum building heights and other zoning changes to ensure new development is reflective of the historical development pattern of the two areas;

AND THAT Council direct staff to identify houses within the Lakeshore Drive and Cherryland neighbourhoods that can be added to the City's Heritage Registry and proceed with developing statements of significance for any identified buildings and work with property owners of the identified houses to have their house added to the City's Heritage Registry.

THAT Council support the creation of a Heritage Conservation Area (HCA) area for Front Street and the 100-300 Blocks of Main Street;

AND THAT Council direct staff to bring back a project scope and budget for the HCA initiative.

CARRIED UNANIMOUSLY

8.7 UBCM Grant Opportunity: Strengthening Communities' Services Round 2

109/2022

It was MOVED and SECONDED

THAT Council direct staff to apply for the Strengthening Communities' Services grant from the Union of BC Municipalities (UBCM) for \$112,500 in funding from round 2;

AND THAT Council thank the Union of BC Municipalities for its support through round 1 funding;

AND THAT Council direct the Chief Financial Officer for the City of Penticton to sign and submit the application document on behalf of the City.

CARRIED UNANIMOUSLY

8.8 100 More Homes – Memorandum of Understanding with the City

110/2022

It was MOVED and SECONDED

THAT Council direct the Mayor and Corporate Officer to sign and execute the Memorandum of Understanding, which formalizes the City's relationship with 100 More Homes Penticton for the next three years and provides funding in the amount of \$85,000 a year in funding for 100 More Homes housing and homelessness initiatives, as included in Attachment A;

AND THAT Council support a budget amendment for the 2022 budget, utilizing administrative savings if grants are not successful in covering the full \$85,000 for 2022 and include the 2023-2024 requests in the 2023-2027 Financial Plan as allocated under the Memorandum of Understanding;

AND THAT Council direct staff to apply for any available grants to assist in funding the initiative;

AND THAT Council direct the Mayor to sign the 100 More Homes Terms of Reference on behalf of the Corporation of the City of Penticton.

CARRIED UNANIMOUSLY

8.9 Introduction of E-Bikes into the City Fleet

111/2022

It was MOVED and SECONDED

THAT Council introduce an alternate form of transportation into the City Fleet and approve the purchase of four (4) electric bikes, in the amount of \$25,000, to be funded from the Climate Action Reserve.

CARRIED UNANIMOUSLY

8.10 Electric Vehicle Charging Fees

112/2022

It was MOVED and SECONDED

THAT Council give first, second and third reading to "Fees and Charges Amendment Bylaw No. 2022-15" as contained in Attachment "A" to create a graduated fee for level II electric vehicle charging, which would result in free charging for the first two hours, and \$2.00 per hour for each subsequent hour thereafter;

AND THAT the rates and usage be reviewed annually.

CARRIED UNANIMOUSLY

8.11 Official Community Plan and Zoning Amendment Application
Re: 850 Wiltse Boulevard and 160 Crow Place

113/2022

It was MOVED and SECONDED

THAT Council, following the Community Engagement for OCP Amendments Procedure, direct staff to commence public engagement for a proposed Official Community Plan future land use designation mapping update and Zoning Amendment Bylaw application in support of residential development in the North Wiltse Block.

CARRIED UNANIMOUSLY

8.12 Official Community Plan Amendment Application
Re: 770 Argyle Street

114/2022

It was MOVED and SECONDED

THAT Council, following the Community Engagement for OCP Amendments Procedure, direct staff to commence public engagement for a proposed Official Community Plan future land use designation change from 'Detached Residential' to 'Ground Oriented Residential', in support of a multi-family development for 770 Argyle Street.

CARRIED UNANIMOUSLY

9. Public Question Period

10. Recess into a Closed Meeting

115/2022

It was MOVED and SECONDED

THAT Council recess at 5:12 p.m. to a closed meeting of Council pursuant to the provisions of the Community Charter as follows: Section 90 (1)

(e) the acquisition, disposition or expropriation of land or improvements, if the Council considers that disclosure could reasonably be expected to harm the interests of the municipality;

(j) information that is prohibited, or information that if it were presented in a document would be prohibited, from disclosure under section 21 of the Freedom of Information and Protection of Privacy Act.

CARRIED UNANIMOUSLY

11. Reconvene the Regular Council Meeting following the Public Hearing at 6:00 p.m.

12. Bylaws and Permits

12.1 Zoning Amendment Bylaw No. 2022-12
Re: 1701 Fairford Drive

116/2022

It was MOVED and SECONDED

THAT Council adopt "Zoning Amendment Bylaw No. 2022-12".

CARRIED UNANIMOUSLY

12.2 Zoning Amendment Bylaw No. 2022-14
Re: 273 Scott Avenue

117/2022

It was MOVED and SECONDED

THAT Council give second and third reading to "Zoning Amendment Bylaw No. 2022-14".

CARRIED UNANIMOUSLY

13. Land Matters

13.1 Request for Reconsideration: Development Variance Permit PL2022-9262
Re: 2703 Hawthorn Drive

118/2022

It was MOVED and SECONDED

THAT Council postpone reconsideration of resolution 88/2022 to the next meeting of Council and invite the DVP applicant for 2703 Hawthorn Drive to speak to the variance request.

CARRIED UNANIMOUSLY

13.2 Zoning Amendment Bylaw No. 2022-16
Development Permit PL2021-9205
Re: 719 Alexander Avenue

119/2022

It was MOVED and SECONDED

THAT Council give first reading to "Zoning Amendment Bylaw No. 2022-16", a bylaw to rezone That Part of Lot 2 Shown on Plan B5522; District Lot 2 Group 7 Similkameen Division Yale (Formerly Yale-Lytton) District Plan 1913, located at 719 Alexander Avenue, to from R2 (Small Lot Residential) to RD2 (Duplex Housing: Lane) with the following site-specific provision:

1. Two single detached dwellings shall be permitted.

AND THAT Council forward "Zoning Amendment Bylaw No. 2022-16" to the May 3, 2022 Public Hearing;

AND THAT Council, prior to adoption of "Zoning Amendment Bylaw No. 2022-16", require that a 1.9m road dedication along the Churchill Avenue frontage be registered with the Land Title Office;

AND THAT Council, subject to adoption of "Zoning Amendment Bylaw No. 2022-16", approve "Development Permit PL2021-9205" for That Part of Lot 2 Shown on Plan B5522; District Lot 2 Group 7 Similkameen Division Yale (Formerly Yale-Lytton) District Plan 1913, located at 719 Alexander Avenue, a permit to approve the form and character of the proposed 2-unit residential development on the subject property.

CARRIED UNANIMOUSLY

13.3 Development Variance Permit PL2022-9273
Development Permit PL2022-9272
Re: 909 Government Street

120/2022

It was MOVED and SECONDED

THAT Council approve "Development Variance Permit PL2022-9273" for Lot 4 District Lot 249 Similkameen Division Yale District Plan 3392 Except Plan EPP89301, located at 909 Government Street, a permit to vary the following sections of Zoning Bylaw No. 2021-01:

1. Section 10.9.2.9: to reduce the minimum rear yard from 6.0m to 3.0m; and
2. Section 10.9.2.3: to increase the maximum lot coverage from 40% to 42%

AND THAT Council, subject to approval of "Development Variance Permit PL2022-9273", approve "Development Permit PL2022-9272", for Lot 4 District Lot 249 Similkameen Division Yale District Plan 3392 Except Plan EPP89301, located at 909 Government Street, a permit to allow for the construction of two duplexes (total four dwelling units) on the subject property.

CARRIED UNANIMOUSLY

Mayor Vassilaki declared a conflict of interest as a close neighbor to the property being considered and left the meeting at 6:40 p.m. Acting Mayor Bloomfield chaired the meeting.

13.4 Development Variance Permit PL2022-9269
Re: 3917 Lakeside Road

121/2022

It was MOVED and SECONDED

THAT Council approve "Development Variance Permit PL2022-9269", for Lot A District Lot 190 Similkameen Division Yale District Plan KAP72460, located at 3917 Lakeside Road, a permit to vary the following sections of Zoning Bylaw No. 2021-01:

1. Section 8.2.3.3: to increase the maximum building footprint for a carriage house in the R1 zone from 90m² to 97 m²; and
2. Section 8.2.3.5: to increase the maximum carriage house building height in the R1 zone, where no lane exists from 5.0m and one floor to 6.5m and two floors.

AND THAT staff be directed to issue "Development Variance Permit PL2022-9269".

CARRIED UNANIMOUSLY

Mayor Vassilaki returned to the meeting at 6:48 p.m.

14. Notice of Motion

14.1 Notice of Motion Introduced by Mayor Vassilaki on March 15, 2022
Re: Property Tax Penalty Grace Period

122/2022

It was MOVED and SECONDED

THAT Council maintain the property tax due date of July 31, 2022 and implement penalty dates of 0% August 1, 2022 and 10% October 1, 2022 to provide a two-month penalty-free grace period to taxpayers.

DEFEATED

Councillors Bloomfield, Miller, Regehr, Robinson, Sentes and Watt, Opposed

14.2 Councillor Miller introduced the following Notice of Motion for consideration at the May 3, 2022 Regular meeting of Council:

THAT the City's Request for Proposal policies and procedures be reviewed by this Council at its public meeting or Committee of the Whole meeting of May 3, 2022.

15. Business Arising

Councillor Bloomfield requested that Council discuss the proposed Notice of Motion from Councillor Miller. Councillor Miller withdrew his Notice of Motion and moved the following:

123/2022

It was MOVED and SECONDED

THAT staff provide a brief presentation on the Request for Proposal process in the interest of education of Council and the public at the May 3, 2022 Committee of the Whole meeting.

CARRIED UNANIMOUSLY

16. Council Round Table

17. Public Question Period

18. Adjournment

124/2022

It was MOVED and SECONDED

THAT Council adjourn the regular meeting of Council at 7:36 p.m.

CARRIED UNANIMOUSLY

Certified correct:

Confirmed:

Angie Collison
Corporate Officer

John Vassilaki
Mayor

Special Council Meeting
held at the City of Penticton, Council Chambers
171 Main Street, Penticton, B.C.

Tuesday, April 12, 2022
at 1:00 p.m.

Present: Mayor Vassilaki
Councillor Regehr
Councillor Watt
Councillor Sentes
Councillor Bloomfield
Councillor Miller
Councillor Robinson

Staff: Donny van Dyk, Chief Administrative Officer
Angie Collison, Corporate Officer
Angela Campbell, Director of Finance & Administration
Blake Laven, Director of Development Services
Anthony Haddad, General Manager, Community Services (via zoom)
Kristen Dixon, General Manager of Infrastructure

1. Call to Order

The Mayor called the Special Council Meeting to order at 1:00 p.m.

2. Adoption of Agenda

125/2022

It was MOVED and SECONDED

THAT Council adopt the agenda for the Special Council Meeting held on April 12, 2022 as presented.

CARRIED UNANIMOUSLY

3. Staff Reports

3.1 Skaha Lake Marina: Management Operating Agreement with Penticton Yacht Club

126/2022

It was MOVED and SECONDED

THAT Council support the long-term Management Operating Agreement for the Skaha Lake Marina land with Penticton Yacht Club as provided in Attachment A.

CARRIED UNANIMOUSLY

3.2 Request for Reconsideration by Mayor: Development Variance Permit PL2022-9262
Re: 2703 Hawthorn Drive

Owner/Representative: Donna Butler, on behalf of the owner, provided plans of the project. Alex Kim, owner, spoke in support of the variance and requested Council reconsider. Brittany Lenit, technical engineer for the project, spoke to the retaining wall heights and bylaw changes that happened during the project.

127/2022

Resolution 88/2022 from the Regular Council Meeting of March 15, 2022

It was MOVED and SECONDED

THAT Council deny "Development Variance Permit PL2022-9262";
AND THAT Council encourage the applicant to provide an alternate plan.

DEFEATED

Mayor Vassilaki, Councillors Miller, Regehr, Robinson, Sentes, Watt, Bloomfield, Opposed

128/2022

It was MOVED and SECONDED

THAT Council approve "Development Variance Permit PL2022-9262" for 2703 Hawthorn Drive subject to the use of decorative faced lock block and submission of a landscape plan with screen landscaping in front of the wall.

CARRIED UNANIMOUSLY

3.3 Draft Development Cost Charges Rates for Stakeholder and Public Engagement

Joel Short, Urban Systems, provided Council with an overview of the development cost charges calculation process, benefit allocations and assist factors. JoAnne Kleb, Public Engagement Program Manager, provided Council with an overview of the proposed community engagement.

129/2022

It was MOVED and SECONDED

THAT Council direct staff to proceed with the engagement process to gather feedback and input on the draft Development Cost Charges rates and assist factor.

CARRIED UNANIMOUSLY

4. Public Question Period

5. Adjournment

130/2022

It was MOVED and SECONDED

THAT Council adjourn the Special meeting of Council at 2:43 p.m.

CARRIED UNANIMOUSLY

Certified correct:

Confirmed:

Angie Collison
Corporate Officer

John Vassilaki
Mayor

Committee of the Whole
held at City Hall, Council Chambers
171 Main Street, Penticton, B.C.

Tuesday, April 5, 2022
Recessed from the Regular Council Meeting at 1:00 p.m.

Present: Mayor Vassilaki
Councillor Bloomfield
Councillor Miller
Councillor Regehr
Councillor Robinson (via Zoom)
Councillor Watt
Councillor Sentes

Staff: Donny van Dyk, Chief Administrative Officer
Angie Collison, Corporate Officer
Angela Campbell, Director of Finance & Administration
Blake Laven, Director of Development Services
Anthony Haddad, General Manager, Community Services
Kristen Dixon, General Manager of Infrastructure
Paula McKinnon, Deputy Corporate Officer

1. **Call to order**

The Mayor called the Committee of the Whole meeting to order at 1:01 p.m.

2. **Adoption of Agenda**

It was MOVED and SECONDED

THAT the agenda for the Committee of the Whole meeting held on April 5, 2022 be adopted as presented.

CARRIED UNANIMOUSLY

3. **Delegations:**

3.1 Proclamation "Volunteer Week" April 24-30, 2022

Subrina Montieth and Mike Magnusson provided Council with a presentation on the South Okanagan Similkameen Volunteer Centre and encouraged Council and residents to participate in National Volunteer Week, April 24-30, 2022.

Mayor Vassilaki proclaimed April 24-30, 2022 as 'Volunteer Week' in the City of Penticton.

3.2 Penbrewtours: Pedal Pub Brewery Tour Introduction

Lucas Knoll, Owner and Operator, Penbrewtours, provided Council with a presentation on introducing a pedal pub brewery tour in Penticton.

3.3 Neighbourhood Small Grants

Kim English, Regional Community Development Manager, Community Foundation of South Okanagan, provided Council with a presentation on the Penticton Neighbourhood Small Grants successes from the 2021 cycle and also provided an update on the 2022 grant cycle.

3.4 Skaha Lake Assembly Redevelopment

Joanna Tung, BC Housing, and Jessica Delaney, Delaney and Associates, provided Council with an introduction presentation to BC Housing's Skaha Lake Assembly Redevelopment Project located at Skaha Lake Road and Green Avenue West.

4. **Adjourn to Regular Meeting**

It was MOVED and SECONDED

THAT Council adjourn the Committee of the Whole meeting held April 5, 2022 at 1:46 p.m. and reconvene the Regular Meeting of Council.

CARRIED UNANIMOUSLY

Certified correct:

Confirmed:

Angie Collison
Corporate Officer

John Vassilaki
Mayor

Public Hearing
held electronically and at City Hall, Council Chambers
171 Main Street, Penticton, B.C.

Tuesday, April 5, 2022
at 6:00 p.m.

Present:

Mayor Vassilaki
Councillor Bloomfield
Councillor Miller
Councillor Regehr
Councillor Robinson (via Zoom)
Councillor Watt
Councillor Sentes

Staff:

Donny van Dyk, Chief Administrative Officer
Angie Collison, Corporate Officer
Angela Campbell, Director of Finance & Administration
Blake Laven, Director of Development Services
Steven Collyer, Planner II
Anthony Haddad, General Manager, Community Services
Kristen Dixon, General Manager of Infrastructure
Paula McKinnon, Deputy Corporate Officer

1. Call to order

Mayor Vassilaki called the public hearing to order at 6:02 p.m. for Zoning Amendment Bylaw No. 2022-14.

The Corporate Officer read the opening statement and introduced the purpose of the bylaw. She then explained that the public hearing was being held in-person and electronically to afford all persons who considered themselves affected by the proposed bylaw an opportunity to be heard before Council. She further indicated that the public hearing was advertised pursuant to the *Local Government Act*.

2. "Zoning Amendment Bylaw No. 2022-14" (273 Scott Avenue)

The purpose of "Zoning Amendment Bylaw No. 2022-14" is to amend Zoning Bylaw No. 2021-01 as follows:

Rezone Lot 1 District Lots 202 and 250 Similkameen Division Yale District and of District Lots 1 and 4 Group 7 Similkameen Division Yale (Formerly Yale-Lytton) District Plan 8161, located at 273 Scott Avenue, from the RD1 (Duplex Housing) zone to the RM2 (Low Density Multiple Housing) zone.

The applicant intends to rezone the property from RD1 (Duplex Housing) to RM2 (Low Density Multiple Housing) with the intent of constructing an 8-unit cluster housing development.

The Corporate Officer advised that no correspondence has been received since the printing of the agenda.

DELEGATIONS

Mayor Vassilaki asked the public for the first time if anyone wished to speak to the application.

- Tony Giroux, Representing Developer, available to answer any questions.
- Lori Goldman, Dauphin Avenue, commented development suits the neighbourhood, IPCC report received, inquired if development can be increased from a step code 3 to 4 or 5. Inquired whether there will be rain water collection, permeable pathways and roadways and charging stations. Commented that this building could be a leader in reducing energy emissions. Resiliency is important.

Mayor Vassilaki asked the public for the second time if anyone wished to speak to the application.

- Kristen, Argyle Street, commented on the well-thought out plans. Inquired about character of homes, doesn't feel they align with the century-year old homes in area. Opportunity to create character, would like to see more traditional rooflines. Concerned about parking with increase to density. Concerned about noise pollution, inquired where air conditioning will be located.
- Margaret Patterson, Scott Avenue, concerned about parking becoming an issue with size of property. Concerned about the time it will take to build development, hoping for a peaceful summer from construction noise.

Mayor Vassilaki asked the public for the third and final time if anyone wished to speak to the application.

- Tony Giroux, Representing Developer, commented a meeting with neighbours took place three years ago for feedback, incorporated it into designs. Commented character of neighbourhood is always considered, particular area is mid-century modern, flat roof style fits this character. Commented all roofs are solar ready. Commented electrical vehicle charging stations are standard, recommended that developer includes it. Parking is designed as per the guidelines provided by City. Commented buildings can be designed with heat pumps in-between units, plans show in rear yards. Commented time for construction is hard to determine dependent on availability of materials. Commented about desperate need for housing in Penticton, design is downgraded version of what could be developed based on feedback received from neighbours.

The public hearing for "Zoning Amendment Bylaw No. 2022-14" was terminated at 6:20 p.m. and no new information can be received on this matter.

Certified correct:

Confirmed:

Angie Collison
Corporate Officer

John Vassilaki
Mayor

Safety and Security Advisory Committee Meeting

held via Zoom
Monday, April 4, 2022
at 10:30 a.m.

Present: Matt Taylor, Chair
Deirdre Riley, Vice Chair
Cheryl Watts
Lynn Allin
Susan Greba

Council Liaisons: John Vassilaki, Mayor

Staff: Blake Laven, Director of Development Services
Larry Watkinson, Fire Chief
Staff-Sgt Bob Vatamaniuck, RCMP
Tina Mercier, Bylaw Services Manager
Adam Goodwin, Social Development Specialist
Rebecca Van Huizen, Legislative Assistant

Regrets: Katie Robinson, Councillor
Adam Power
Daryl Clarke
Jill Pascoe
Nicolette Rodriquez

* denotes partial attendance

1. **Call to Order**

The Safety and Security Advisory Committee was called to order by the Chair at 10:30 a.m.

2. **Adoption of Agenda**

It was MOVED and SECONDED

THAT the Safety and Security Advisory Committee adopt the agenda for the meeting held on April 4, 2022 as amended to include new Item 4.4 being 437 Martin Street.

CARRIED UNANIMOUSLY

3. **Adoption of Minutes**

3.1 Minutes of February 7, 2022 Safety and Security Advisory Committee Meetings

It was MOVED and SECONDED

THAT the Safety and Security Advisory Committee adopt the minutes of the February 7, 2022 meetings as presented.

CARRIED UNANIMOUSLY

4. **New Business**

4.1 Committee Membership and Roundtable Introductions

The Chair introduced the new Safety and Security Advisory Committee Member who was appointed by Council. The Committee participated in roundtable introductions allowing newly appointed member Susan Greba to introduce herself.

4.2 "Where Are We Now" Updates from Primary Service Departments

- An update was provided by the Bylaw Services Manager and responded to questions from the Committee.
- An update was provided by Staff-Sgt Bob Vatamaniuck, RCMP and responded to questions from the Committee.
- An update was provided by the Fire Chief.

4.3 Training Supports and Homelessness Grant

Fire Chief Larry Watkinson joined the meeting at 10:53 a.m.

The Social Development Specialist provided a verbal update on various grant applications through UBCM and their anticipated next steps.

The floor was opened to the Committee Members for questions and comments.

A Committee Member asked about the recent comments from Attorney General and Minister responsible for Housing David Eby and how the Province might be stepping in to bypass local government approvals.

Mayor Vassilaki noted the City of Penticton has done lots in the past to provide housing within the City limits and will continue to do so for those residing in Penticton.

4.4 437 Martin Street

The Bylaw Services Manager provided an update on a location in the City, which has been the subject of numerous bylaw complaints. The business at 437 Martin Street is home to Interior Health and at this location one of their primary resources is to provide health services to vulnerable members of the public in the community. The location has been subject to loitering, gathering, drug activity, camping, and other bylaw infractions. The Bylaw Services Manager indicated that the City has increased patrols at the location to ensure that there is no

congregation near the front is happening so as not to affect the other business in the complex. Noted the City wants these services to be provided but needs to limit the negative impact to residents in the area.

The floor was opened to the Committee Members for questions and comments. Committee Members provided individual suggestions.

5. **Next Meeting**

The Next Safety and Security Advisory Committee meeting is scheduled for Monday, May 2, 2022.

6. **Public Question Period**

7. **Adjournment**

It was MOVED and SECONDED

THAT the Safety and Security Advisory Committee adjourn the meeting held on Monday, April 4, 2022 at 11:28 a.m.

CARRIED UNANIMOUSLY

Certified Correct:

Rebecca Van Huizen
Legislative Assistant

Heritage & Museum Advisory Committee Meeting

held via Zoom
Wednesday, April 6, 2022
at 1:00 p.m.

Present: Brad Hillis, Chair
Karen Collins, Vice Chair
Anne Hargrave
Emily Fitzowich
Jeanette Beaven
Nicole Ensing
Peter Achtem

Council Liaison: Judy Sentes, Councillor

Staff: Blake Laven, Director of Development Services
Anthony Haddad, General Manager of Community Services
Dennis Oomen, Museum Manager
Kelsey Johnson, Manager of Recreation, Arts, and Culture
JoAnne Kleb, Public Engagement Program Manager
Rebecca Van Huizen, Legislative Assistant

Regrets: Viv Lieskovsky
Blake Allen

1. **Call to Order**

The Heritage & Museum Advisory Committee was called to order by the Chair at 1:02 p.m.

2. **Adoption of Agenda**

It was MOVED and SECONDED

THAT the Heritage and Museum Advisory Committee adopt the agenda for the meeting held on April 6, 2022 as presented.

CARRIED UNANIMOUSLY

3. **Adoption of Minutes**

3.1 Minutes of the March 2, 2022 Heritage and Museum Advisory Committee

It was MOVED and SECONDED

THAT the Heritage and Museum Advisory Committee adopt the minutes of the March 2, 2022 meeting as presented.

CARRIED UNANIMOUSLY

4. **New Business**

4.1 Committee Membership Update and Roundtable Introductions

Anne Hargrave entered the Zoom meeting at 1:04 p.m.

The Chair introduced the two (2) new Heritage and Museum Advisory Committee Members that were recently appointed by Council. The Committee participated in roundtable introductions allowing newly appointed members Emily Fitzowich and Peter Achtem to introduce themselves.

4.2 Heritage Neighborhood Initiative

The Director of Development Services provided a verbal update and anticipated next steps on the Heritage Neighborhood Initiative which was recently endorsed by Council. Provided background details on the Heritage and Museum Advisory Committee's involvement up to date. Staff also want to thank the Committee Members who were able to attend the workshop back in March. Through the collaboration at the workshop and previous Committee meetings they were able to help staff draft the final recommendations made to City Council. Staff also provided outcomes from the workshop and noted through true engagement fashion with the Committee they were able to understand what the expectations of the Committee were. Staff heard from the Committee Members and community stakeholders at the workshop that in these areas there is develop pressure and these areas are "under siege" to redevelop. The process to conduct this heritage neighborhood review would be too long and there is an urgency to put measures in place to protect the form and character of these neighborhoods.

It was noted that at yesterday's Regular Council meeting staff presented all this information and included a recap of the workshop from March. Within the staff report there were recommendations on how to move forward on this initiative which Council endorsed. The recommendations included were for Council to direct staff to proceed with zoning amendments specific to residential properties along Lakeshore Drive and properties within the 'Cherryland' neighborhood to ensure new development is reflective of the historical development pattern of the two areas. For Council to direct staff to identify houses within the Lakeshore Drive and 'Cherryland' neighbourhoods that can be added to the City's Heritage Registry. And for Council to support the creation of a Heritage Conservation Area (HCA) for Front Street and the 100-300 blocks of Main Street.

One thing staff learned through this engagement process was that people are not against new construction, but would like there to be an acknowledgment of the heritage aspect and to keep within the same setbacks and heights to ensure character and feel of neighborhood stays consistent. Staff will look to the Committees guidance on going through the areas of Lakeshore Drive and 'Cherryland' to help find those that deserve some heritage acknowledgement. The Committee will help in creating a page on the Heritage Registry/Statement of Significance for the individual properties. These tools will help educate the community of the importance of the neighborhood.

Staff noted to the Committee that it was hard to review the downtown and look at Front Street only in isolation. Noted that expanding the area was the best way to really encompass all the heritage buildings. The next stage for this is area is to create a budget and work plan for the proposed Heritage Conservation Area. This will be a bigger process, as it will involve OCP

amendments and more engagement with property owners but the result will be stronger protections.

Through the proposed changes to the Lakeshore Drive and 'Cherryland' areas, this can be achieved through just an amendment to the zoning bylaw. This will be a much quicker process and has been generating a lot of excitement and understanding. Through the unanimous decision from Council, this process has a clear direction of where to go. The Committee will play a big role in being asked to participate and help staff through the engagement process for Lakeshore Drive and 'Cherryland'.

Councillor Sentes noted that she is happy to have finally gotten Council to acknowledge heritage and provide the support. Council has made it clear that the Committee will stay engaged through these processes. Noted through the directive from the Committee there is an opportunity to have more properties on the Heritage Registry.

The floor was opened up to the Committee Members for questions and comments.

A Committee Member noted that they read there is a clause in the *Local Government Act* that when a location is being considered for a proposed heritage conservation area, redevelopment in that area could be paused? Suggested that is something to look into for Front Street. Staff noted that we are in the very early stages and it might not be at the stage to take a heavy hand with redevelopment. It sets a negative tone to the start the Heritage Conservation Area process. Staff noted there are very effective measures in place for downtown area as building heights are limited in these areas already. Provided an anecdotal comment on a project that was looking for additional height and Council denied that permit.

4.3 Warren House Discussion

The Director of Development Services opened the floor to the Committee Members to speak about the Warren House and the tragic event of it being lost in a fire. Noted the property was on the City's Heritage Registry. Spoke about the future OCP of the property and the current zoning in place. Staff mentioned to the Committee that anything higher than duplex housing would require an OCP amendment.

Committee Members provided individual comments on the Warren House and the potential future development.

4.4 216 Hastings Street – RFP

The Director of Development Services provided background information on the CPR station located at 216 Hastings Street. Staff noted that it is listed on the City's Heritage Register and that it stopped operating in the 1980s. The building and subsequent property are owned by a private owner. It was noted that the current building is fairly large and several non-profits operate within the existing building. The current owners want to see the building protected and existing tenants preserved. Staff noted to the Committee that through the OCP there is a potential for subdividing and the addition of multi-family buildings. There is also an opportunity to do some heritage revitalization on the subject property. The current owners have put out a RFP for new prospective organizations to operate as the new operator and this is open until April 29, 2022. Staff wanted to raise this to the Committee as the City's Planning Department has fielded several inquiries from prospective operators.

The floor was opened to the committee members for questions and comments.

The Museum Manager noted that there is the potential for the Committee to assist with anyone applying for grants and to help them through that process.

A Committee Member noted the most important thing for any new operator in that space is to realize that the BC Heritage Legacy Fund will be a good source of funding to help with maintenance and upkeep. Their intake is once a year and it provides good amount of funding. A Committee Member asked about using the CPR Station for a museum. A Committee Member asked if there were a set of design guidelines within that block that would apply to anything new coming on that lot. Staff confirmed that there are no specific development permit form and character guidelines in that area. A Committee Member questioned if the City limits what can be done of the property in terms of heritage designation, it would limit a developer and would impact the taxation from the property. Staff noted that BC Assessment is in charge of the assessment of the property and they do take into account future development potential.

4.5 Heritage and Museum Advisory Committee Agenda Planning

The Chair opened the floor to the Committee Members to come up with agenda items that would form part of the record for the Committee to look into for the rest of their term.

A Committee Member suggested that the need for more education on heritage information needs to be provided to the Committee. When the Committee has more access to covenants, bylaws on existing heritage properties they have more educational tools to help make good decisions. Staff noted that they have architectural guidelines for Penticton's historic Front Street, which is a good resource for the Committee Members. A Committee Member reiterated that the education, resources, standards and guidelines for heritage conservation in Canada would help this Committee when reviewing developments. A Committee Member also noted that there is a need to educate the public on heritage value. Members of the public see the name of the street and don't know why that name is there and what it is. Also noted that if we can understand and get the point of view from the residents living in the area to help educate others. Suggested sign posts in heritage areas with "Did you know?" Can use the Penticton Herald to help in promoting education and heritage. People don't know about heritage until it is lost. Staff noted that there is currently an exhibit about the City's heritage properties at the museum. Mentioned this is Part 1 of an effort to bring forward heritage matters. Part 2 will be to put heritage plaques in front of houses that are on the Heritage Registry. Part 2 is gaining momentum and will be completed over the summer.

Councillor Sentes provided comments on how the Penticton museum is leading the way with education, particularly as we try to increase the buildings on the heritage registry.

A Committee Member also agreed that the idea of the "Did you know?" is a good promotion.

The Public Engagement Program Manager noted that they can take the lead on the campaign to engage the public with more communication. Noted that this is a missing link as it is an excellent initiative. Will come back at a future meeting regarding this engagement process.

A Committee Member recalled that previously, the residents from Front Street used to hire people from museum to do walking tours on Saturday mornings. On this tour they would go over the history of that area and it was very successful and well received. Potential to do this in the individual areas? Staff noted that this could be an opportunity for grants to fund this sort of initiative. A Committee Member noted that the only guidelines in these neighborhoods is

governed through the OCP and zoning bylaw. Inquired if there is a possibility to have styling guidelines for these areas? As a lot of these neighborhoods are unique and different from each other. Is there a way to put limits on the types of materials and the appropriate styling guidelines? Staff noted that this question could lead into a future agenda item for Committee discussion. When staff are developing the heritage conservation area, there will be lots of discussion with the Committee on how to honour the history. Noted the Planning Department would also be involved to help coordinate and monitor the ideas for implementation. Could a Committee Member help put together some draft design guidelines and present that back to the Committee? Staff noted that today's discussion will be to collect future topics to revisit and that there could be a way of discussion to present the ideas Committee Members to Committee Members. A Committee Member noted that whatever the final decision is on design guidelines, that it needs to be transparent and clear.

The Chair presented a recap of the ideas that came up through the discussion.

Staff will work with the Chair and other staff liaison to come up with future agenda items that the Committee will consider.

5. **Next Meeting**

The next Heritage and Museum Advisory Committee meeting is tentatively scheduled to be held on May 4, 2022 at 1:00 p.m.

6. **Public Question Period**

7. **Adjournment**

It was MOVED and SECONDED

THAT the Heritage and Museum Advisory Committee adjourn the meeting held on April 6, 2022 at 2:17 p.m.

CARRIED UNANIMOUSLY

Certified Correct:

Rebecca Van Huizen
Legislative Assistant

SPECIAL Parks and Recreation Advisory Committee Meeting

held via Zoom
Thursday, April 7, 2022
at 9:00 a.m.

- Present:** Isaac Gilbert, Chair
James Palanio*, Vice Chair
Andrew Drouin
Cameron Baughen
Drew Barnes
John Archer
Laura Harp
Robert (Sandy) Ross
Susan Fraser
- Council Liaison:** James Miller, Councillor
- Staff:** Anthony Haddad, General Manager of Community Services
Angela Campbell, Director of Finance and Administration
Sheri Raposo, Land Administrator
Kelsey Johnson, Manager of Recreation, Arts and Culture
Len Robson, Public Works Manager*
Rebecca Van Huizen, Legislative Assistant
- Regrets:** Joanne Grimaldi
Raymond Stassi
Tyson Bull
- Guests:** Marc Tougas, Penticton Yacht Club Commodore
Mark Mellisen, Penticton Boat Club and Wildstone Construction Group

* denotes partial attendance

1. **Call to Order**

The Special Parks and Recreation Advisory Committee was called to order by the Chair at 9:01 a.m.

2. **Adoption of Agenda**

It was MOVED and SECONDED

THAT the Parks and Recreation Advisory Committee adopt the agenda for the Special meeting held on April 7, 2022 as presented.

CARRIED UNANIMOUSLY

3. **Adoption of Minutes**

3.1 Minutes of the March 14, 2022 Parks and Recreation Advisory Committee Meeting

It was MOVED and SECONDED

THAT the Parks and Recreation Advisory Committee adopt the minutes of the March 14, 2022 meeting as presented.

CARRIED UNANIMOUSLY

4. **New Business**

4.1 Skaha Marina Management Operating Agreement

Committee Member James Palanio left the meeting due to technical difficulties at 9:05 a.m. but was able to periodically join throughout the meeting and provided comments.

The General Manager of Community Services presented a PowerPoint presentation outlining details on the proposed Skaha Marina Management Operating Agreement. The presentation also outlined the background details leading up to the Request for Proposal (RFP) and the community question that was asked by the public during the City of Penticton By-Election in 2021. Staff noted that the eventual proposal was awarded to the Penticton Yacht Club and provided to the Committee background details on the Penticton Yacht Club (PYC). Staff also provided the scope on the RFP document and the ultimate goals the City was looking to achieve through this agreement. The Committee was able to view the RFP in advance of it going to Council for endorsement. Went over what the City heard from the community as it related to the RFP as that was to ensure public ownership protected and the green space surrounding the marina was also enhanced and protected. Since the Penticton Yacht Club was awarded the RFP, both the City and the PYC over the last couple months have been working together to ensure that the final outcome is a great long term benefit for the community.

The Penticton Yacht Club was chosen for not only based on their experience but their understanding of the importance of the lands and through the agreement respecting and enhancing the surrounding greenspace.

Staff went through the order of the Agreement, starting with the definitions outlined. These were defined to ensure that there were no conflicts among the definitions. Included within the definitions was a range of general definitions and terms all the way to specific details about the future use of the development. The Management and Operations section of the agreement goes over roles and responsibilities, which does include the City. The Penticton yacht Club will oversee the resources to help manage the overall use of the location. The Agreement also ensured that during the term of the agreement services will remain available to the public. This section also provides details on collaboration opportunities with the Penticton Indian Band. The Agreement also states that the Penticton Yacht Club and their partners are in charge of future capital projects through the 25-year term. Staff provided details on the City's rights and obligations as it relates within the Agreement. This will also ensure public interest is still a priority through the 25-year term. The section also outlines that upon expiry of the Agreement, everything will revert back to the property of City. The Agreement will also include applicable life and safety inspections and monitoring that will need to be done through the 25-year term. There will also be annual reporting financial requirements that will need to be provided to the City through the term. Went over the details of any applicable building permits that will need to be applied for and the letters of credits

and bonding requirements that will be put in place to ensure work is completed satisfactory to the City. Briefly described the various schedules attached to the agreement being.

The Committee was informed that the negotiation process over the last couple months with the Penticton Yacht Club has seen a positive outlook and understanding for both sides. This is due to recognizing that the Penticton Yacht Club is highly respected in the community and are held to their commitment and the value of the long term agreement.

The floor was opened to the Committee Members for questions and comments.

A Committee Member raised a question regarding parking and if there will be adequate parking for the proposed restaurant. Noted that parking can be an issue around that area as it could push in to the park areas. Staff noted that as part of the Development Permit for the proposed restaurant, when it comes in, staff will be reviewing the square footage of the building and then review the appropriate parking requirements based on that. Staff anticipate that most of the existing customer base at the park would use the restaurant as well and as such will be already utilizing the area. The Committee Member asked if there is any future potential to charge for parking in the surrounding areas. Staff answered no, it has not been identified by the City. A question was raised on whether the foreshore lease has been finalized with the minister. Staff replied that they have been in discussion with the Province, noted that unfortunately the Province is far behind on paperwork but are working through trying to get it through. The goal is to get this as a lease agreement as opposed to a license of occupation.

A Committee Member inquired about the costs and revenues during the 25-year term noted in the Agreement and whether that is the potential revenue or where will that revenue be coming from. Staff noted the goal is that any major revenues generated at the Skaha Marina will be reinvested back into the marina. A Committee Member inquired on the expected footprint of the restaurant. Staff noted that the existing footprint and modifications will be within the existing building and this will be evaluated through the Development Permit process. A Committee Member inquired where the 25-year term time frame. Staff informed that the community's objectives, look up to a max of 25 years and that this is the first agreement of this type for the city. Long term sustainable investment, long term agreement needs to be in place. Marc Tougas, PYC, noted that it is very difficult to make investments with any short term agreement or license. This facility over 25 years will be operated in such a manner where all revenue over expenses go back into the facility.

A Committee Member inquired about the location of the off-site storage. Marc Tougas, PYC, noted that Mark Mell will be in charge of boat storage and the location will be in Penticton.

A Committee Member inquired whether the Committee will be involved with the five-year check-ins as well as any proposed changes. Staff responded that where appropriate, the Committee may be involved.

A Committee Member commented that they are supportive of the project because of the process and the people names with the project. Another Committee Member echoed the same sentiments and is happy that the Marina will be operated by local businesses.

A Committee Member commented that the security section is light and inquired about surveillance between the leased area and public park. Staff responded that various privacy laws are being met that are put in place. Marc Tougas, PYC, noted the need for different levels of security is recognized and that cameras have been implemented at the other yacht club. City has invested significant amount of money for cameras in that area.

A Committee Member inquired about the operations plan, specifically for food and beverage. Marc Tougas, PYC, noted that a short-term filling for the Café is needed from April 1 – October 1 as the current tenant is moving on. Staff commented that the marina need to remain affordable. Marc Tougas, PYC, commented that twice annually a cost comparison is undertaken and that typically we have been lower at most compared to other yacht clubs in the Okanagan area.

A Committee Member commented about transparency and inquired whether this agreement is similar to the SOEC. Staff responded that the agreement is available to everyone, however, propriety information to type of facility and competition does need to be confidential.

A Committee Member inquired whether a separate board from the PYC will be running the marina. Marc Tougas, PYC, responded that a strategic plan committee for Skaha moorage community will be created.

It was MOVED and SECONDED

THAT the Parks and Recreation Advisory Committee support the long-term Management Operating Agreement with Penticton Yacht Club as provided in Attachment A.

AND THAT the Parks and Recreation Advisory Committee recommend to City Council to take into consideration the concerns and recommendations from the Committee to update the long-term Management Operating Agreement with Penticton Yacht Club.

CARRIED UNANIMOUSLY

5. **Next Meeting**

The next Parks and Recreation Advisory Committee meeting is tentatively scheduled to be held on May 16, 2022 at 3:00 p.m.

6. **Public Question Period**

7. **Adjournment**

It was MOVED and SECONDED

THAT the Parks and Recreation Advisory Committee adjourn the Special meeting held on April 7, 2022 at 10:17 a.m.

CARRIED UNANIMOUSLY

Certified Correct:

Rebecca Van Huizen
Legislative Assistant

Economic Prosperity and Development Services Advisory Committee Meeting

to be held via Zoom

Friday, April 8, 2022

at 8:00 a.m.

Present:

Sean Ingraham, Chair
Chris Allen*, Vice-Chair
Anthony Policicchio
Cary Berger
Derek Badger
Diane Kereluk
Drew Barnes
Josie Tyabji*
Judy Richards
Kelly Mercer
Larry Olson
Nathan Little
Sandra Oldfield
Walter Sobool

Council Liaison:

John Vassilaki, Mayor
Campbell Watt, Councillor

Staff:

Anthony Haddad, General Manager of Community Services
Blake Laven, Director of Development Services
Carly Lewis, Economic Development Manager
Steven Collyer, Planner II
Rebecca Van Huizen, Legislative Assistant

Regrets:

Alexandra Nuth
Brian Murphy
Eric Corneau
Jeff McGinley

1. **Call Regular Committee Meeting to Order**

The Economic Prosperity and Development Services Advisory Committee meeting was called to order by the Chair at 8:00 a.m.

2. **Adoption of Agenda**

It was MOVED and SECONDED

THAT the Economic Prosperity and Development Services Advisory Committee adopt the agenda for the meeting held on April 8, 2022 as presented.

CARRIED UNANIMOUSLY

3. **Adoption of Minutes**

3.1 Minutes of the March 4, 2022 Economic Prosperity and Development Services Advisory Committee

It was MOVED and SECONDED

THAT the Economic Prosperity and Development Services Advisory Committee adopt the minutes of the March 4, 2022 meeting as presented.

CARRIED UNANIMOUSLY

4. **New Business**

4.1 Committee Member Update and Roundtable Introductions

The Chair introduced the two (2) new Economic Prosperity and Development Services Advisory Committee Members that were appointed by Council. The Committee participated in roundtable introductions allowing newly appointed members Anthony Policicchio and Walter Sobool to introduce themselves.

Committee Member Josie Tyabji entered the Zoom meeting at 8:08 a.m.

4.2 Election of Committee Vice-Chair

The Chair opened the floor for a nomination of a new Vice Chair. The Committee nominated Chris Allen for Vice Chair.

It was MOVED and SECONDED

THAT the Economic Prosperity and Development Services Advisory Committee elect Chris Allen as Vice Chair.

CARRIED UNANIMOUSLY

4.3 Monthly Building Stats – February 2022 and March 2022

This item was provided for information purposes only. Staff noted that both the building and planning departments are operating at full capacity and are seeing a continuation of high record levels of construction in the City.

4.4 Monthly Planning Stats – February 2022

This item was provided for information purposes only.

4.5 Neighborhood Heritage Values

The Director of Development Services presented a PowerPoint presentation on the Neighborhood Heritage Values initiative which is being proposed within the two (2) areas of Lakeshore Drive/Cherryland and Front Street. Staff noted this initiative started in September 2021 after Council had heard from numerous members of the public regarding new development applications in these neighborhoods. Members of the public felt these neighborhoods were changing too much and under siege from development. Council asked staff to look at ways to incorporate heritage

conservation into these areas. Based on that direction from Council, staff reviewed what tools the City has through policies and legislation. Through collaboration with the Heritage and Museum Advisory Committee, staff were able to draft the recommendations that went to Council on April 5 and ultimately received endorsement. Staff provided background information on the two locations being Lakeshore Drive/'Cherryland' and Front Street and their unique and different existing residential and commercial development. Noted each one comes with different challenges on how best to protect the individual neighborhoods. Front Street in discussion with heritage consultants and the Heritage and Museum Advisory Committee was hard to look at it in isolation by itself. By including the 100-300 block of Main Street, staff felt it was the best way to encompass all existing heritage buildings. Through an engagement workshop with HMAC Members and stakeholders from the neighborhoods it was brought to staff's attention that these neighborhoods felt under pressure to redevelop. They were not opposed to development but felt that any new buildings need to complement the existing context of the neighborhood. Staff went over the different heritage protection tools which included utilizing the zoning bylaw, specific development permit areas, heritage conversation statutes, and heritage registry recognition.

Staff provided details on the anticipated next steps for the two (2) areas of Lakeshore Drive/'Cherryland' and Front Street and the proposed public engagement for each one. Staff noted this Committee may be called upon to help provide input and discussion for the area of Front Street.

The floor was opened to the Committee Members for questions and comments.

A Committee Member asked if there was any definition from the heritage society on what defines a heritage building or structure. Staff noted that heritage buildings with this designation typically have an architectural piece, were built during a certain period, habited by a prominent citizen, or had something happen of particular importance there. Once that has been researched and confirmed a Statement of Significance is created which outlines these details. A Committee Member asked if the idea came up to do a form and character development permit area for the areas to monitor renovations and new builds. Staff could then meet with the owners and help ensure that it fits into the area. Staff noted that development permit powers don't extend to single family dwellings. The City only has so much authority through the province and these development permit powers are used primarily for commercial and multifamily. A Committee Member asked if there was any discussion to expand the heritage neighbourhood initiative into the "K" Streets (Kensington/Kilwinning/Killarney). Staff provided a brief background on the "K" Streets and how this neighborhood developed in the post war area and was primarily for returning veterans. When developing the OCP in 2016-2019 there was a push to add this as a heritage conservation area – unfortunately that idea did not end up happening. Council didn't provide direction for those streets to be incorporated within this initiative but staff noted through zoning amendments that could help maintain the integrity of the area.

It was MOVED and SECONDED

THAT the Economic Prosperity and Development Services Advisory Committee receive the memo "Neighborhood heritage values for Lakeshore Drive, Front Street, and Windsor Avenue Area" into the public record.

CARRIED UNANIMOUSLY

4.6 Wiltse North Block OCP and Zoning Amendments

Staff presented a PowerPoint presentation on a current development application at 850 Wiltse Blvd and 160 Crow Place. Within the presentation staff provided background information, its OCP designation through the years and development details on the two subject properties. Noted the proposal is to facilitate residential development in the area. Provided the proposed unit counts but

mentioned this could be subject to change as the development goes through its approvals. Staff noted that through the technical review of the proposed development, this has triggered a Traffic Impact Assessment, Environmental Assessment Report, and a Geotechnical Hazard Report. Provided details on anticipated next steps which will include a large engagement plan spearheaded by both the City and developer. Noted staff will compile all feedback received and will post that online for the public to review.

The floor was opened to the Committee members for questions and comments.

A Committee Member noted that this is a great area and location for this development. Questioned if the existing schools in the area will have the capacity for the new families coming in. Also asked for clarification on the accesses into the new development. Staff answered that School District 67 is an active stakeholder group through this development process. They will look to factor this new development into their school enrollment plans. Staff also confirmed that they two (2) accesses will be Pineview Road and Wiltse Boulevard. A Committee Member asked for clarification on the future land use 'Public Assembly' that was on the zoning map attached to the agenda. Staff noted that this future land use is around an existing water reservoir so it is zoned for city infrastructure. The Committee Member also asked if there was any consideration in terms of ensuring wildfire protection for this development and the surrounding area. Staff noted this development is within a wildfire interface area, and that means that a Wildfire Interface Assessment Report will need to be submitted through each phase of the development.

It was MOVED and SECONDED

THAT the Economic Prosperity and Development Services Advisory Committee recommends that Council support the OCP Amendment and Zoning Amendment applications for 850 Wiltse Blvd and 160 Crow Place to enable future residential development.

CARRIED UNANIMOUSLY

5. **Next Meeting**

The next Economic Prosperity and Development Services Advisory Committee meeting is tentatively scheduled to be held on Friday, May 6, 2022 at 8:00 a.m.

6. **Public Question Period**

7. **Adjournment**

It was MOVED and SECONDED

THAT the Economic Prosperity and Development Services Advisory Committee adjourn the meeting held on April 8, 2022 at 8:47 a.m.

CARRIED UNANIMOUSLY

Certified Correct:

Rebecca Van Huizen
Legislative Assistant

Arts, Creative and Cultural Innovations Advisory Committee Meeting

held via Zoom
Friday, April 8, 2022
at 1:00 p.m.

Present: Timothy Tweed, Chair
Brenda Longland, Vice Chair
Anita Petersen
Calvin Meiklejohn
Juliana Buitenhuis
Kim Palmer
Paul Crawford

Council Liaison: Judy Sentes, Councillor

Staff: Anthony Haddad, General Manager of Community Services
Kelsey Johnson, Manager of Recreation, Arts & Culture
Rebecca Van Huizen, Legislative Assistant

Regrets: Erica Stewart
Mairoula Dimopoulos

1. **Call to Order**

The Arts, Creative and Cultural Innovations Advisory Committee was called to order by the Chair at 1:05 p.m.

2. **Adoption of Agenda**

It was MOVED and SECONDED

THAT the Arts, Creative and Cultural Innovations Advisory Committee adopt the agenda for the meeting held on April 8, 2022 as amended to include new Item 4.1 being Proposal for Gifted Sculpture to the City and reorder the subsequent agenda items accordingly.

CARRIED UNANIMOUSLY

3. **Adoption of Minutes**

3.1 Minutes of the March 4, 2022 Arts, Creative and Cultural Innovations Advisory Committee

It was MOVED and SECONDED

THAT the Arts, Creative and Cultural Innovations Advisory Committee adopt the minutes of the March 4, 2022 meeting as presented.

CARRIED UNANIMOUSLY

4. **New Business**

4.1 Gifted Sculpture to the City

The Manager of Recreations, Arts and Culture provided a verbal update on a sculpture which is being proposed to be gifted to the City. Was installed as part of the Ignite the Arts festival.

Staff noted that the City was contacted by the donor who wishes to remain anonymous. Noted that the sculpture is already installed and currently standing at its location. The City has a Public Art Policy about how the City acquires art as a gift. Staff showed a photo of the proposed art sculpture which is being proposed to be gifted. It is a design combination of people and nature, kinetic, and the location where it is already installed is just across the bridge and the Japanese gardens. While it is already installed, staff will be looking at its current location and will identify if that is the appropriate location should the City receive it as a gift. In its current location it could cause future conflict within the parks area with events happening there.

The floor was opened to the Committee for questions and comments.

A Committee Member asked if staff knew the material of it. Staff responded it is acrylic with some driftwood and rock. A Committee Member questioned how this process works for this kind of donation as well as if the City had a master plan for pre-identified locations for art sculptures. Staff noted through the Public Art Policy it outlines the two avenues on whether this is a gift or a request from the City to purchase. Typically this is preceded by a letter of interest and gift proposal. The gift proposal would include the context of the art, history of artist's work, their suggested site, the suggested maintenance plan. Staff reiterated the City does not need to accept this should it not fit with the policy. Then the next step in the policy is for staff to bring the recommendation to the Arts, Creative and Cultural Innovations Committee for discussion and potential endorsement.

Councillor Sentes provided anecdotal comments on the situation on how this came forward. The sculpture came in in conjunction last Saturday with the Ignite the Arts Festival. The artist wish to gift this to the City and requests anonymity and no acknowledgment. They have indicated that the artist will provide the care and maintenance for the sculpture and there will be no burden to the City. Noted this piece has the opportunity to be lit and have sound – and the artist is prepared to work with the City to achieve that.

A Committee Member was looking for clarification on whether this opportunity is unique to this one piece. Questioned should staff refuse the piece, it won't be replaced by another piece in that location. Staff replied yes.

4.2 Cleland Theatre AV Equipment Upgrade Project

The Manager of Recreation, Arts and Culture provided a verbal update on the Cleland Theatre AV Equipment Upgrades. This included background information on the theatre, the scope of the work, and the three (3) different phases this would encompass. Staff brought a report to Council back on March 15 looking for Council support to apply for grants to help in this upgrade and Council unanimously supported staff applying for them.

Staff noted that through the City's Capital Budget there was monies allocated to upgrade the equipment and the grant would help cover the remaining costs. The full project cost for the three (3) phases is \$820,000. The Capital Budget would cover \$410,000 and the subsequent grant, should the City be successful would cover the remainder \$410,000.

The floor was opened up to the Committee Members for questions and comments.

A Committee Member noted that they are excited about this project. They questioned staff on whether the rental cost would now increase due to equipment now being upgraded. Staff replied that no, there will not be an increase that flows down to the user groups. The Committee Member inquired about increase to technician fees. Staff noted that any increases wouldn't be related to this capital investment. There could be an increase due to inflation and costs of living. A Committee Member asked staff if we spending money on the right types of equipment for this upgrade. Staff noted that they have engaged with the right professionals as well as John Clarke, who has been the theatre technician for a substantial time. John has also been involved in design and lighting at other city facilities. So he has a very good understanding of the needs of our user groups. A Committee Member inquired that if due to the timeline for grant application so we run into supply chains or inflation issues? Staff noted that the City's Procurement department is knowledgeable on the changes that could happen throughout and are prepared should any delays or increases happen.

4.3 Penticton Public Art Sculpture Exhibit Update

The Manager of Recreation, Arts and Culture provided a verbal update on the Penticton Public Art Sculpture Exhibit. Sculptures will be in place at their current locations until April 29, with new ones being installed May 20 and May 21 being the official opening. This year the City was able to increase to eight (8) locations with sculptures. Staff provided a sneak preview of the proposed locations and sculptures to the Committee.

The floor was opened to the Committee for questions and comments.

A Committee Member noted their excitement for exhibit and suggested that on May 20-21 at the Penticton Art Gallery all the artists for the sculptures could come and mingle. Questioned if staff knew about the 'Blue Hand' sculpture and whether it would be returning to the community. Staff noted that there is a plan to install it but there have been major delays due to some structural issues that needed to be addressed. This has been in part delayed by the pandemic which has delayed the repair by months. To date there is no installation date for this piece. A Committee Member asked who bears the costs of this repair work. Staff noted that this repair fell outside the warranty work and this work is being paid for through the City's Public Art Program. Staff previously identified that there was no budget allocated for maintenance so annually the Recreation, Arts, and Culture Department has been putting money aside in its operation budget. A Committee Member asked if the costs for this repair could be forwarded to the Committee. Staff noted they would have to locate that information for the Committee.

4.4 Potential Public Art Sculpture Purchase

The Manager of Recreation, Arts and Culture provided a verbal update on the potential purchase of an art sculpture. Staff showed a photo to the Committee of the current exhibit. Staff noted that the art piece 'The Northern Hunter' has been bought by a private buyer. Exciting to see when the City is showcasing art and it is able to resonate with private buyers.

Staff noted that the art piece 'Ancient Wisdom' will be renewing their lease for another year. Staff also noted that there is an opportunity to purchase this piece. The purchase cost is \$25,000, the City has paid up to date \$7,000 in lease costs and this would be taken off the total purchase cost. The total cost to purchase outright and install would be \$18,000. Staff noted that when the City is interested in purchasing a public art sculpture, they typically try to form a partnership with either a business partner or organization who would then share 50% of cost. Staff wanted to bring this idea to the Committees' attention, there is the opportunity to entertain other sculpture purchases.

The floor was opened to the Committee Members for questions and comments.

A Committee Member inquired if 'Ancient Wisdom' would be staying in that location should the City purchase it. Would that affect future art pieces to be put in that location? Inquired what the cost of the smaller art pieces. Staff did not have the amounts for the smaller pieces but can compile that information and provide to the committee for information and education. Should the City find a partner and acquire the piece, staff would come back to this Committee and review the location and decide if it's the right fit or if it could be of better service elsewhere. Partner would have interest in the location as well.

A Committee Members inquired about the timeline for such a purchase. Staff noted that any of the current ones in the exhibit are available for the next few weeks until the new exhibit is installed. Staff noted that it is not their plan to seek a partner for the co-purchase. Would look to be driven by the Committee to find a partner. Staff noted that with the new exhibit coming in a few weeks, staff can provide a full price list for the sculptures to the Committee and this could come up again at a future Committee agenda.

4.5 Representatives Update

a. Penticton Art Gallery

- Extended gratitude to the community partners, Penticton Arts Council, Okanagan School of Arts, SOEC, City Museum who helped pitch in and make the Ignite the Arts Festival a great event.
- Art walk was incredible event, together sparked people's imaginations and feelings of what could happening here in Penticton. Noted that he bought 10 year domain name for Ignite the Arts
- Through the festival, able to provide a lot back into the economy through vouchers, and guests staying in hotels
- Would love to declare Penticton as an Arts Capital or Culture Capital of BC
- Received a grant for \$30,000 to help bring up artists from Wahaca, Mexico to come up and help provide public art initiatives.

Councillor Sentes left the Zoom meeting at 1:56 p.m.

- b. Okanagan School of Arts
 - Congrats to Paul and the Ignite the Arts festival, excellent event
 - Thought the best way for the OSA to fit into the festival was to schedule a lot of classes
 - But found people didn't register for paid OSA class when there was free and exciting stuff happening at Ignite the Arts
 - Had a lot of classes on the calendar, most of them did not go due to lack of registration, fighting March break
 - Rebuilding our calendar
 - Received Arts Impact funding from BC Arts Council which will be funding our showtime, adult theatre from June 15 – 18. Slated to have 22 performers.
 - Had a successful annual general meeting
 - Waiting on Canada Summer Jobs grant
 - Looking to do more adult programming in Fall/Winter, more popular then

- c. Penticton Arts Council
 - Not much to add this month.
 - Congratulating the Penticton Art Gallery and the Ignite the Arts festival

5. **Next Meeting**

The next Arts, Creative and Cultural Innovations Advisory Committee meeting is tentatively scheduled to be held on Friday, May 6, 2022 at 1:00 p.m. via Zoom.

6. **Public Question Period**

7. **Adjournment**

It was MOVED and SECONDED

THAT the Arts, Creative and Cultural Innovations Advisory Committee meeting held on April 8, 2022 be adjourned at 2:03 p.m.

CARRIED UNANIMOUSLY

Certified Correct:

Rebecca Van Huizen
Legislative Assistant

Council Report

penticton.ca

Date: May 3, 2022
To: Donny van Dyk, Chief Administrative Officer
From: Superintendent Brian Hunter
Subject: RCMP Report

File No:

Staff Recommendation

THAT Council receive into the record the report titled "RCMP Report" dated May 3, 2022.

Strategic priority objective

Community Safety: The City of Penticton will support a safe, secure and healthy community.

Background

Report attached.

Financial implication

Not applicable.

Analysis

Not Applicable.

Attachments

Attachment A – RCMP Report

Respectfully submitted,

Superintendent Brian Hunter
Officer in Charge
Penticton South Okanagan Similkameen Regional RCMP Detachment

Acting Chief
Administrative Officer

KD

RCMP·GRC



ROYAL CANADIAN MOUNTED POLICE • GENDARMERIE ROYALE DU CANADA

**PENTICTON SOUTH OKANAGAN
SIMILKAMEEN
REGIONAL DETACHMENT
REPORT - (PENTICTON)**

January – March 2022



Royal Canadian Mounted Police
Gendarmerie royale du Canada

Canada

Total reported crime events in the municipality for the quarter was 1,613 which is down 8% from Q1 last year (1,755).

2022/23 Penticton Detachment Policing Priorities

- **Crime Reduction (Property Crimes and Drugs):** Identifying and managing prolific offenders through enhanced enforcement in partnership with community agencies (ie: Crown, Probation, Mental Health). The focus will be on drug and property crime offenders.
- **Family and Sexual Violence:** Focus on education, awareness and community support to foster a “wrap around” approach of harm reduction. Creating a supportive environment for victims of family and sexual violence to have the confidence to come forward and seek assistance from the police and community partners.
- **Mental Health and Addictions:** Working collaboratively with community partners in providing support to community members suffering from homelessness, addictions and mental health challenges.
- **Employee Wellness:** Policing can be very stressful for both our sworn police officers and our civilian employees who support police operations. The effects of this stress can be devastating. The detachment has created a wellness committee whose objective is to share wellness strategies as well as organizing wellness activities for all employees (workshops, group hikes/activities, etc.)

Superintendent Brian Hunter
Officer in Charge
Penticton South Okanagan Similkameen Regional RCMP Detachment.

PENTICTON (MUNICIPAL) Q1 2022 STATS



Royal Canadian Gendarmerie royale
Mounted Police du Canada

Canada

<i>Calls for Service</i>	Q1 2021	Q1 2022	% Change 2021 to 2022
Total Calls for Service	3,960	3,683	-7%
<i>Violent Crime</i>	Q1 2021	Q1 2022	% Change 2021 to 2022
Assault (Common & With Weapon/Cause Bodily Harm)	116	110	-5%
Sex Offences	20	11	-45%
Uttering Threats	72	38	-47%
Domestic Violence (Violent Crime Only)	34	35	3%
Violent Crime - Total	243	219	-10%
<i>Property Crime</i>	Q1 2021	Q1 2022	% Change 2021 to 2022
Auto Theft	56	83	48%
Bicycle Theft	13	15	15%
Break & Enter - Business	42	49	17%
Break & Enter - Residence	21	18	-14%
Break & Enter - Other	36	17	-53%
Mischief to Property	430	391	-9%
Theft - Other	93	88	-5%
Shoplifting	112	117	4%
Theft from Vehicle	146	132	-10%
Fraud	85	67	-21%
Property Crime - Total	1065	1017	-5%

Top 10 Calls for Service - Penticton Detachment (Municipal)	
Initial Call Type	# of Calls
Unwanted Person	282
Theft	269
Check Wellbeing	243
Disturbance	236
Assist Other Agency	191
Suspicious Person	182
Alarm	172
Traffic Incident	139
Abandoned 911	116
Assist Police/Fire/Ambulance	111

Criminal Code files: 1613 (down 8% from 1755 in Q1 2021)





Council Report

penticton.ca

Date: May 3, 2022
To: Donny van Dyk, Chief Administrative Officer
From: Angela Campbell, Director of Finance and Administration
Subject: **2021 Audited Financial Statements**

File No:

Staff Recommendation

THAT Council accept the Financial Statements, as co-presented by BDO Canada LLP, for the year ending December 31, 2021.

Strategic priority objective

Mission: Penticton will serve its residents, businesses and visitors through good governance, partnership and the provision of effective and community focused services.

Background

Per the *Community Charter* Section 167, municipal financial statements for the year must be prepared by the financial officer and presented to Council for acceptance.

Section 171 of the *Community Charter* requires that the municipal auditor report to Council on the annual financial statements of the municipality.

The City's Financial Statements are prepared according to Public Sector Accounting Standards (PSAS) and report the actual use of City resources in the past year in comparison to the original Council approved Financial Plan. Upon consolidation, PSAS requires the City to eliminate entries for transactions including but not limited to inter-fund transactions and reserve transfers. The Financial Statements vary from the City's approved Financial Plan due to the eliminating entries, removal of debt repayments and the recording of Tangible Capital Assets as non-financial assets.

Financial Implication

The Consolidated Surplus for the fiscal year ended December 31, 2021 is \$12,580,481, the 2020 consolidated surplus is \$13,541,133.

Overall consolidated revenues grew (5.2% increase) from 2020 to a total of \$129,193,292 while consolidated expenditures increased by 6.7% from 2020 to a total of \$116,612,811.

Overall the financial position of the City remains strong with net financial assets of \$68.7 million and non-financial assets of \$324 million.

Financial Analysis

Some significant highlights from the statements include:

- Financial Assets
 - Increase in cash/investments of \$9M

- Financial Liabilities
 - Decrease in Accounts Payable due to School Tax payment deferral seen in 2020
 - Increase in Deferred Revenues \$2.5M due to increases in prepaid tax instalments and awarded grants with projects carrying into 2022
 - Decrease in long term debt of \$3.3M

- Revenues
 - Increase in Sewer User Fee revenues \$1.3M
 - Increase in Water User Fees revenues \$650k
 - Increase in recognized DCC revenues \$3M (including one time entries and debt repayments, approved by Council Sept 7, 2021 resolution 287/2021)
 - Increase in Casino revenues of \$600k
 - Increase in building permit revenues \$600k
 - Additional Gas Tax payment of \$1.5M
 - Capital Grants received \$1.8M, including Bike Network grant of \$1M
 - Decrease in investment revenues \$700k
 - Receipt of one-time COVID-19 Restart grant in 2020 for \$4.7M

- Expenses:
 - Increase in protective services costs of \$1.4M
 - Increase in Electricity costs of \$2.8M
 - Prior year Reductions in City services due to COVID-19 \$2.9M

- Reserves:
 - Overall increase in reserves of \$11M
 - Increase in Own Reserves \$8.7M
 - Increase in Statutory Reserves \$2.2M

Attachments

Attachment A – Management Letter

Attachment B – Audit Reports

Attachment C – Draft Financial Statements

Respectfully submitted,



Angela Campbell
Director of Finance and Administration

Acting Chief Administrative Officer KD

May 3, 2022

The Corporation of the City of Penticton
171 Main Street
Penticton, British Columbia
V2A 5A9

Dear Ms. Campbell, Director of Finance and Administration

The objective of an audit is to obtain reasonable assurance whether the financial statements are free of any material misstatement and it is not designed to identify matters that may be of interest to management in discharging its responsibilities. Accordingly an audit would not usually identify all such matters.

During the course of our audit of the financial statements of The Corporation of the City of Penticton for the year ended December 31, 2021, we did not encounter any significant matters which we believe should be brought to your attention.

This communication is prepared solely for the information of management and is not intended for any other purposes. We accept no responsibility to a third party who uses this communication.

We would like to express our appreciation for the cooperation and assistance which we received during the course of our audit from the whole finance team at the City.

We shall be pleased to discuss with you further any matters mentioned in this report at your convenience.

Yours truly,



Sinéad Scanlon, CPA, CA
Partner
BDO Canada LLP
Chartered Professional Accountants

Management's Responsibility for Financial Reporting

The accompanying financial statements of the Corporation of the City of Penticton are the responsibility of management and have been approved by Mayor and Council.

The financial statements have been prepared by management in accordance with Canadian public sector accounting standards. Certain amounts used in preparation of the financial statements are based on management's best estimate and judgements. Actual results could differ as additional information becomes available in the future. When alternative accounting methods exist, management has chosen those it deems most appropriate in the circumstances, in order to ensure that the financial statements are presented fairly, in all material respects.

The Corporation of the City of Penticton maintains systems of internal accounting and administrative controls of reasonable quality, consistent with reasonable costs. Such systems are designed to provide reasonable assurance that the financial information is relevant, reliable and accurate and the entity's assets are appropriately accounted for and adequately safeguarded.

The Corporation of the City of Penticton is responsible for ensuring that management fulfills its responsibilities for financial reporting and is ultimately responsible for reviewing and approving the financial statements.

The Mayor and Council review the financial statements and recommend their approval. The Mayor and Council meet periodically with management, as well as the external auditors, to discuss internal controls over the financial reporting process, auditing matters and financial reporting issues, to satisfy themselves that each party is properly discharging their responsibilities, and to review the financial statements and external auditor's report. The Mayor and Council also consider the engagement of the external auditors.

The financial statements have been audited by BDO Canada LLP Chartered Professional Accountants in accordance with Canadian generally accepted auditing standards. The independent auditors report expresses their opinion on these statements. The auditors have full and free access to the accounting records as well as Mayor and Council.

Approved on behalf of Mayor and Council

_____ Mayor

Independent Auditor's Report

To the Mayor and Council of the Corporation of the City of Penticton

Opinion

We have audited the financial statements of the Corporation of the City of Penticton and its controlled entities (the "Consolidated Entity"), which comprise the consolidated statement of financial position as at December 31, 2021, and the consolidated statement of operations and accumulated surplus, the consolidated statement of change in net financial assets and the consolidated statement of cash flows for the year then ended, and notes to the consolidated financial statements, including a summary of significant accounting policies.

In our opinion, the accompanying consolidated financial statements present fairly, in all material respects, the consolidated financial position of the Consolidated Entity as at December 31, 2021, and its consolidated results of operations, its consolidated change in net financial assets, and its consolidated cash flows for the year then ended in accordance with Canadian public sector accounting standards.

Basis for Opinion

We conducted our audit in accordance with Canadian generally accepted auditing standards. Our responsibilities under those standards are further described in the *Auditor's Responsibilities for the Audit of the Consolidated Financial Statements* section of our report. We are independent of the Consolidated Entity in accordance with the ethical requirements that are relevant to our audit of the consolidated financial statements in Canada, and we have fulfilled our other ethical responsibilities in accordance with these requirements. We believe that the audit evidence we have obtained is sufficient and appropriate to provide a basis for our opinion.

Unaudited Information

We have not audited, reviewed or otherwise attempted to verify the accuracy or completeness of the supplementary schedules of the Consolidated Entity's financial statements.

Responsibilities of Management and Those Charged with Governance for the Consolidated Financial Statements

Management is responsible for the preparation and fair presentation of the consolidated financial statements in accordance with Canadian public sector accounting standards, and for such internal control as management determines is necessary to enable the preparation of consolidated financial statements that are free from material misstatement, whether due to fraud or error.

In preparing the consolidated financial statements, management is responsible for assessing the Consolidated Entity's ability to continue as a going concern, disclosing, as applicable, matters related to going concern and using the going concern basis of accounting unless management either intends to liquidate the Consolidated Entity or to cease operations, or has no realistic alternative but to do so.

Those charged with governance are responsible for overseeing the Consolidated Entity's financial reporting process.

Auditor's Responsibilities for the Audit of the Consolidated Financial Statements

Our objectives are to obtain reasonable assurance about whether the consolidated financial statements as a whole are free from material misstatement, whether due to fraud or error, and to issue an auditor's report that includes our opinion. Reasonable assurance is a high level of assurance, but is not a guarantee that an audit conducted in accordance with Canadian generally accepted auditing standards will always detect a material misstatement when it exists. Misstatements can arise from fraud or error and are considered material if, individually or in the aggregate, they could reasonably be expected to influence the economic decisions of users taken on the basis of these consolidated financial statements.

As part of an audit in accordance with Canadian generally accepted auditing standards, we exercise professional judgment and maintain professional skepticism throughout the audit. We also:

- Identify and assess the risks of material misstatement of the consolidated financial statements, whether due to fraud or error, design and perform audit procedures responsive to those risks, and obtain audit evidence that is sufficient and appropriate to provide a basis for our opinion. The risk of not detecting a material misstatement resulting from fraud is higher than for one resulting from error, as fraud may involve collusion, forgery, intentional omissions, misrepresentations, or the override of internal control.
- Obtain an understanding of internal control relevant to the audit in order to design audit procedures that are appropriate in the circumstances, but not for the purpose of expressing an opinion on the effectiveness of the Consolidated Entity's internal control.
- Evaluate the appropriateness of accounting policies used and the reasonableness of accounting estimates and related disclosures made by management.
- Conclude on the appropriateness of management's use of the going concern basis of accounting and, based on the audit evidence obtained, whether a material uncertainty exists related to events or conditions that may cast significant doubt on the Consolidated Entity's ability to continue as a going concern. If we conclude that a material uncertainty exists, we are required to draw attention in our auditor's report to the related disclosures in the consolidated financial statements or, if such disclosures are inadequate, to modify our opinion. Our conclusions are based on the audit evidence obtained up to the date of our auditor's report. However, future events or conditions may cause the Consolidated Entity to cease to continue as a going concern.
- Evaluate the overall presentation, structure and content of the consolidated financial statements, including the disclosures, and whether the consolidated financial statements represent the underlying transactions and events in a manner that achieves fair presentation.
- Obtain sufficient appropriate audit evidence regarding the financial information of the entities or business activities within the Consolidated Entity to express an opinion on the consolidated financial statements. We are responsible for the direction, supervision and performance of the group audit. We remain solely responsible for our audit opinion.

We communicate with those charged with governance regarding, among other matters, the planned scope and timing of the audit and significant audit findings, including any significant deficiencies in internal control that we identify during our audit.

BDO Canada LLP

Chartered Professional Accountants

Penticton, British Columbia

May 3, 2022

THE CITY OF PENTICTON
CONSOLIDATED STATEMENT OF FINANCIAL POSITION
DECEMBER 31, 2021

	<u>2021</u>	<u>2020</u>
Financial Assets		
Cash	\$ 4,417,985	\$ 28,241,881
Term Deposits (Note 1)	124,895,292	91,605,840
Accounts Receivable (Note 2)	10,428,556	10,409,223
	<u>139,741,833</u>	<u>130,256,944</u>
Financial Liabilities		
Accounts Payable and Accrued Liabilities	15,285,176	16,770,413
Development Cost Charges (Note 3)	19,049,679	19,057,314
Deferred Revenue (Note 5)	8,510,803	6,016,520
Deposits	4,013,812	3,359,187
Long Term Debt (Note 9)	24,193,133	27,500,122
	<u>71,052,603</u>	<u>72,703,556</u>
Net Financial Assets	\$ 68,689,230	\$ 57,553,388
Non-Financial Assets		
Tangible Capital Assets (Note 11)	\$319,844,994	\$318,489,661
Inventory	3,543,147	3,532,029
Prepaid Expenses	566,878	488,690
	<u>323,955,019</u>	<u>322,510,380</u>
Accumulated Surplus	<u>\$392,644,249</u>	<u>\$380,063,768</u>

See accompanying notes to the Consolidated Financial Statements.

THE CITY OF PENTICTON
CONSOLIDATED STATEMENT OF OPERATIONS AND ACCUMULATED SURPLUS
YEAR ENDED DECEMBER 31, 2021

	2021 Budget (Note 15)	2021	2020
Revenue			
Taxation (Note 18)	\$ 36,582,672	\$ 36,561,489	\$ 35,302,596
Sales of Services	70,633,851	71,429,332	68,353,590
Government Grants and Transfers (Note 16)	2,283,035	6,141,419	7,125,619
Other Revenue	5,682,518	8,884,115	7,846,195
Other Contributions	4,066,653	5,900,602	3,999,784
Gain on Disposal	30,000	265,000	182,175
Contributed Asset	-	11,335	-
	<u>119,278,729</u>	<u>129,193,292</u>	<u>122,809,959</u>
Expenditure (Note 12)			
General Government	12,388,205	20,002,040	19,442,716
Protective Services	19,849,087	20,021,970	17,895,168
Transportation Services	6,241,628	9,828,808	10,138,855
Environmental Health Services	2,026,100	1,982,591	1,926,495
Public Health and Safety	390,500	381,586	325,406
Environmental Development Services	2,877,929	3,859,262	3,265,153
Recreation and Culture	11,142,015	10,924,940	10,087,420
Electrical Supply	33,555,204	38,679,454	35,025,201
Sewer System Utility	3,995,195	5,511,624	5,904,607
Water Utility Services	3,672,087	5,420,536	5,257,805
	<u>96,137,950</u>	<u>116,612,811</u>	<u>109,268,826</u>
Annual Surplus	23,140,779	12,580,481	13,541,133
Accumulated Surplus, Beginning of Year	<u>380,063,768</u>	<u>380,063,768</u>	<u>366,522,635</u>
Accumulated Surplus, End of Year	<u>\$403,204,547</u>	<u>\$392,644,249</u>	<u>\$380,063,768</u>

See accompanying notes to the Consolidated Financial Statements.

THE CITY OF PENTICTON
CONSOLIDATED STATEMENT OF CHANGE IN NET FINANCIAL ASSETS
YEAR ENDED DECEMBER 31, 2021

	2021 Budget	2021	2020
Annual surplus	\$ 23,140,779	\$ 12,580,481	\$ 13,541,133
Acquisition of Tangible Capital Assets (Note 11)	(24,864,588)	(16,152,246)	(13,284,958)
Amortization (Note 11)	-	14,793,275	14,531,868
Net Disposal of Tangible Capital Assets (Note 11)	-	-	82,088
Contributed Tangible Capital Assets (Note 11)	-	(11,355)	-
Asset reclassification (Note 11)	-	14,989	17,820
	<u>(1,723,809)</u>	<u>11,225,144</u>	<u>14,887,951</u>
Change in Prepaid Expenses (Increase)	-	(78,188)	41,282
Consumption of Supplies Inventories	-	(11,114)	22,361
	<u>-</u>	<u>(89,302)</u>	<u>63,643</u>
Increase in Net Financial Assets	(1,723,809)	11,135,842	14,951,594
Net Financial Assets, Beginning of Year	57,553,388	57,553,388	42,601,794
Net Financial Assets, End of Year	<u>\$ 55,829,579</u>	<u>\$ 68,689,230</u>	<u>\$ 57,553,388</u>

See accompanying notes to the Consolidated Financial Statements.

THE CITY OF PENTICTON
CONSOLIDATED STATEMENT OF CASH FLOWS
YEAR ENDED DECEMBER 31, 2021

	2021	2020
Operating Transactions		
Annual Surplus	\$ 12,580,481	\$ 13,541,133
Change in Non-Cash Operating Items		
Increase in Accounts Receivable	(19,332)	(115,714)
Increase (decrease) in Trade Accounts Payable and Accrued Liabilities	(1,485,436)	3,247,256
Increase (decrease) in Development Cost Charges	(7,635)	1,231,553
Increase (decrease) in Deferred Revenues	2,494,283	(179,340)
Increase (decrease) in Deposits	654,625	(149,919)
(Increase) decrease in Prepaid Expenses	(78,188)	41,282
(Increase) decrease in Inventory	(11,114)	22,361
Net Disposal of Tangible Capital Assets	-	82,088
Amortization	14,793,275	14,531,868
Contributed Tangible Capital Assets	(11,355)	-
Asset reclassification	15,187	17,818
	<u>16,344,310</u>	<u>18,729,253</u>
Cash Provided by Operating Activities	28,924,791	32,270,386
Capital Transactions		
Cash Used to Acquire Tangible Capital Assets	(16,152,246)	(13,284,958)
Financing Transactions		
Debt Repayment	(3,306,989)	(3,480,697)
Investing Transactions		
(Increase) decrease in Term Deposits	(33,289,452)	6,623,494
Change in Cash	(23,823,896)	22,128,225
Cash, Beginning of Year	<u>28,241,881</u>	<u>6,113,656</u>
Cash, End of Year	<u>\$ 4,417,985</u>	<u>\$ 28,241,881</u>
Supplemental Cash Flow Information	<u>2021</u>	<u>2020</u>
Interest Paid	\$ 1,178,773	\$ 1,427,259

Note: Investment income recognized includes an actuarial addition to the sinking fund

See accompanying notes to the Consolidated Financial Statements.

**THE CITY OF PENTICTON
SIGNIFICANT ACCOUNTING POLICIES
DECEMBER 31, 2021**

Management's Responsibility for the Financial Statements

The consolidated financial statements of the City are the responsibility of management. They have been prepared in accordance with Canadian generally accepted accounting principles established by the Public Sector Accounting Board of the Chartered Professional Accountants of Canada. The Corporation of the City of Penticton ("the City") is a municipality in the Province of British Columbia and operates under the provisions of the Community Charter. The City provides municipal services such as fire, public works, planning, parks, recreation and other general government services.

Basis of Consolidation

The consolidated financial statements reflect the assets, liabilities, revenue and expenses of all municipal organizations, committees and Boards which are owned or controlled by the City. All inter-entity transactions and balances have been eliminated. The controlled organizations include:

Penticton Public Library

Deferred Revenue

Funds received for specific purposes which are externally restricted by legislation, regulation or agreement and are not available for general municipal purposes are accounted for as deferred revenue on the Consolidated Statement of Financial Position. The revenue is recognized in the Consolidated Statement of Operations in the year in which it is used for the specified purpose.

Revenue Recognition

Taxation

Taxes are recorded at estimated amounts when they meet the definition of an asset, have been authorized and the taxable event occurs. For property taxes, the taxable event is the period for which the tax is levied. Taxes receivable are recognized net of an allowance for anticipated uncollected amounts.

Government Transfers

Government transfers are recognized as revenue in the consolidated financial statements when the transfer is authorized and any eligibility criteria are met, except to the extent that transfer stipulations give rise to an obligation that meets the definition of a liability. Transfers are recognized as deferred revenue when transfer stipulations give rise to a liability. Transfer revenue is recognized in the Consolidated Statement of Operations as the stipulation liabilities are settled.

Utilities

Charges for sewer and water usage are recorded as user fees. Connection fee revenues are recognized when the connection has been established. Conditional grant revenue is recognized to the extent the conditions imposed on it have been fulfilled.

THE CITY OF PENTICTON
SIGNIFICANT ACCOUNTING POLICIES
DECEMBER 31, 2021

Revenue Recognition continued

Fee for Service

Sales of service and other revenue is recognized on an accrual basis.

Inventory

The City holds consumable inventory which is recorded at the lower of cost and replacement value. Cost is determined on a weighted average basis.

Tangible Capital Assets

Tangible capital assets are not available to discharge existing liabilities and are held for use in the provision of goods and services. They have useful lives extending beyond the current year and are not intended for sale in the ordinary course of operations.

Tangible capital assets are recorded at cost, net of capital asset disposals, write-downs and amortization. Cost includes all costs directly attributable to acquisition or construction of the tangible capital asset including transportation costs, installation costs, design and engineering fees, legal fees and site preparation costs. Contributed tangible capital assets are recorded at fair value at the time of the donation, with a corresponding amount recorded as revenue. The City holds several works of art and historic treasures that have not been included in the tangible capital assets, including displays at the museum and various works of art and decorations in the facilities. Amortization is recorded on a straight-line basis over the estimated life of the tangible capital asset commencing once the asset is available for productive use as follows:

Buildings	20 to 70 years
Roads and Sidewalks	25 to 75 years
Machinery and Equipment	5 to 20 years
Water Infrastructure	50 to 100 years
Sewer Infrastructure	10 to 100 years
Electrical Infrastructure	20 to 50 years
Parks and Recreation Infrastructure	10 to 50 years
Vehicles	10 to 20 years
Furniture and Equipment	10 to 20 years
Computer Hardware and Software	4 to 10 years
Books and Library Materials	5 to 13 years
Construction in progress	No amortization taken

**THE CITY OF PENTICTON
SIGNIFICANT ACCOUNTING POLICIES
DECEMBER 31, 2021**

Retirement and Employee Benefits

The City's retirement contributions due during the period to its multi-employer defined benefit plan are expensed as incurred.

City employees belonging to CUPE local 608 are eligible to accumulate sick leave until termination of employment. Unused sick leave is not eligible for payment upon retirement or termination and may not be used as vacation. Employees may accumulate a maximum of 10 days of sick leave.

Reserve for Future Expenditure

Reserves for future expenditure are non-statutory reserves which represent an appropriation of surplus for specific purposes. Transfers to reserves for future expenditure include funds to finance incomplete projects and accumulations for specific purposes.

Statutory Reserve Funds

The use of these funds is restricted by the Community Charter and associated Municipal Bylaws. Statutory reserve funds are funded 100% by cash and temporary investments.

Use of Estimates

The preparation of consolidated financial statements in accordance with Public Sector Accounting Standards requires management to make estimates and assumptions that affect the reported amounts of assets and liabilities at the date of the financial statements and the reported amounts of revenues and expenses during the reporting period. Actual results could differ from management's best estimates as additional information becomes available in the future. Adjustments, if any, will be reflected in the consolidated financial statements in the period that the change in estimate is made, as well as in the period of settlement if the amount is different.

Collection of Taxes on Behalf of Other Taxation Authorities

The City collects taxation revenue on behalf of other entities. Such levies, other revenues, expenses, assets and liabilities with respect to the operations of entities are not reflected in these consolidated financial statements.

Contaminated Sites

A liability for contaminated sites is recognized when a site is not in productive use and the following criteria are met:

- a) An environmental standard exists
- b) Contamination exceeds the environmental standard
- c) The City is directly responsible or accepts responsibility for remediation
- d) It is expected that future economic benefits will be given up; and
- e) A reasonable estimate of the amount can be made.

The liability is recognized as management's estimate of the cost of post-remediation including operation, maintenance and monitoring that are an integral part of the remediation strategy for a contaminated site.

As at December 31, 2021 the City has no liability for contaminated sites.

THE CITY OF PENTICTON
 NOTES TO THE CONSOLIDATED FINANCIAL STATEMENTS
 DECEMBER 31, 2021

1. Term Deposits

	Maturity Date	Effective Interest Rate (%)	2021	2020
Valley First	Dec 3, 2022	1.35	\$ 8,212,444	\$ 8,123,090
Valley First	Aug 17, 2023	3.05	5,472,039	5,310,082
Valley First	Aug 27, 2024	1.60	5,000,000	-
Valley First	n/a	-	15,270,196	16,609,429
Canaccord	Feb 28, 2022	0.90	10,456,137	-
Canaccord	May 17, 2022	1.16	5,810,420	-
Canaccord	May 17, 2022	0.91	9,000,000	-
Canaccord	Aug 12, 2022	2.50	5,253,125	5,125,000
Canaccord	Aug 30, 2023	1.40	5,068,750	-
Canaccord	Aug 12, 2024	2.80	2,642,157	2,570,266
Canaccord	Aug 12, 2024	2.75	2,500,000	2,500,000
Canaccord	Sep 1, 2025	1.90	5,000,000	-
Canaccord	Aug 31, 2026	2.20	5,000,000	-
National Bank Financial	n/a	-	40,210,024	10,033,519
Valley First Redemptions	n/a	-	-	13,122,836
Canaccord Redemptions	n/a	-	-	28,211,618
			<u>\$ 124,895,292</u>	<u>\$ 91,605,840</u>

THE CITY OF PENTICTON
 NOTES TO THE CONSOLIDATED FINANCIAL STATEMENTS
 DECEMBER 31, 2021

2. Accounts Receivable

	2021	2020
Property Taxes	\$ 1,187,213	\$ 1,160,414
Other Receivables	3,281,652	2,845,768
Federal Government	273,137	114,313
Provincial Government	391,049	105,264
Other Government Agencies	119,797	155,894
Utility Rates Receivable	4,695,834	4,670,992
Accrued Interest Receivable	532,905	1,376,896
Cemetery Trust Fund Receivable (Payable)	(53,031)	(20,318)
	<u>\$ 10,428,556</u>	<u>\$ 10,409,223</u>

3. Development Cost Charges (DCC)

The City collects development cost charges to pay for a proportionate share of infrastructure related to new growth. In accordance with the Local Government Act of BC, these funds must be deposited into a separate reserve fund. When the related costs are incurred, the DCCs are recognized as revenue.

	2021	2020
DCC by Type		
Roads DCC	\$ 1,952,843	\$ 1,665,015
Parks DCC	1,122,459	1,257,749
Drainage DCC	962,925	738,700
Waste Water DCC	11,153,100	10,685,350
Water DCC	3,858,352	4,710,500
	<u>19,049,679</u>	<u>19,057,314</u>
DCC Activity		
Balance, Beginning of Year	19,057,314	17,825,761
Return on Investments	296,810	320,781
DCCs Levied in the Year	3,451,464	1,729,040
Transfers	(3,755,909)	(818,268)
	<u>\$ 19,049,679</u>	<u>\$ 19,057,314</u>

THE CITY OF PENTICTON
 NOTES TO THE CONSOLIDATED FINANCIAL STATEMENTS
 DECEMBER 31, 2021

4. Development Cost Charges Reductions

In 2010, Council adopted the Development Cost Charge Reduction Bylaw and the companion Economic Incentive Zone Bylaw. The purpose of these bylaws was to spur development in key areas of the City, promote sustainable development and promote the development of affordable rental housing. The bylaws also contain provisions to encourage high-end hotel development. These bylaws will reduce the value of development cost charges, building permit fees and municipal taxes received by The City of Penticton for eligible developments.

The DCC reductions and Economic Incentive tax exemption program have been implemented in accordance with the provisions of Section 933(1) of the Local Government Act and Section 226 of the Community Charter, respectively. In 2021 \$310,897(2020 - \$383,134) of Economic Incentive tax exemptions were granted. In addition, Council approved \$-(2020 - \$138,292) of DCC reductions in 2021.

5. Deferred Revenue

Funds received for specific purposes which are externally restricted by legislation, regulation or agreement and are not available for general municipal purposes are accounted for as Deferred Revenue on the Consolidated Statement of Financial Position. The revenue is recognized in the Consolidated Statement of Operations in the year in which it is used for the specified purpose. Deferred Revenue is comprised of the following:

	<u>Taxes</u>	<u>Recreation</u>	<u>Other</u>	<u>Total</u>
Balance at December 31, 2020	\$ 5,111,325	\$ 284,316	\$ 620,879	\$ 6,016,520
Collected	10,402,843	607,029	2,498,286	13,508,158
Recognized	(10,146,418)	(501,069)	(366,388)	(11,013,875)
Balance at December 31, 2021	\$ 5,367,750	\$ 390,276	\$ 2,752,777	\$ 8,510,803

THE CITY OF PENTICTON
NOTES TO THE CONSOLIDATED FINANCIAL STATEMENTS
DECEMBER 31, 2021

6. Pension Liability

The City and its employees contribute to the Municipal Pension Plan (the Plan), a jointly trustee pension plan. The Board of Trustees, representing plan members and employers, is responsible for administering the Plan, including investment of the assets and administration of benefits. The Plan is a multi-employer defined benefit pension plan. Basic pension benefits are based on a formula. As at December 31, 2020, the Plan has about 220,000 active members and approximately 112,000 retired members. Active members include approximately 42,000 contributors from local governments.

Every three years, an actuarial valuation is performed to assess the financial position of the plan and adequacy of plan funding. The actuary determines an appropriate combined employer and member contribution rate to fund the Plan. The actuary's calculated contribution rate is based on the entry-age normal cost method, which produces the long-term rate of member and employer contributions sufficient to provide benefits for the average future entrants to the plan. This rate may be adjusted for the amortization of any actuarial funding surplus and will be adjusted for the amortization of any unfunded actuarial liability.

The most recent actuarial valuation as at December 31, 2018 indicated a \$2,866 million funding surplus for basic pension benefits on a going concern basis.

The City of Penticton paid \$2,423,278 (2020 - \$2,211,476) for employer contributions to the Plan in fiscal 2021.

The next valuation will be as at December 31, 2021 with results available in 2022.

Employers participating in the Plan record their pension expense as the amount of employer contributions made during the fiscal year (defined contribution pension plan accounting). This is because the Plan records accrued liabilities and accrued assets for the Plan in aggregate, resulting in no consistent and reliable basis for allocating the obligation, assets and cost to individual employers participating in the Plan.

7. Contingent Liabilities

a. Regional District of Okanagan Similkameen

Under Section 836 of the Local Government Act, all monies borrowed by a Regional District, shall be upon its credit at large and shall, in the event of any default, constitute an indebtedness of the member municipalities for which they are jointly and severally liable. At December 31, 2021, the long term debt of the Regional District aggregated \$68,123,927 (2020 - \$69,766,479).

b. General Contingencies

From time to time there are potential claims against the City for incidents which arise in the ordinary course of business. In the opinion of management and legal counsel, the outcomes of the claims are not determinable at this time and cannot be estimated. Should any loss result from the resolution of these claims, such loss will be charged to operations in the year of resolution.

THE CITY OF PENTICTON
 NOTES TO THE CONSOLIDATED FINANCIAL STATEMENTS
 DECEMBER 31, 2021

8. Letters of Credit

In addition to the performance deposits reflected in the Consolidated Statement of Financial Position, the City is holding irrevocable Letters of Credit in the amount of \$3,868,612 which were received from depositors to ensure their performance of works to be undertaken within the City. These amounts are not reflected in the consolidated financial statements but are available to satisfy liabilities arising from non-performance by the depositors.

9. Long Term Debt

Long term debt reported on the Consolidated Statement of Financial Position is comprised of the following:

	2021	2020
Long Term Debt	\$ 24,193,133	\$ 27,500,122

Principal repayments relating to long term debt of \$24,193,133 outstanding are due as follows (in thousands):

	2022	2023	2024	2025	2026	Thereafter	Sinking Fund
General Fund	\$ 1,248	\$ 1,250	\$ 946	\$ 859	\$ 736	\$ 1,595	\$ 4,925
Sewer Fund	539	539	539	539	539	1,278	3,433
Water Fund	422	422	422	422	422	662	2,456
	<u>\$ 2,209</u>	<u>\$ 2,211</u>	<u>\$ 1,907</u>	<u>\$ 1,820</u>	<u>\$ 1,697</u>	<u>\$ 3,535</u>	<u>\$ 10,814</u>

Long term debt is secured by the assets of the City. The Long Term Debt is held by the Municipal Finance Authority. The principal payments are invested by the Municipal Finance Authority into a Sinking Fund. The principal repayments are currently calculated at a rate of 2.25%. The 2021 earnings in the Sinking Fund were calculated to be \$1,099,628 and are included in Other Revenue on the Consolidated Statement of Operations.

THE CITY OF PENTICTON
 NOTES TO THE CONSOLIDATED FINANCIAL STATEMENTS
 DECEMBER 31, 2021

10. Debt Issued and Outstanding

LIA B Law	S/1 B Law	Issue	Issue Date	Purpose	Issue Amount	Outstanding Amount	Term (Years)	Maturity	Rate (%)	2021 Payments	
										Interest	Principal
General Fund											
2003-15	2268	81	22-Apr-04	Storm Sewer	\$ 337,500	\$ 73,751	20	2024	2.850	\$ 9,619	\$ 10,207
2004-16	859-2004	85	25-Oct-04	Parks - Land Acquisition	1,680,000	367,114	20	2024	2.250	37,800	50,807
2004-18	859/2004	85	25-Oct-04	Roads Works -S. Main St.	195,000	42,612	20	2024	2.250	4,388	5,897
2004-19	859/2004	85	15-Oct-04	Road Design-Main St.	150,000	32,778	20	2024	2.250	3,375	4,536
2004-20	859/2004	85	25-Oct-04	Integrated Waterfront	550,000	120,186	20	2024	2.250	12,375	16,633
2004-21	859/2004	93	25-Oct-04	Youth Park	50,000	10,926	20	2024	2.250	1,125	1,512
2004-11	1108/2004	93	06-Apr-05	Wine Information Centre	800,000	193,735	20	2025	5.100	11,040	45,461
2004-20	1108-2004	93	06-Apr-05	Integrated Waterfront	520,000	125,928	20	2025	5.100	7,176	29,550
2004-21	614/2005	95	13-Oct-05	Youth Park	150,000	39,447	20	2025	0.910	1,365	6,112
2005-18	615/2005	95	13-Oct-05	Integrated Waterfront	825,000	216,958	20	2025	0.910	7,508	33,618
2006-15	17/17/2006	99	07-Nov-06	Road Works-Fairview/Ind	1,595,000	522,479	20	2026	1.750	27,913	53,563
2006-17	17/17/2006	99	07-Nov-06	Sportsfields	3,200,000	1,048,236	20	2026	1.750	56,000	107,462
2006-33	273/2007	102	02-Nov-07	Integrated Waterfront '06	350,000	135,004	20	2027	2.250	7,875	11,754
2006-76	024/2008	103	23-Apr-08	Wellness Centre	3,000,000	1,324,925	20	2028	2.650	79,500	100,745
2007-41	333/2008	104	20-Nov-08	Cemetery-Columbarium	2,500,000	1,104,104	20	2028	2.900	72,500	83,954
2007-52	333/2008	104	20-Nov-08	Indoor Soccer Facility	1,000,000	441,642	20	2028	2.900	29,000	33,582
2007-57	333/2008	104	20-Nov-08	Integrated Waterfront	530,000	234,070	20	2028	2.900	15,370	17,798
2007-52	638/2009	106	13-Oct-09	Indoor Soccer Facility	415,000	205,594	20	2029	2.250	9,338	13,936
2007-52	15/30/2010	110	08-Apr-10	Indoor Soccer Ph2	586,000	319,921	20	2030	1.280	7,501	21,542
2009-14	15/30/2010	110	08-Apr-10	Pool Upgrades	7,400,000	4,039,961	20	2030	1.280	94,720	272,037
2007-52	B25/2011	116	04-Apr-11	Indoor Soccer Facility	135,000	80,570	20	2031	2.835	3,827	4,534
2009-43	B25/2011	116	04-Apr-11	Road Wrks-Smythe Dr	447,000	266,776	20	2031	2.835	12,672	15,011
26/2018				Downtown 300 Block Main Street	1,530,000	612,000	5		-	6,253	306,000
					<u>27,945,500</u>	<u>11,558,717</u>				<u>518,240</u>	<u>1,246,251</u>

10. Debt Issued and Outstanding continued

LIA B Law	S/1 B Law	Issue	Issue Date	Purpose	Issue Amount	Outstanding Amount	Term (Years)	Maturity	Rate (%)	2021 Payments	
										Interest	Principal
Water Fund											
2006-07	17/07/2006	99	07-Nov-06	Naramata Rd. Upgrade	4,670,000	1,529,765	20	2026	1.750	81,725	156,827
2007-83	333/2008	104	20-Nov-08	Water Filtration Plant	4,000,000	1,766,567	20	2028	2.900	116,000	134,327
2007-83	638/2009	106	13-Oct-09	Water Filtration Plant	3,900,000	1,932,088	20	2029	2.250	87,750	130,969
					<u>12,570,000</u>	<u>5,228,420</u>				<u>285,475</u>	<u>422,123</u>
Sewer Fund											
2006-61	273/2007	102	02-Nov-07	Septage Handling Facility	1,050,000	405,012	20	2027	2.250	23,625	35,261
2008-10	332-2008	104	02-Nov-07	Sewer System Upgrade	8,000,000	3,533,134	20	2028	2.900	232,000	268,654
2008-10	638-2009	106	13-Oct-09	Sewer Plant Expansion	7,000,000	3,467,850	20	2029	2.250	157,500	235,072
					<u>16,050,000</u>	<u>7,405,996</u>				<u>413,125</u>	<u>538,987</u>
					<u>\$ 56,565,500</u>	<u>\$ 24,193,133</u>				<u>\$ 1,216,840</u>	<u>\$ 2,207,361</u>

DRAFT FOR DISCUSSION - COUNCIL MAY 3, 2022

11. Tangible Capital Assets

The City of Penticton budgets for Tangible Capital Assets (TCA) as well as non-operating repairs and maintenance through the capital budget. During the year, the City incurred \$21,023,189 of expenditures that fall within the Capital Budget. Of this amount, \$16,152,246 met the TCA capitalization policy criteria while the remaining \$4,870,943 was expensed due to the expenditure being outside the TCA capitalization policy criteria or they were related to repairs and maintenance.

	Land	Buildings	Equipment	Sewer Infrastructure	Water Infrastructure	Electrical Infrastructure	Roads	Construction in Progress	2021 Total
COST									
Opening Balance	\$ 53,892,359	\$ 169,950,122	\$ 48,775,083	\$ 57,442,536	\$ 60,880,419	\$ 83,701,837	\$ 96,612,562	\$ 2,760,055	\$ 574,014,973
Add: Additions	1,060,640	1,290,893	3,216,229	917,310	1,585,277	889,004	3,523,688	3,669,205	16,152,246
Add: Trsf to/from Construction in Progress	-	11,841	41,114	-	-	14,190	394,855	(462,000)	-
Add: Contributed Assets	-	-	11,355	-	-	-	-	-	11,355
Less: Disposals	-	7,745	55,660	-	-	-	-	-	63,405
Re-classification	-	-	-	-	-	-	-	(14,993)	(14,993)
	<u>54,952,999</u>	<u>171,245,111</u>	<u>51,988,121</u>	<u>58,359,846</u>	<u>62,465,696</u>	<u>84,605,031</u>	<u>100,531,105</u>	<u>5,952,267</u>	<u>590,100,176</u>
ACCUMULATED AMORTIZATION									
Opening Balance	-	85,997,491	33,322,415	13,887,058	21,860,213	43,015,311	57,442,824	-	255,525,312
Add: Amortization	-	4,987,340	2,579,562	1,186,798	964,639	2,216,122	2,858,814	-	14,793,275
Less: Acc Amortization on Disposals	-	7,745	55,660	-	-	-	-	-	63,405
	<u>-</u>	<u>90,977,086</u>	<u>35,846,317</u>	<u>15,073,856</u>	<u>22,824,852</u>	<u>45,231,433</u>	<u>60,301,638</u>	<u>-</u>	<u>270,255,182</u>
Net Book Value for Year Ended Dec. 31, 2021	<u>\$ 54,952,999</u>	<u>\$ 80,268,025</u>	<u>\$ 16,141,804</u>	<u>\$ 43,285,990</u>	<u>\$ 39,640,844</u>	<u>\$ 39,373,598</u>	<u>\$ 40,229,467</u>	<u>\$ 5,952,267</u>	<u>\$ 319,844,994</u>

THE CITY OF PENTICTON
 NOTES TO THE CONSOLIDATED FINANCIAL STATEMENTS
 DECEMBER 31, 2021

11. Tangible Capital Assets continued

	Land	Buildings	Equipment	Sewer Infrastructure	Water Infrastructure	Electrical Infrastructure	Roads	Construction in Progress	2020 Total
COST									
Opening Balance	\$ 52,393,359	\$ 169,168,973	\$ 46,231,965	\$ 55,497,401	\$ 59,911,697	\$ 81,352,932	\$ 94,054,883	\$ 2,817,632	\$ 561,428,842
Add: Additions	1,499,000	928,625	2,497,211	1,172,212	953,722	2,328,280	1,641,775	2,264,133	13,284,958
Add: Trsf to/from Construction in Progress	-	40,353	539,089	772,923	15,000	20,625	915,904	(2,303,894)	-
Less: Disposals	-	187,829	493,182	-	-	-	-	-	681,011
Re-classification to Financial Assets	-	-	-	-	-	-	-	(17,816)	(17,816)
	<u>53,892,359</u>	<u>169,950,122</u>	<u>48,775,083</u>	<u>57,442,536</u>	<u>60,880,419</u>	<u>83,701,837</u>	<u>96,612,562</u>	<u>2,760,055</u>	<u>574,014,973</u>
ACCUMULATED AMORTIZATION									
Opening Balance	-	81,168,330	31,231,424	12,714,650	20,925,706	40,811,506	54,740,751	-	241,592,367
Add: Amortization	-	5,016,990	2,502,085	1,172,408	934,507	2,203,805	2,702,073	-	14,531,868
Less: Acc Amortization on Disposals	-	187,829	411,094	-	-	-	-	-	598,923
	<u>-</u>	<u>85,997,491</u>	<u>33,322,415</u>	<u>13,887,058</u>	<u>21,860,213</u>	<u>43,015,311</u>	<u>57,442,824</u>	<u>-</u>	<u>255,525,312</u>
Net Book Value for Year Ended Dec. 31, 2020	<u>\$ 53,892,359</u>	<u>\$ 83,952,631</u>	<u>\$ 15,452,668</u>	<u>\$ 43,555,478</u>	<u>\$ 39,020,206</u>	<u>\$ 40,686,526</u>	<u>\$ 39,169,738</u>	<u>\$ 2,760,055</u>	<u>\$ 318,489,661</u>

THE CITY OF PENTICTON
 NOTES TO THE CONSOLIDATED FINANCIAL STATEMENTS
 DECEMBER 31, 2021

12. Reporting by Object

	2021	2020
Salaries and Benefits	\$ 31,273,173	\$ 28,999,339
Goods and Services	55,303,328	52,305,685
Interest	1,178,773	1,427,259
Amortization	14,793,275	14,531,868
Other Expenses	2,047,029	1,271,579
Vehicle & Equipment Maintenance	4,180,720	3,587,077
Policing Agreement	7,836,513	7,146,019
	<u>\$ 116,612,811</u>	<u>\$ 109,268,826</u>

13. Credit Facilities

a. Line of Credit

The City holds a \$5,000,000 line of credit with the Valley First Credit Union. This line of credit has a borrowing rate of prime and is secured by the Revenue Anticipation Borrowing Bylaw 2011 No. 5003.

As of December 31, 2021 there was no balance outstanding.

b. Bank Indebtedness

The City holds a \$5,930,000 EFT limit.

14. Municipal Finance Authority

Cash Deposits and Demand Notes - The City issues the majority of its debt instruments through the Municipal Finance Authority. As a condition of these borrowings, a portion of the debt proceeds is withheld by the Municipal Finance Authority as a debt reserve fund. The City also executes demand notes in connection with each debt borrowing whereby the City may be required to loan certain amounts to the Municipal Finance Authority. These demand notes are contingent in nature.

Proceeds on loan requests are 98.40% of the gross amount of the loan. 1% is deducted by the MFA for security against loan default (this is held in trust by the MFA in its Debt Reserve Fund and will be refunded to clients, with interest, at loan expiry). The remaining 0.60% is deducted as an issue expense to cover the costs of administering the Debt Reserve Fund.

As at December 31, 2021 the Debt Reserve Fund demand note requirements were \$1,643,919 (2020 - \$1,643,919). In addition, cash deposits totaling \$807,106 (2020 - \$793,607) were held by the MFA.

THE CITY OF PENTICTON
 NOTES TO THE CONSOLIDATED FINANCIAL STATEMENTS
 DECEMBER 31, 2021

15. Budget

The Financial Plan (Budget) Bylaw No. 2020-50 adopted by Council on December 10, 2020 was not prepared on a basis consistent with that used to report actual results (Public Sector Accounting Standards). The budget figures anticipated use of reserves accumulated in previous years to reduce current year expenditures in excess of current year revenues to Nil. In addition, the budget expensed all tangible capital expenditures rather than including amortization expense. As a result, the budget figures presented in the Consolidated Statements of Operations and change in Consolidated Net Financial Assets represent the Financial Plan adopted by Council with adjustments as follows:

	<u>2021</u>
Financial Plan (Budget) Bylaw surplus for the year	\$ -
Add:	
Transfer to Funds/Reserves	25,944,624
Debt Principal Repayments	2,203,476
Budgeted Capital Expenditures - General	12,933,183
Budgeted Capital Expenditures - Electric	4,104,205
Budgeted Capital Expenditures - Sewer	1,859,500
Budgeted Capital Expenditures - Water	5,967,700
Less:	
Budgeted Transfers from Surplus	<u>29,871,909</u>
Budget Surplus per Consolidated Statement of Operations	<u><u>\$ 23,140,779</u></u>

16. Transfers From Other Governments

	<u>2021</u>	<u>2020</u>
Community Building Fund (Gas Tax)	\$ 3,020,636	\$ 1,476,868
Capital Grants	1,886,436	-
Traffic fine revenue sharing	425,601	419,542
Edmonton Avenue Child Care Centre	349,903	-
Okanagan Basin Water Board grants	152,338	152,338
Province of British Columbia - COVID Restart	-	4,711,000
BC Arts Council	-	58,000
Library	160,285	145,521
Miscellaneous	146,220	162,350
	<u><u>\$ 6,141,419</u></u>	<u><u>\$ 7,125,619</u></u>

THE CITY OF PENTICTON
 NOTES TO THE CONSOLIDATED FINANCIAL STATEMENTS
 DECEMBER 31, 2021

17. Penticton Public Library

The establishment of a municipal public library in the City of Penticton Bylaw 2639 was passed December 8, 1969. The Bylaw indicates that the City exercises control over the Penticton Public Library and is required to fund its operations as per the Library Act. The Penticton Public Library assets as managed by the Library Board are recorded as assets of the City. The operations of the Penticton Public Library have been wholly consolidated by the City.

18. Taxation

	Budget	2021	2020
Municipal Taxation			
Real Property	\$ 36,076,672	\$ 35,980,141	\$ 34,722,438
Special Assessments	171,000	86,106	86,106
Grants in Lieu	335,000	495,242	494,052
Total municipal taxation	36,582,672	36,561,489	35,302,596
Collections For other Governments			
School	16,000,000	17,055,692	13,376,915
Regional District	2,291,500	2,137,160	2,178,681
Regional Hospital	2,750,000	2,603,596	2,602,347
BCAA	450,000	451,069	450,282
Total collections for other taxing authorities	21,491,500	22,247,517	18,608,225
Transfers to Other Governments	(21,491,500)	(22,275,645)	(18,604,627)
Supplemental Taxation Recovered (Remitted)	-	28,128	(3,598)
Net taxation for municipal purposes	\$ 36,582,672	\$ 36,561,489	\$ 35,302,596

19. Comparative Figures

Certain comparative figures have been reclassified to conform with the current year presentation.

THE CITY OF PENTICTON
NOTES TO THE CONSOLIDATED FINANCIAL STATEMENTS
DECEMBER 31, 2021

20. Contractual Rights

Contractual rights are rights to economic resources arising from contracts or agreements that will result in an asset in the future. The City's contractual rights arise because of contracts entered into for long-term land leases that grant rights to the City, upon termination of the lease, to any Building(s) the Tenant has constructed on the land. The following listing outlines the nature, amount, and timing for each of the City's contractual rights to future assets:

The Penticton Golf & Country Club

The Lease Agreement between The City of Penticton and The Penticton Golf & Country Club dated July 1, 2007, will generate an asset to the City upon expiry of the lease. The Lease Agreement grants the right of ownership of the Golf Clubhouse Building to the City; the current market value for this building is \$1,639,000. This is a 26 year, 4 month Lease, due to expire in 2033.

Art Gallery of the South Okanagan (Inc. 9986)

The Lease Agreement between The City of Penticton and the Art Gallery of the South Okanagan (Inc, 9986) dated October 1, 1999, will generate an asset to the City upon expiry of the lease. The Lease Agreement grants the right of ownership of the Art Gallery Building to the City; the current market value for this building is \$916,000. This is a 5 year Lease, due to expire in 2025.

Penticton Seniors' Drop-in Centre Society

The Lease Agreement between The City of Penticton and the Penticton Seniors' Drop-in Centre Society dated May 31, 2019, will generate an asset to the City upon expiry of the lease. The Lease Agreement grants the right of ownership of the Drop-In Centre Building to the City; the current market value for this building is \$1,622,000. This is a 20 year Lease, due to expire in 2039.

Gateway Casinos & Entertainment Limited

The Lease Agreement between The City of Penticton and Gateway Casinos & Entertainment Limited dated May 4, 2016, will generate an asset to the City upon expiry of the lease. The Lease Agreement grants the right of ownership of the Casino Building to the City; the current market value for this building is \$8,503,000. This is a 20 year Lease, due to expire in 2036 with two 10-year extension options.

21. Segmented Information

The City is a diversified municipal government institution that provides a wide range of services to its citizens such as transit, police, fire, water and electricity. Distinguishable functional segments have been separately disclosed in the segmented information. The nature of the segments and the activities they encompass are as follows:

General Government Services

General Government operations are primarily funded by property taxation. This segment includes all of the revenues and expenses that relate to the operations of the City itself and cannot be directly attributed to one of the other specific segments including administration, financial services, human resources, information technology, and revenue and collections.

THE CITY OF PENTICTON
NOTES TO THE CONSOLIDATED FINANCIAL STATEMENTS
DECEMBER 31, 2021

21. Segmented Information continued

Protective Services

Protection is comprised of police services, fire protection, bylaw services, dog control and building and licencing services. The police services work to ensure the safety and protection of the citizens and their property. The fire department is responsible to provide fire suppression service, fire prevention programs, training and education.

Transportation Services

Transportation is responsible for the delivery of municipal public works services related to the City's public transit services, roads and maintenance, bridges, drainage systems, public works, street lighting and traffic control.

Environmental Health Services

Environmental services consists of providing waste disposal to citizens.

Public Health and Safety

Health services are comprised of public health services; this segment includes the operation of the City's Cemeteries.

Environmental Development Services

This segment includes city planning, land management, economic development and ensures all property development and land use is in line with City Bylaw's and policies and is in the best interest of the community.

Recreation and Culture

This segment provides services meant to improve health and development of the City's citizens. Recreational programs and cultural programs like swimming and skating lessons are provided at the arenas, the aquatic centre and the community centre. Also, the City provides library services to assist with its citizens' informational needs and a museum that houses collections and artifacts. The segment also includes parks, land administration and the City's net contribution to the operations of the South Okanagan Events Centre.

Electrical Utility

The electrical supply system is responsible for distribution of electricity to the City's citizens and businesses. This segment includes all of the operating activities related to the supply of the City's electricity.

Sewer Utility

The City's sanitary sewer system collects, conveys and treats and disposes of domestic and industrial wastewater. This segment includes all of the operating activities related to the collection and treatment of wastewater (sewage) throughout the City.

THE CITY OF PENTICTON
NOTES TO THE CONSOLIDATED FINANCIAL STATEMENTS
DECEMBER 31, 2021

21. Segmented Information continued

Water Utility

The water utility is responsible for planning, designing, building and operating and maintaining the City's water system and includes all of the operating activities related to the treatment and distribution of water throughout the City.

22. Cemetery Perpetual Trust Fund

The Cemetery Trust fund is established in accordance with the Cremation, Interment, and Funeral Services Act, to upkeep the cemetery grounds/facilities upon closure of the cemetery. As per legislation, current interest income earned on the Reserve balance may be used to offset cemetery operating and capital expenditures. Annual cemetery operating and capital expenditures are approved by Council through the annual budgeting process. The trust fund assets and liabilities are not included in the consolidated financial statements. At December 31, 2021, the balance of funds held in trust was \$1,152,141 (2020 - \$1,108,545).

23. COVID-19

The impact of COVID-19 in Canada and on the global economy has been significant. As the impacts of COVID-19 continue, there could be further impact on the City, its citizens, employees, suppliers and other third party business associates that could impact the timing and amounts realized on the City's assets and future ability to deliver services and projects. At this time, the full potential impact of COVID-19 on the City is not known. Although the disruption from the virus is expected to be temporary, given the dynamic nature of these circumstances, the duration of disruption and the related financial impact cannot be reasonably estimated at this time. The City's ability to continue delivering non-essential services and employ related staff, will depend on the legislative mandates from the various levels of government. The City will continue to focus on collecting receivables, managing expenditures, and leveraging existing reserves and available credit facilities to ensure it is able to continue providing essential services to its citizens.

THE CITY OF PENTICTON
 SCHEDULE OF SEGMENT DISCLOSURE
 DECEMBER 31, 2021

	General Government Services	Protective Services	Transportation Services	Environmental Health Services	Public Health and Safety	Environmental Development Services	Recreation and Culture	Electrical Utility	Sewer Utility	Water Utility	2021 Total
REVENUE											
Taxation	\$ 36,561,489	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 36,561,489
Sales of Services	1,073,945	2,876,286	1,890,377	2,730,999	371,484	621,563	1,189,972	42,056,153	8,577,763	10,040,790	71,429,332
Government Grants and Transfers	3,824,437	3,220	1,886,436	-	-	93,031	181,957	-	152,338	-	6,141,419
Other Revenue	5,309,986	2,194,149	896	-	-	1,184,765	172,960	9,359	-	12,000	8,884,115
Other Contributions	1,142,033	-	166,276	-	-	-	-	868,259	1,292,072	2,431,962	5,900,602
Gain on Disposal	265,000	-	-	-	-	-	-	-	-	-	265,000
Contributed Asset	11,335	-	-	-	-	-	-	-	-	-	11,335
	<u>48,188,225</u>	<u>5,073,655</u>	<u>3,943,985</u>	<u>2,730,999</u>	<u>371,484</u>	<u>1,899,359</u>	<u>1,544,889</u>	<u>42,933,771</u>	<u>10,022,173</u>	<u>12,484,752</u>	<u>129,193,292</u>
EXPENDITURE											
Salaries and Benefits	6,027,389	10,268,300	1,307,819	132,079	28,757	1,607,419	5,582,678	2,367,168	1,856,777	2,094,787	31,273,173
Goods and Services	4,467,956	1,335,755	4,268,570	1,843,374	278,422	1,534,645	4,445,243	33,734,239	1,548,064	1,847,060	55,303,328
Interest	(26,388)	-	64,740	-	72,500	-	393,331	-	396,054	278,536	1,178,773
Amortization	7,972,574	-	2,453,142	-	-	-	-	2,216,122	1,186,798	964,639	14,793,275
Other Expenses	1,145,237	43,514	13,110	-	-	707,647	19,482	89,632	2,097	26,310	2,047,029
Vehicle & Equipment Maintenance	415,272	537,888	1,721,427	7,138	1,907	9,551	484,206	272,293	521,834	209,204	4,180,720
Policing Agreement	-	7,836,513	-	-	-	-	-	-	-	-	7,836,513
	<u>20,002,040</u>	<u>20,021,970</u>	<u>9,828,808</u>	<u>1,982,591</u>	<u>381,586</u>	<u>3,859,262</u>	<u>10,924,940</u>	<u>38,679,454</u>	<u>5,511,624</u>	<u>5,420,536</u>	<u>116,612,811</u>
Excess (Deficiency) of Revenues Over Expenditures	<u>\$ 28,186,185</u>	<u>\$(14,948,315)</u>	<u>\$(5,884,823)</u>	<u>\$ 748,408</u>	<u>\$(10,102)</u>	<u>\$(1,959,903)</u>	<u>\$(9,380,051)</u>	<u>\$ 4,254,317</u>	<u>\$ 4,510,549</u>	<u>\$ 7,064,216</u>	<u>\$ 12,580,481</u>

THE CITY OF PENTICTON
SCHEDULE OF SEGMENT DISCLOSURE
DECEMBER 31, 2020

	General Government Services	Protective Services	Transportation Services	Environmental Health Services	Public Health and Safety	Environmental Development Services	Recreation and Culture	Electrical Supply	Sewer System Utility	Water Utility Services	2020 Total
REVENUE											
Taxation	\$ 35,302,596	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 35,302,596
Sales of Services	1,836,143	2,083,766	1,613,009	2,646,283	453,181	383,770	1,101,521	42,093,073	6,955,211	9,187,633	68,353,590
Government Grants and Transfers	6,625,810	20,780	-	-	-	101,556	225,135	-	152,338	-	7,125,619
Other Revenue	5,209,219	1,148,087	6,255	-	1,000	1,142,260	199,213	10,811	-	129,350	7,846,195
Other Contributions	200,268	-	2,632,517	-	-	-	-	479,595	361,924	325,480	3,999,784
Gain on Disposal	-	-	136,550	-	-	-	45,625	-	-	-	182,175
	<u>49,174,036</u>	<u>3,252,633</u>	<u>4,388,331</u>	<u>2,646,283</u>	<u>454,181</u>	<u>1,627,586</u>	<u>1,571,494</u>	<u>42,583,479</u>	<u>7,469,473</u>	<u>9,642,463</u>	<u>122,809,959</u>
EXPENDITURE											
Salaries and Benefits	6,015,196	9,531,541	1,253,676	109,551	25,462	1,419,913	4,825,592	2,048,512	1,797,468	1,972,428	28,999,339
Goods and Services	4,666,302	1,010,249	4,561,948	1,809,626	226,739	1,250,973	4,314,878	30,463,885	2,128,208	1,872,877	52,305,685
Interest	14,395	45,925	81,433	-	72,500	-	524,391	-	407,953	280,662	1,427,259
Amortization	7,835,786	-	2,385,362	-	-	-	-	2,203,805	1,172,408	934,507	14,531,868
Other Expenses	522,096	33,323	7,046	-	-	588,476	23,754	77,306	1,941	17,637	1,271,579
Vehicle & Equipment Maintenance	388,941	128,111	1,849,390	7,318	705	5,791	398,805	231,693	396,629	179,694	3,587,077
Policing Agreement	-	7,146,019	-	-	-	-	-	-	-	-	7,146,019
	<u>19,442,716</u>	<u>17,895,168</u>	<u>10,138,855</u>	<u>1,926,495</u>	<u>325,406</u>	<u>3,265,153</u>	<u>10,087,420</u>	<u>35,025,201</u>	<u>5,904,607</u>	<u>5,257,805</u>	<u>109,268,826</u>
Excess (Deficiency) of Revenues Over Expenditures	<u>\$ 29,731,320</u>	<u>\$(14,642,535)</u>	<u>\$(5,750,524)</u>	<u>\$ 719,788</u>	<u>\$ 128,775</u>	<u>\$(1,637,567)</u>	<u>\$(8,515,926)</u>	<u>\$ 7,558,278</u>	<u>\$ 1,564,866</u>	<u>\$ 4,384,658</u>	<u>\$ 13,541,133</u>

THE CITY OF PENTICTON
 GENERAL REVENUE FUND
 STATEMENT OF OPERATIONS
 YEAR ENDED DECEMBER 31, 2021
 (UNAUDITED)

	2021 Budget	2021	2020
Revenue			
Taxation	\$ 36,582,672	\$ 36,561,489	\$ 35,302,596
Sales of Services	16,843,525	16,134,107	15,391,812
Government Grants and Transfers	2,109,641	5,989,081	6,973,281
Transfer From Other Funds/Reserves	867,952	3,343,881	3,810,348
Other Revenue	5,672,683	8,862,756	7,706,034
Other Contributions	205,768	1,308,309	2,832,784
Sale of Assets	30,000	265,000	182,175
Collections For other Governments	21,491,500	22,247,518	18,608,225
	<u>83,803,741</u>	<u>94,712,141</u>	<u>90,807,255</u>
Expenditure			
Salaries and Benefits	24,999,306	25,696,683	23,860,399
Goods and Services	19,299,332	19,870,200	19,208,693
Interest	537,007	504,183	738,645
Principal Payments	1,242,366	1,246,252	1,347,701
Other Expenses	2,038,285	1,928,989	1,174,695
Vehicle & Equipment Maintenance	1,502,241	3,177,388	2,779,061
Policing Agreement	8,597,093	7,836,513	7,146,019
Transfer to Other Funds/Reserves	4,096,611	11,664,748	14,662,529
Transfers to Other Governments	21,491,500	22,275,645	18,604,627
	<u>83,803,741</u>	<u>94,200,601</u>	<u>89,522,369</u>
EXCESS OF REVENUES OVER EXPENDITURES	<u>-</u>	<u>511,540</u>	<u>1,284,886</u>
CHANGE IN FUND BALANCES	-	511,540	1,284,886
FUND BALANCES, BEGINNING OF YEAR	9,134,879	9,134,879	7,849,993
FUND BALANCES, END OF YEAR	<u>\$ 9,134,879</u>	<u>\$ 9,646,419</u>	<u>\$ 9,134,879</u>

THE CITY OF PENTICTON
RESERVE FUNDS
STATEMENT OF FINANCIAL POSITION
YEAR ENDED DECEMBER 31, 2021
(UNAUDITED)

	<u>2021</u>	<u>2020</u>
Balance, Beginning of Year	\$ 27,862,842	\$ 23,948,866
Add		
Transfers from:		
Revenue Funds	9,121,090	6,874,039
Interest Earned	436,597	429,141
Deduct		
Transfers to:		
Capital Funds	7,039,217	3,066,225
Revenue Funds	312,253	322,979
	<u>\$ 30,069,059</u>	<u>\$ 27,862,842</u>
STATUTORY RESERVE FUND BALANCES		
Affordable Housing Reserve	224,043	220,580
Alternative Transportation Reserve	210,578	156,127
Asset Sustainability	5,628,860	4,273,052
Capital Reserve Fund	3,276,175	3,791,237
Community Works Reserve	3,292,166	3,544,676
Electric Capital Reserve Fund	5,252,117	5,173,896
Equipment Replacement Reserve	6,584,966	6,839,555
Land Acquisition Reserve	551,116	84,784
Local Improvement Reserve	1,227,141	1,190,714
Off-Street Parking Reserve	130,974	128,950
Parkland Acquisition Reserve	101,793	-
Public Amenity Reserve	122,365	120,474
Sewer Capital Reserve	1,415,440	1,378,862
Tax Sale Lands Reserve	8,082	7,957
Water Capital Reserve	2,043,243	951,978
Balance, End of Year	<u>\$ 30,069,059</u>	<u>\$ 27,862,842</u>

THE CITY OF PENTICTON
RESERVE FUNDS
STATEMENT OF CHANGES IN FUND BALANCES
YEAR ENDED DECEMBER 31, 2021
(UNAUDITED)

	Balance, Beginning of Year	Transfer from General Revenue Fund	Interest Earned	Transfer to/from General Revenue/Capital Fund	2021 Total
Reserve					
Affordable Housing	\$ 220,580	\$ -	\$ 3,463	\$ -	\$ 224,043
Alternate Transportation	156,127	52,000	2,451	-	210,578
Asset Sustainability	4,273,052	1,594,242	73,818	(312,252)	5,628,860
Capital	3,791,237	1,218,727	45,683	(1,779,472)	3,276,175
Community Works	3,544,676	3,020,636	53,322	(3,326,468)	3,292,166
Electric Capital	5,173,896	-	78,221	-	5,252,117
Equipment Replacement	6,839,555	1,575,579	103,111	(1,933,279)	6,584,966
Land Acquisition	84,784	465,000	1,332	-	551,116
Local Improvement	1,190,714	17,588	18,839	-	1,227,141
Off-Street Parking	128,950	-	2,024	-	130,974
Parkland Acquisition	-	101,000	793	-	101,793
Public Amenity	120,474	-	1,891	-	122,365
Sewer Capital	1,378,862	-	36,578	-	1,415,440
Tax Sale Lands	7,957	-	125	-	8,082
Water Capital	951,978	1,076,318	14,947	-	2,043,243
	<u>\$ 27,862,842</u>	<u>\$ 9,121,090</u>	<u>\$ 436,598</u>	<u>\$ (7,351,471)</u>	<u>\$ 30,069,059</u>

THE CITY OF PENTICTON
RESERVES
STATEMENT OF CHANGES IN FUND BALANCES
YEAR ENDED DECEMBER 31, 2021
(UNAUDITED)

	Balance, Beginning of Year	Transfers In	Transfers Out	Interest	2021 Total
Non-Statutory					
Asset Emergency	\$ 3,867,384	\$ 424,487	\$ (42,726)	\$ -	\$ 4,249,145
Cemetery Land	133,000	-	-	-	133,000
Climate Action	495,163	64,984	-	-	560,147
COVID -19 Restart	3,748,276	-	(1,355,338)	-	2,392,938
Election	60,000	30,000	-	-	90,000
Electric Surplus	22,876,424	1,114,450	-	-	23,990,874
Financial Stabilization	1,104,576	1,638,532	-	-	2,743,108
Gaming	919,139	836,972	(480,528)	-	1,275,583
General Surplus	9,134,879	511,540	-	-	9,646,419
Investment Income	1,369,942	-	-	-	1,369,942
Marinas	497,897	55,175	(44,818)	-	508,254
Multi-Material BC	766,975	541,856	(246,000)	-	1,062,831
Parking & Revitalization	51,765	-	-	-	51,765
Public Art	76,771	-	-	-	76,771
RCMP	538,001	250,000	(100,001)	-	688,000
Sewer Equipment Replacement	180,268	169,732	-	-	350,000
Sewer Surplus	2,611,405	2,998,814	-	-	5,610,219
Storm Water	107,526	237,022	-	-	344,548
Urban Forest	-	9,450	-	-	9,450
Water Surplus	8,362,937	2,185,743	-	-	10,548,680
West Bench Capital	1,185,185	-	-	-	1,185,185
West Bench Water	1,410,048	-	(78,336)	-	1,331,712
	59,497,561	11,068,757	(2,347,747)	-	68,218,571
Statutory					
DCC	27,862,842	9,121,090	(7,351,471)	436,598	30,069,059
	19,057,314	3,451,464	(3,755,909)	296,810	19,049,679
	<u>\$106,417,717</u>	<u>\$ 23,641,311</u>	<u>\$ (13,455,127)</u>	<u>\$ 733,408</u>	<u>\$117,337,309</u>

THE CITY OF PENTICTON
 RESERVE
 COVID19 RESTART GRANT
 YEAR ENDED DECEMBER 31, 2021
 (UNAUDITED)

COVID19 RESTART GRANT FUND

Balance, Beginning of Year

Add:

Receipt of grant

Deduct:

Transfer to Financial Stabilization

COVID impacts on revenue and expenses

Balance, End of Year

<u>2021</u>	<u>2020</u>
\$ 3,748,276	\$ -
-	4,711,000
-	962,724
1,355,338	-
<u>\$ 2,392,938</u>	<u>\$ 3,748,276</u>

See accompanying notes to the Consolidated Financial Statements.

THE CITY OF PENTICTON
SEWER REVENUE FUND
STATEMENT OF OPERATIONS
YEAR ENDED DECEMBER 31, 2021
(UNAUDITED)

	2021 Budget	2021	2020
Revenue			
Sales of Services	\$ 8,457,140	\$ 8,672,873	\$ 7,041,749
Government Grants and Transfers	173,394	152,338	152,338
Other Contributions	-	1,292,072	125,000
Transfer From Other Funds/Reserves	-	707,624	2,611,369
	<u>8,630,534</u>	<u>10,824,907</u>	<u>9,930,456</u>
Expenditure			
Salaries and Benefits	1,825,700	1,856,777	1,797,468
Goods and Services	2,001,669	2,456,421	3,053,271
Interest	413,125	396,054	407,953
Principal Payments	538,987	538,987	538,987
Other Expenses	-	2,097	1,941
Vehicle & Equipment Maintenance	627,700	521,834	396,629
Transfer to Other Funds/Reserves	3,223,353	2,053,923	2,611,369
	<u>8,630,534</u>	<u>7,826,093</u>	<u>8,807,618</u>
EXCESS OF REVENUES OVER EXPENDITURES	<u>-</u>	<u>2,998,814</u>	<u>1,122,838</u>
CHANGE IN FUND BALANCES	-	2,998,814	1,122,838
FUND BALANCES, BEGINNING OF YEAR	2,611,405	2,611,405	1,488,567
FUND BALANCES, END OF YEAR	<u>\$ 2,611,405</u>	<u>\$ 5,610,219</u>	<u>\$ 2,611,405</u>

THE CITY OF PENTICTON
 WATER REVENUE FUND
 STATEMENT OF OPERATIONS
 YEAR ENDED DECEMBER 31, 2021
 (UNAUDITED)

	2021 Budget	2021	2020
Revenue			
Sales of Services	\$ 10,144,000	\$ 10,099,380	\$ 9,234,854
Transfer From Other Funds/Reserves	78,336	2,823,881	3,692,030
Other Revenue	-	12,000	129,350
Other Contributions	-	2,444,324	100,000
	<u>10,222,336</u>	<u>15,379,585</u>	<u>13,156,234</u>
Expenditure			
Salaries and Benefits	1,833,595	2,094,787	1,972,427
Goods and Services	2,069,165	2,773,324	2,828,443
Interest	285,475	278,536	280,662
Principal Payments	422,123	422,123	422,123
Other Expenses	29,530	26,310	17,637
Vehicle & Equipment Maintenance	365,926	209,204	179,694
Transfer to Other Funds/Reserves	5,216,522	7,389,558	5,520,300
	<u>10,222,336</u>	<u>13,193,842</u>	<u>11,221,286</u>
EXCESS OF REVENUES OVER EXPENDITURES	<u>-</u>	<u>2,185,743</u>	<u>1,934,948</u>
CHANGE IN FUND BALANCES	-	2,185,743	1,934,948
FUND BALANCES, BEGINNING OF YEAR	8,362,937	8,362,937	6,427,989
FUND BALANCES, END OF YEAR	<u>\$ 8,362,937</u>	<u>\$ 10,548,680</u>	<u>\$ 8,362,937</u>

THE CITY OF PENTICTON
ELECTRIC REVENUE FUND
STATEMENT OF OPERATIONS
YEAR ENDED DECEMBER 31, 2021
(UNAUDITED)

	2021 Budget	2021	2020
Revenue			
Sales of Services	\$ 40,623,225	\$ 42,233,342	\$ 42,265,681
Other Revenue	9,835	9,359	10,811
Other Contributions	-	868,259	-
Transfer From Other Funds/Reserves	200,000	73,028	-
	<u>40,833,060</u>	<u>43,183,988</u>	<u>42,276,492</u>
Expenditure			
Salaries and Benefits	1,907,755	2,367,168	2,048,512
Goods and Services	32,774,369	35,171,514	31,927,514
Other Expenses	101,862	89,632	77,306
Vehicle & Equipment Maintenance	214,853	272,293	231,693
Transfer to Other Funds/Reserves	5,834,221	4,168,931	3,500,932
	<u>40,833,060</u>	<u>42,069,538</u>	<u>37,785,957</u>
EXCESS OF REVENUES OVER EXPENDITURES	<u>-</u>	<u>1,114,450</u>	<u>4,490,535</u>
CHANGE IN FUND BALANCES	-	1,114,450	4,490,535
FUND BALANCES, BEGINNING OF YEAR	22,876,424	22,876,424	18,385,889
FUND BALANCES, END OF YEAR	<u>\$ 22,876,424</u>	<u>\$ 23,990,874</u>	<u>\$ 22,876,424</u>

THE CITY OF PENTICTON
 STORM WATER
 STATEMENT OF REVENUE AND EXPENDITURE
 YEAR ENDED DECEMBER 31, 2021
 (UNAUDITED)

	2021 Budget	2021	2020
REVENUE			
Sales of Services	\$ 755,000	\$ 763,377	\$ 562,948
EXPENDITURE			
Salaries and Benefits	240,200	221,197	286,235
Goods and Services	114,520	125,125	153,579
Vehicle & Equipment Maintenance	42,670	21,171	18,565
Transfer to Other Funds/Reserves	357,610	155,904	-
	<u>755,000</u>	<u>523,397</u>	<u>458,379</u>
EXCESS OF REVENUES OVER EXPENDITURES	<u>\$ -</u>	<u>\$ 239,980</u>	<u>\$ 104,569</u>

See accompanying notes to the Consolidated Financial Statements.

THE CITY OF PENTICTON
 CEMETERY PERPETUAL TRUST FUND
 YEAR ENDED DECEMBER 31, 2021
 (UNAUDITED)

	2021	2020
ASSETS		
Bank Term Deposits	\$ 1,099,110	\$ 1,088,227
Less:		
Due From General Revenue Fund	(53,031)	(20,318)
	<u>\$ 1,152,141</u>	<u>\$ 1,108,545</u>
SURPLUS		
Balance, Beginning of Year	\$ 1,108,545	\$ 1,056,150
Add:		
Care Fund Contributions	43,513	52,437
Interest Earned	10,883	24,458
	<u>54,396</u>	<u>76,895</u>
Deduct:		
Cemetery Maintenance	10,800	24,500
Balance, End of Year	<u>\$ 1,152,141</u>	<u>\$ 1,108,545</u>

DRAFT FOR DISCUSSION - COUNCIL MEETING 3, 2022

Council Report

penticton.ca

Date: May 3, 2022
To: Donny van Dyk, Chief Administrative Officer
From: Courtney Jones, Financial Planning and Budget Specialist
Subject: **First Quarter 2022 Financial Update**

File No: RMS 1610

Staff Recommendation

THAT Council receive into record the report dated May 3, 2022 titled "First Quarter 2022 Financial Update".

Strategic Priority Objective

Mission: Penticton will serve its residents, businesses and visitors through good governance, partnership and the provision of effective and community focused services.

Background

The 2022 budget was adopted December 14, 2021. This first quarter report, which includes activities up to March 31, contains:

- A summary of Q1 Council resolutions and other minor amendments to the 2022 budget;
- The latest end of year 2022 forecast; and
- A 2022 capital update and listing of capital projects carried forward from 2021 into 2022.

The following financial implication and analysis sections, along with attachments to this report, outline the impacts to the City's revenues and expenses as a result of the budget amendments in the first quarter of 2022.

Financial Implication

The following financial implications are expected as a result of the budget amendments and forecasts made during the year:

- General Operating Fund: The adopted 2022 budget included a draw from General Operating surplus of \$1.264M to balance the budget. As a result of the budget amendments noted below and current forecast updates, a \$1.44M draw from General Operating surplus is anticipated. Staff will continue to monitor and identify potential savings to offset this increase.
- Water Operating Fund: The adopted 2022 budget included a Water surplus transfer of \$1.5M, which is slightly higher than the current forecasted transfer of \$1.4M.

- Sewer Operating Fund: The forecasted transfer to Sewer surplus is currently the same as the adopted budget of \$1.85M.
- Electrical Operating Fund: The forecasted transfer from the Electrical surplus is the same as the adopted budget of \$2.2M.

At this time, there are no specifically identified material deviations from capital budgets. However, staff are aware that current supply chain issues and economic conditions are impacting prices around the world, and will continue to monitor these potential impacts as projects are advanced through detail design and construction contracts are secured.

Analysis

The following analysis on the City’s financial position was completed as of March 31, 2022.

Operating Revenues

During the first quarter, there were minimal amendments made that impacted the City’s revenues. The table below shows the budget amendments reflecting these changes:

City Revenues	2022 Adopted Budget	Q1 Budget Amendments	2022 Q1 Amended Budget	2022 Year End Forecast	Forecast Variance
Taxation	(62,343,532)	-	(62,343,532)	(62,343,532)	-
Sale of Services	(11,907,942)	(90,000)	(11,997,941)	(12,007,096)	(9,155)
Electric Utility	(42,577,253)	-	(42,577,253)	(42,577,253)	-
Sewer Utility	(8,567,580)	-	(8,567,580)	(8,562,580)	5,000
Water Utility	(10,262,600)	-	(10,262,600)	(10,262,600)	-
Storm Water Utility	(966,000)	-	(966,000)	(966,000)	-
Fiscal Services	(1,856,516)	-	(1,856,516)	(1,856,516)	-
Grants	(4,181,862)	(20,000)	(4,201,862)	(4,311,290)	(109,428)
Other Revenues	(4,682,303)	-	(4,682,303)	(4,711,677)	(29,374)
Development Cost	(1,195,000)	-	(1,195,000)	(1,195,000)	-
Donations	(19,500)	-	(19,500)	(19,500)	-
Total Revenues	(148,560,088)	(110,000)	(148,670,087)	(148,813,044)	(142,957)

Q1 Budget Amendments

Key revenue budget amendments include:

- *Sales of Services* - Revenue was increased by \$90k in recreation due to the City assuming operation of the Sportsplex late 2021. This revenue will be offset by operational costs as noted below in the expenses.
- *Grants* - Revenue increase of \$20k in Planning/Social Development for a 2021 grant carryforward to 2022 for the e-mobility strategy.

Q1 Forecast

Key Forecast Changes:

- *Grants* – Forecasts reflect actual carryforward amounts for grant funded projects that are continuing into 2022.
- *Other Revenues* – The balance of the North Gateway project funding was carryforward into 2022 to complete the project; offsetting expenses are noted below.

Staff are monitoring the following revenue areas:

- *Recreation Fees* – Revenue for the first quarter is higher than budget. Staff is optimistic with the eased pandemic restrictions that revenues will continue to be higher than budget. Overall actual revenues are still 20-30% below actual pre-pandemic revenue.
- *Building Fees* - A strong start to the building season has revenue \$230k higher than budget to date this year. Staff will monitor and adjust the Q2 forecast accordingly.
- *Utility Fees:*
 - Electrical Revenue – Sales for 2022 Q1 are similar to budget, however revenues are 7% higher compared to the first quarter last year, while purchase costs are 9.4% higher than last year.
 - Sewer Revenue - Sales are above budget for first quarter 2022.

General Operating Expenses

The table below shows the budget amendments made to the City’s General Fund operating expenses, as well as a 2022 end of year forecast:

General Fund Expense Summary by Division	2022 Adopted Budget	Q1 Budget Amendments	2022 Q1 Amended Budget	2022 Year End Forecast	Forecast Variance
Community Services	12,841,175	154,000	12,995,175	13,044,549	49,374
Development Services	5,602,124	45,000	5,647,124	5,654,110	6,986
Finance & Administration	32,340,101	(10,000)	32,330,101	32,247,595	(82,506)
Infrastructure	11,211,848	61,000	11,272,848	11,372,848	100,000
Protective Services	20,749,935	110,000	20,859,935	20,859,935	-
Total General Fund Expenses	82,745,183	360,000	83,105,183	83,179,037	73,854

For a detailed summary of all operating expense budget amendments made to date, as well as detailed 2022 year end forecast commentary, please see Attachment A.

Key General Operating Expense Budget Amendments:

- *Community Services* – Increased facility costs for operation of the Sportsplex, building demolition costs, and city yard building electrical upgrades.
- *Development Services* – Planning and Social Development projects carryforward to 2022.
- *Infrastructure* – Larger order of waste and recycle receptacles due to supply chain and shipping requirements.

- *Protective Services* – Addition of an Emergency Planning Coordinator position.

Preliminary Forecast of General Operating Expenses:

- *Community Services* - Projects carryforward from 2021.
- *Finance & Administration* - Cost savings for vacancies during first quarter.
- *Infrastructure* – Anticipated additional snow removal costs based on beginning of the year higher than normal costs.

Staff are monitoring the following expense areas:

- Fuel prices have increased substantially since the completion of the budget. Staff will continue to monitor costs comparative to budget and will adjust the budget accordingly later in the year once the full impacts are known. Increased fuel prices are increasing freight costs as well.
- Supply chain delays, increased lead times and higher material costs are negatively affecting the City’s costs. These issues are impacting all areas of operations and City staff are managing by increasing inventories on hand, ordering further in advance and strategically optimizing timing of projects. Staff will monitor this and amend the budgets accordingly.

Capital Budgets

The 2022 Capital Budget program is underway despite impacts from supply chain delays and increased lead times. The below table and bullet points summarize the budget amendments in each of the City’s respective capital funds:

Capital Fund	2022 Adopted Budget	Q1 Budget Amendments	2022 Q1 Amended Budget	2022 Year End Forecast	Forecast Variance
General Capital	16,133,300	289,000	16,422,300	16,422,300	-
Electric Capital	8,190,169	48,014	8,238,183	8,238,183	-
Sewer Capital	11,004,000	-	11,004,000	11,004,000	-
Water Capital	11,448,000	-	11,448,000	11,448,000	-
Total Capital	46,775,469	337,014	47,112,483	47,112,483	-

Summary of general capital budget amendments:

- *General Capital:*
 - Increased Sportsplex turf costs \$100k, Council resolution 57/2022.
 - Energy Audit - FortisBC's Custom Efficiency Program \$90k, Council resolution 58/2022.
 - Lakeview Cemetery Septic System Replacement due to failure \$30k.
 - Increased fleet purchase budget for 1/2 Ton Pick Up (replacing unit #94) by \$8k and \$17k for Digger Derrick. Increased costs due to supply chain constraints.
 - There have been several other minor General capital budget amendments totalling \$44k for Okanagan Marina asphalt repair, road works at Alberni St. and PTCC apron repairs
- *Electric Capital* – Increase \$48k for stringing machine for higher than budgeted cost.

As mentioned above, supply chain delays, increased lead times and higher material costs are impacting capital projects. The City continues to be fluid to these changes and looks for ways to minimize cost increases and optimize project timing, whenever possible.

Capital projects carried over from previous years:

- \$13.1M in historical capital budgets was carried over to the 2022 capital program. Notable projects include:
 - *General Fund:*
 - Just below \$3.7M for the Penticton Creek project that is funded by grants.
 - \$645k for other creek flood mitigation projects.
 - \$522k for the realignment of the Kinney and South Main intersection.
 - \$939k for Fleet replacements that have been delayed due to supply issues.
 - \$1.0M for varied facility projects such as Sportsplex turf replacement, PTCC upgrades, other miscellaneous projects.
 - \$516k for IT related infrastructure.
 - *Water Fund:*
 - \$421k for replacing electrical equipment at the Okanagan Lake pump station.
- For a detailed listing of all projects carried over to 2022, please see Attachment B.

Alternate Recommendations

THAT Council direct staff to provide them with further information prior to receiving into record the report dated May 3, 2022 titled "First Quarter 2022 Financial Update".

Attachments

- Attachment A – First Quarter 2022 Financial Update – Operating Expenses
- Attachment B – 2021 Capital Projects Carried into 2022

Respectfully submitted,

Courtney Jones

Courtney Jones
Financial Planning & Budget Specialist

Director Finance and Administration <i>AMC</i>	GM Community Services <i>SBH</i>	GM Infrastructure <i>KD</i>	Director Development Services <i>BL</i>	Acting Chief Administrative Officer KD
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Attachment A – First Quarter 2022 Financial Update – Operating Expenses

Unless otherwise specified, the data used in this report is current as of March 31, 2022.

Operating Expense Summary

General Fund

Per the below table, there has been an increase of \$360k of general fund expenses since the adopted budget in December:

General Fund Expense Summary by Division	2022 Adopted Budget	Q1 Budget Amendments	2022 Q1 Amended Budget	2022 Year End Forecast	Forecast Variance
Community Services	12,841,175	154,000	12,995,175	13,044,549	49,374
Development Services	5,602,124	45,000	5,647,124	5,654,110	6,986
Finance & Administration	32,340,101	(10,000)	32,330,101	32,247,595	(82,506)
Infrastructure	11,211,848	61,000	11,272,848	11,372,848	100,000
Protective Services	20,749,935	110,000	20,859,935	20,859,935	-
Total General Fund Expenses	82,745,183	360,000	83,105,183	83,179,037	73,854

The budget amendments that comprise the additional expenses are summarized in the below sections.

Community Services

Community Services	2022 Adopted Budget	Q1 Budget Amendments	2022 Q1 Amended Budget	2022 Year End Forecast	Forecast Variance
Economic Development	867,000	-	867,000	896,374	29,374
Tourism	300,000	-	300,000	300,000	-
Library	1,686,012	-	1,686,012	1,686,012	-
Museum	408,400	-	408,400	408,400	-
Facilities	862,890	152,000	1,014,890	1,034,890	20,000
Recreation	4,121,770	2,000	4,123,770	4,123,770	-
SOEC	2,447,603	-	2,447,603	2,447,603	-
Transit	2,147,500	-	2,147,500	2,147,500	-
Total Community Services Expenses	12,841,175	154,000	12,995,175	13,044,549	49,374

Q1 Budget Amendments

Facilities

- Added \$76k in expenses added for the City assuming management of the Sportsplex;
- Added \$50k for 2 building demolitions due to safety and liability risks with building vacancy;
- Increased bylaw office janitor and garbage services by \$8k; and
- Added \$18k for City Yards building electrical upgrades.

Recreation

- Added \$2k in expenses for expenses related to Sportsplex rentals.

Q1 Forecast*Economic Development*

- The North Gateway project expenses of \$29k, offset by revenue carryforward from 2021.

Facilities

- Vacant building demolition costs are anticipated to be higher than the initial budget amendment estimates, based on actual quotes received.

Development Services

Development Services	2022 Adopted Budget	Q1 Budget Amendments	2022 Q1 Amended Budget	2022 Year End Forecast	Forecast Variance
Animal Control	198,500	-	198,500	198,500	-
Building And License	1,465,152	-	1,465,152	1,465,152	-
Bylaw Enforcement	1,793,500	-	1,793,500	1,793,500	-
Development Services	1,097,671	-	1,097,671	1,097,671	-
Planning & Social Development	1,047,301	45,000	1,092,301	1,099,287	6,986
Total Development Services Expenses	5,602,124	45,000	5,647,124	5,654,110	6,986

Q1 Budget Amendments*Planning & Social Development*

- Added \$20k in expenses for e-mobility grant expenses, revenue was carryforward from 2021; and
- Added \$25k for City's matching portion for the 2021 Vancouver Foundation grant.

Q1 Forecast*Planning & Social Development*

- UBCM grants carryforward from 2021 to complete grant initiatives.

Finance & Administration

Finance & Administration	2022 Adopted Budget	Q1 Budget Amendments	2022 Q1 Amended Budget	2022 Year End Forecast	Forecast Variance
Accounting & Finance	2,038,203	-	2,038,203	1,950,203	(88,000)
Civic Grants	1,067,714	-	1,067,714	1,067,714	-
Communications	430,369	-	430,369	430,369	-
Corporate Administration	911,000	-	911,000	911,000	-
General Government	23,633,099	-	23,633,099	23,633,099	-
Human Resources & Safety	687,191	(10,000)	677,191	677,191	-
Information Technology	2,371,148	-	2,371,148	2,376,642	5,494
Land Management	677,843	-	677,843	677,843	-
Mayor And Council	266,815	-	266,815	266,815	-
Purchasing	256,719	-	256,719	256,719	-
Total Finance & Administration Expenses	32,340,101	(10,000)	32,330,101	32,247,595	(82,506)

Q1 Budget Amendments

Human Resources & Safety

- Transfer \$10k of safety equipment costs to Fire department.

Q1 Forecast

Accounting and Finance

- Cost savings for vacancies including recruitment process for General Manager of Finance and Manager of Finance.

Information Technology

- Annual software license cost increases.

Infrastructure

Infrastructure	2022 Adopted Budget	Q1 Budget Amendments	2022 Q1 Amended Budget	2022 Year End Forecast	Forecast Variance
Cemetery	376,500	-	376,500	376,500	-
Engineering Services	-	-	-	-	-
Fleet	2,362,503	6,000	2,368,503	2,368,503	-
Parks	3,340,011	-	3,340,011	3,340,011	-
Public Works - General	-	-	-	-	-
Roads	2,526,284	-	2,526,284	2,626,284	100,000
Solid Waste	2,037,550	55,000	2,092,550	2,092,550	-
Street Lighting	418,000	-	418,000	418,000	-
Traffic Control	151,000	-	151,000	151,000	-
Total Infrastructure Expenses	11,211,848	61,000	11,272,848	11,372,848	100,000

Q1 Budget Amendments

Fleet

- Added \$6k for zero emission fleet assessment.

Solid Waste

- Additional costs of \$55k for larger order of waste and recycle receptacles due to supply chain and shipping requirements.

Q1 Forecast

Roads

- Anticipated increased costs for snow removal based on actual spending to date and end of year anticipated snow removal costs.

Protective Services

Protective Services	2022 Adopted Budget	Q1 Budget Amendments	2022 Q1 Amended Budget	2022 Year End Forecast	Forecast Variance
Fire Services	7,924,935	110,000	8,034,935	8,034,935	-
RCMP	12,825,000	-	12,825,000	12,825,000	-
Total Protective Services Expenses	20,749,935	110,000	20,859,935	20,859,935	-

Q1 Budget Amendments

Fire

- Transferred \$10k from Safety for EOC equipment; and
- Added \$100k for an Emergency Planning Coordinator position.

Utility Funds

Utilities	2022 Adopted Budget	Q1 Budget Amendments	2022 Q1 Amended Budget	2022 Year End Forecast	Forecast Variance
Electrical Expenses	37,934,940	-	37,934,940	37,934,940	-
Sewer Expenses	5,466,637	-	5,466,637	5,466,637	-
Water Expenses	4,977,041	-	4,977,041	5,052,041	75,000
Storm Water Expenses	551,173	-	551,173	551,173	-
Total Utilities Expenses	48,929,791	-	48,929,791	49,004,791	75,000

Q1 Forecast

Electrical

- Forecasted bulk energy purchases are tracking similar to budget, while purchase costs are 9.4% higher than last year and usage is up 4.6% over 2021 Q1. The BC Utilities Commission approved the Fortis BC requested 3.47% rate increase effective Jan 1, 2022.

Water

- Increased water main repairs \$75k for higher repair costs due to colder temperatures for longer durations than normal.

Attachment B – 2021 Capital Projects Carried into 2022

General Capital Fund	2021 Carry forward to 2022
Point Intersection Kinney & South Main - Gen Cap - Engineering	4,699
Point Intersection Kinney & South Main - Re-Align Galt Avenue	517,455
Pavement Management: Rehabilitation - Engineering General Duties	4,525
Pavement Management: Rehabilitation	165,875
Pavement Management: Rehabilitation -Primary Access Lanes (Dev Services Contingency)	70,909
City Parking Lots (Reserve)	79,973
Oxbow Drainage Improvements (Storm)	56,000
Intersection and Road Marking Improvements	285,741
Rainfall Monitoring - Budget - Gen Cap	30,000
Rainfall Monitoring - Budget - Storm Cap	16,000
Dewdney Crescent Storm Upgrades - Budget - Storm Cap	75,000
Flood Recovery - Creeks (Project TBA - DO NOT USE)	645,425
Penticton Creek Revitalization 3 (Dividend)	31,840
Penticton Creek Revitalization 3 (Cap Res)	605,209
Penticton Creek Revitalization 3 (Storm)	85,000
Penticton Creek Revitalization Reach 3a(upper)/3b & Structure 3&4 - Grant Funding Expense	2,995,137
Sidewalks, Curbs and Gutter Projects - Engineering General Duties	22,541
Sidewalks, Curbs and Gutter Projects	92,214
Traffic Calming Program	149,634
City Yards - Roof Replacement	12,200
Jubilee Pavillion - Public Washrooms	10,059
Library/Museum HVAC system past life expectancy	80,000
Memorial Arena - Misc. Capital	13,000
SOEC - Misc. Minor Capital	20,687
PTCC - Building Renos	10,000
PTCC - Generator	99,220
PTCC - Dishpit	165,000
PTCC - Freezer	42,500
PTCC - Walkway & Rear Entrance	200,000
Dog kennel building (Capital Res)	4,468
Sportsplex - New Turf	200,000
SS Sicamous Fire Protection Upgrade	3,744
City Wide Security - Audit/upgrades	41,399
Re-key City Buildings	56,667
OHTC - Mechanical	10,000
OHTC - Misc Capital	17,628
Fire Hose Replacement	7,789
Emergency Training Center Upgrades	15,765
Fire Services - Equipment Replacement	9,083
Information Technology - Hardware - Servers, Appliances	142,577
Information Technology - Hardware - Audio Visual, Security Video	30,846
Information Technology - Infrastructure - Local Area Network	288,149
SOEC - Capital IT/AV	15,593
SOEC - Capital IT/AV (Comm Works)	54,798
GIS - Software/Hardware Purchases	23,481
Lakeview Cemetery Upgrades	137,071

General Capital Fund Cont'd	2021 Carry forward to 2022
Digger Derrick Aerial to Replace Unit 64	350,000
Auto Hoist	26,000
Tandem Dump (replacing unit #43)	200,000
Utility Service Truck (replacing unit #51)	160,000
Winter Sander/Blade (replacing unit #86)	25,000
1/2 Ton Pick Up (replacing unit #94)	32,000
Small Lawn Tractor (replacing unit #9510)	3,500
Pumper/Rescue Combination Truck (replacing #E203 & R202)	103,625
UTV w/ snow blade, blower and spreader (Replace Unit 79)	27,000
Trailer (Replace Unit 201)	12,000
Barton Court Walkway	5,000
Marina Way Park - Pedestrian Access	10,000
Parkway 2 - raise outfield fences	89,818
Pickleball Courts Sound Barrier	14,827
Skaha Park - Splash Pad replacement	98,479
Total General Capital Fund	8,802,150

Sewer Capital Fund	2021 Carry forward to 2022
AWWTP Expansion and Upgrades	304,000
AWWTP - Equip Repl for Liftstations - Lakeside North And South	7,313
LWMP review	103,418
SCADA Efficiencies	14,407
AWWTP - PLC Upgrades	24,896
Power Monitoring Efficiencies	21,558
AWWTP - CMMS (Asset Management software)	60,000
AWWTP - Main breaker PDC replacement	50,000
AWWTP - Chemsan	15,632
1990 HVAC Replacement	36,000
Sludge Hauling Roll Off Bins (2)	9,367
Wilson & Marina Way Generators and Flow Meters	227,004
Asset Management Renewal Assessment Waste Water Lift Stations	24,936
East Penticton Interceptor - Fairview Ave to Treatment Plant	45,000
Aging Sanitary Sewer Infrastructure Replacements and Upgrades	191,071
Point Intersection Kinney & South Main - Re-Align Galt Avenue	17,500
Total Sewer Capital Fund	1,152,102

Water Capital Fund	2021 Carry forward to 2022
Industrial Area Fire Flow Upgrades	25,000
Ridgedale Reservoir Upgrade - Budget - Water Cap	110,000
Point Intersection Kinney & South Main - Re-Align Galt Avenue	17,500
100mm Water Main Replacement Program	479,832
Aging Water Main Replacement Program	163,380
WTP Pressure Reducing Station Equipment - upgrade Penticton Ave PRV control system	336,037
WTP equipment replacement - PLC's and communications equipment	14,524
Replace electrical equipment Okanagan Lake Pump Station - Budget	420,599
Roof replacement WTP	48,900
Source Protection Plan & Assessment	75,297
Make up air unit replacement program WTP	134,798
Irrigation Meter Program	15,776
Ellis 4 Dam - Consulting and Upgrades	314,418
Ellis Creek Diversion Dam - Bridge Replacement	152,578
Misc Dam Projects	22,969
Total Water Capital Fund	2,331,608

Electric Capital Fund	2021 Carry forward to 2022
Expansion- Sendero backup OH extension	478,659
Departmental Tools- PLT & Engineering Tools	247,360
55' Pole Trailer	65,000
Electrical Hybrid or Electric Van (Electric)	65,000
Total Electric Capital Fund	856,019

Total 2021 Carry Forwards to 2022	13,141,879
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Council Report

penticton.ca

Date: May 3, 2022
To: Donny van Dyk, Chief Administrative Officer
From: Angela Campbell, Director Finance and Administration
Subject: **First Quarter 2022 Corporate Business Plan Update**

File No: RMS / 1610

Staff Recommendation

THAT Council receive into record the report dated May 3, 2022 titled "First Quarter 2022 Corporate Business Plan Update".

Strategic Priority Objective

Mission:

Penticton will serve its residents, businesses and visitors through good governance, partnership and the provision of effective and community focused services.

Background

To ensure strong public accountability each year the City publishes a Corporate Business Plan that identifies its major initiatives and reports quarterly on the progress of these initiatives. This is the first update staff have provided to Council regarding the progress on the City's 2022 Corporate Business Plan.

Financial Implication

Financial impacts regarding initiatives outlined in the City's Corporate Business Plan are included in department operating budgets and the 2022 – 2026 Financial Plan. There are no additional budget implications regarding business plan initiatives for this update.

Analysis

In 2022, the City set out 51 initiatives to complete for the year. In response to community concerns for safety and well-being the Council Priority of Community Safety was at the forefront of Corporate Business Plan initiatives. Of the 51 initiatives for 2022, 49 are "on track" to complete project milestones and deliverables this year. There are two "delayed" projects which include a community safety initiative to explore City sponsored monitoring devices for repeat offenders and a community vitality initiative to refresh the Okanagan-Similkameen Transit Future Plan. The safety initiative is expected to have progress made in the

second quarter and the transit plan, led by BC Transit, will continue engagement this spring, with project completion targeted for the end of 2022.

First Quarter Snapshot

Q1 Summary Table

Priority	Completed	On Track	Delayed	Discontinued	Total
Asset & Amenity Management	0	9	0	0	9
Community Safety	0	18	1	0	19
Community Vitality	0	14	1	0	15
City Mission	0	8	0	0	8
<i>Totals</i>	0	49	2	0	51

Attachments

Attachment A – First Quarter 2022 BP Updates

Respectfully submitted,



Angela Campbell, Director Finance and Administration

Concurrence

General Manager of Community Services <i>SH</i>	General Manager of Infrastructure <i>KD</i>	Fire Chief <i>LW</i>	Director Development Services BL	Acting Chief Administrative Officer KD
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Status		City of Penticton Corporate Business Plan Update	Q1 Update
Priority	Tracking Status	Finance and Administration	
		Asset and Amenity Management	
AAMP	On Track	Implement Asset Retirement Obligations	In progress, work to resume in Q2 after annual legislated reporting completed.
		Mission	
Mission	On Track	Conduct 2022 General Local Election	Hired an election consultant and attended election training workshops and seminars hosted by LGMA
Mission	On Track	Facilitate New Council Orientation and Strategic Planning	Will occur later in 2022
Mission	On Track	Implement a City Mental Health Strategy	Strategy drafted, shared with SLT/PLT, feedback received. Next steps compiling feedback & including in strategy, developing action plans.
		Community Safety	
Safety	On Track	Increase Information Technology Capacity	IT Operations Supervisor was on boarded March 7th this new position will improve the City's detection and response to cyber threats as well as other IT operations. IT Manager is currently recruiting for a new Help Desk Analyst.
		Community Services	
		Asset and Amenity Management	
AAMP	On Track	Finalize and Implement the Asset & Amenity Management Project	AAMP presented to Council on April 5th with direction received to bring back work plan and budget for commencement of Community Safety Building project.
AAMP	On Track	RCMP Building Mechanical Upgrades	Design/equipment replacement in progress
AAMP	On Track	Construct New 2-Bay Storage Building at Fire Hall 202	Preliminary site analysis underway
		Mission	
Mission	On Track	Implement IRONMAN Canada Event	In progress, contract dates amended and planning meetings are underway. Anticipated event date is August 28, 2022.
Mission	On Track	Continue Rec and Culture Service Recovery Plan	Services continue to adjust to changes in public health orders.
Mission	On Track	Implement Cleland Theatre Optimization Plan	A/V Equipment upgrade project is underway. Grant application submitted. Preliminary carpentry completed. RFQ issued for electrical upgrades. RFP issued for audio equipment upgrades.
Mission	On Track	Installation of Penticton Heritage Plaques	In progress. Staff preparing to mail out the letters of interest to owners of heritage properties. Informational poster and brochures are in the design process.
		Community Safety	
Safety	On Track	Community Safety Review	Community stakeholder and staff consultation underway. Draft recommendations expected in early June 2022.
Safety	On Track	Evaluate Results of the DPA's Remote Guard Service Pilot Project	Waiting to hear from DPA on first quarter results.

Legend

AAMP
Mission
Safety
Vitality

Status		City of Penticton Corporate Business Plan Update	Q1 Update
Safety	On Track	Upgrade Public Washrooms to Address Vandalism and Safety Issues	Investment in washroom facilities underway to improve safety and security.
		Community Vitality	
Vitality	On Track	Continue COVID-19 Business Community Support and Recovery	In progress, all remaining COVID-19 Re-Start Task Force recommendations are planned for execution 2022, in partnership with DPA/Chamber/Visit Penticton
Vitality	On Track	Support Event Portfolio and Future Destination Development	At least ten new events are on the calendar for 2022. Continuing to build the endurance sport brand for new and prospective events. Working with SOEC/Visit Penticton to identify and attract new future events.
Vitality	On Track	Online Accommodation Platform (OAP) Housing Study	To commence in Q3 2022
		Library	
		Community Vitality	
Vitality	On Track	Expansion of Library Holds Program to Penticton Community Centre	Locker has been ordered and location for installation selected. Rough installation date planned. Graphic wrapping design is in-progress.
		Infrastructure	
		Asset and Amenity Management	
AAMP	On Track	Skaha Park Splash Pad Replacement	Staff is currently working with local First Nations En'owkin Center to develop content that will be incorporated into the design of the new splash pad.
AMMP	On Track	Partnership with RDOS to Address Sanitary Sewer Plant Residuals and Organics Waste Management	ALC did not approve the non-farm use of 1313 Greyback Mountain Road property and the RDOS is currently appealing the decision. Pending the outcome of this decision, the RDOS will be in a position to determine the potential site for this facility.
AAMP	On Track	Upgrades for Dam Safety Compliance	Detailed Design work for the 2023/24 Upgrades to Ellis 4 dam are currently under way. The RFP to secure a qualified professional for the required upgrades to the Ellis 2 Dam will be advertised in the next couple of weeks.
AAMP	On Track	Wastewater Treatment Plant Expansion	Concept design for the upgrades at the Wastewater Treatment Plant are currently underway. Concept drawings will be finalized by the end of April. Pre-design report to be finalized at the end of May.
AAMP	On Track	Penticton Creek Naturalization Project	Discussions with adjacent landowners concerning project impacts are continuing. Still awaiting FLNRO/DFO regulatory approval. Tree removal prior to bird nesting season is in progress. Consultant working on completion of utility crossing, creek diversion and tender document details.
		Community Safety	
Safety	On Track	Water Treatment Plant (WTP) Arc Flash Study	Kick-off meeting occurred at the end of March.
		Community Vitality	

Status		City of Penticton Corporate Business Plan Update	Q1 Update
Vitality	On Track	Develop an Urban Forestry Master Plan	Work has commenced on the development of an RFP to secure a qualified professional to undertake this project.
Vitality	On Track	Cleanliness Initiative for Parks and Core City Areas	Recruitment is underway to secure the 4 staff required to enhance the current program as requested
Vitality	On Track	Conduct Distribution System Resiliency Study	Contract has been awarded through an RFP process. Final report is scheduled for end of May 2022.
Vitality	On Track	Introduction of a Fully Electric Vehicle to Fleet Department	Opportunities are being investigated. Current global supply chain issues have introduced significant challenges into the Fleet procurement processes.
Vitality	On Track	Installation of a New Lighted Landmark for the Nighttime Landscape	The decorative scroll project is currently underway. Staff has sought engagement from the Arts, Creative & Cultural Innovation Committee as well as the Heritage and Museum Committee. Generally the committees suggested designing the new piece based on the historical design of the past scrolls and have identified 3 potential locations for consideration. An architect has been secured to undertake work that can be used for public engagement and detailed engineering design work.
Vitality	On Track	Completion of Section Two of the Lake-to-Lake Bike Route	RFP for construction was issued on March 30, and will close on April 20, 2022.
Vitality	On Track	Create a New Point Intersection to Address Traffic Congestion	RFP drawings will be finalized in April 2022, and an RFP for construction will be issued shortly after.
Vitality	Delayed	Refresh the Okanagan-Similkameen Transit Future Plan	This project was delayed due to limited engagement turn-out resulting from Covid-19. Additional engagement is planned for this spring, with completion of the project scheduled for later this year.
		Development Services	
		Community Safety	
Safety	On Track	Expand Bylaw Services and Community Safety Capacity	All new Bylaw staff that were supported through the 2022 budget process have now been recruited and are in training, including 1 new Bylaw Intake Administrator, 4 new Community Safety Officers, 1 new Bylaw Enforcement Officer and additional Relief Officers. We expect the bylaw expanded hours (7AM - 11PM, 7 days a week) to be operational in May.
Safety	Delayed	Explore City Sponsored Monitoring Devices for Repeat Offenders	No progress has occurred on this initiative at this time.
Safety	On Track	Strengthening Penticton's Housing Response	Development Services staff continue to process housing applications at historically high levels supporting all aspects of the housing spectrum. Housing policy and the City's future housing needs is planned to be reviewed in Q3 this year, once more of the 2021 census data is released.
		Community Vitality	
Vitality	On Track	New Online Application Software for Developers and Homeowners	A contract has been signed with Cloud Permit, a leading software provider of on-line application software. Integration of Cloud Permit into the City's system is ongoing with staff training to commence after integration. We have also purchased Blue Beam software which allows for the digital review of pdf building plan submissions, further enabling fully digital application submissions.
Vitality	On Track	Complete a Housing Policy Review	This work is scheduled for Q3 when more details from the 2021 census are released.

Status		City of Penticton Corporate Business Plan Update	Q1 Update
Vitality	On Track	Implementing the Community Climate Action Plan	Several initiatives are underway with regard to implementing the CCAP, including the development of an Electric Vehicle (EV) strategy and a review of development processes to increase the 'Step' level of new development.
		Fire Department	
		Community Safety	
Safety	On Track	Ratify New Collective Agreement with the International Association of Fire Fighters, Local 1399	Planning for Bargaining in Q4.
Safety	On Track	Continue FireSmart Penticton Program for 2022	Funding of \$150,000 was approved from UBCM for continuation of the Penticton FireSmart Program. The FireSmart team has been very active this spring with a lot of interest from the community completing Home evaluations and mitigation
Safety	On Track	Host Wildfire Training Symposium 2022	April 22-24 Penticton Fire dept. is hosting over 300 firefighters from over 40 jurisdictions and will provide wildfire training to promote higher level training for all provincial fire services.
Safety	On Track	Expanding Internal Training Strategy and Resources	PFD is continuing discussion with the Justice Institute of BC to participate in a partnership in hosting Provincial Firefighter training at the PFD Training Grounds.
Safety	On Track	Enhancing Fire Fighting Apparatus Program	Anticipating the arrival of the New Rescue Engine September 2022.
		RCMP	
		Mission	
Mission	On Track	Improve RCMP Investigation Capacity through Technical and Administrative Support	The newly approved IT position is filled and work is being done in support of the members. We are currently in the midst of filling the additional Admin Support position.
		Community Safety	
Safety	On Track	Enhance Proactive Policing through Prolific Offender Management and Traffic Services	Prolific Offender Management program is established and functioning as expected.
Safety	On Track	Crime Reduction: Property Crime and Drugs	Work continues toward a reduction in Property Crime and Drugs in the community. This is correlated to our Prolific Offender Management program.
Safety	On Track	Family and Sexual Violence Support	Our Special Victims Unit continue to work with our community partners in reducing Family and Sexual violence.
Safety	On Track	Mental Health and Substance Use Support for the Community	The detachment's Mental Health Liaison Officer is working with shelter operators, Interior Health and BC Housing in reducing the impact of homelessness in our community.
Safety	On Track	Traffic and Road Safety Enforcement	Members are continually working with Highway Patrol (Keremeos), ensuring our roadways are safe for motorists, cyclists and pedestrians.
Safety	On Track	Employee Wellness Strategy	We continue to focus on mental wellness amongst all employees.

Council Report

penticton.ca

Date: May 3, 2022
To: Donny van Dyk, Chief Administrative Officer
From: Angela Campbell, Director of Finance and Administration
Subject: **Procurement and Request for Proposal (RFP) Process**

File No:

Staff Recommendation

THAT Council receive into record the report dated May 3, 2022 titled "Procurement and Request for Proposal (RFP) Process".

Strategic priority objective

Mission: Penticton will serve its residents, businesses and visitors through good governance, partnership and the provision of effective and community focused services.

Background

At the April 5, 2022 Council meeting, Council passed the following resolution:

123/2022

It was MOVED and SECONDED

THAT staff provide a brief presentation on the Request for Proposal process in the interest of education of Council and the public at the May 3, 2022 Council Meeting.

CARRIED UNANIMOUSLY

As requested by Council, this report summarizes the role of the Procurement and Inventory Services Department, provides details on the Procurement Policy and provides information around the procurement process.

Procurement and Inventory Services Department

The Procurement and Inventory Services Department, consisting of a team of 4 staff members, provide centralized procurement services for the acquisition of goods and services, including receipt of goods and services for payment, for all departments within the City, including coordinating all requests for proposals and bids for contracts. This department also manages the City's inventory, consisting of 2,000 + items valued at approximately \$3.6M, and ensures appropriate disposal of City assets.

Procurement department stats:

Year	Bid Opportunities	Purchase Orders Issued	Purchase Order Value	Contract Value	Savings
2021	54	861	\$5.1M	\$10M	\$1.9M
2020	54	667	\$4.2M	\$8.9M	\$2.7M
2019	91	738	\$8.7M	\$8.5M	\$4.8M
2018	102	792	\$8.7M	\$20.3M	\$4.6M

Note that the amount of bid opportunities and savings in 2020 and 2021 are lower than past years due to COVID restraints and the City’s direction to eliminate some planned expenditures and projects. Savings are calculated by taking an average of the bids not awarded and subtracting the amount of the contract. A few examples of the diverse bid opportunities in 2021 include, operation of Skaha Marina, Fire Hall roof replacement, Penticton Creek work for Reaches 3/4 and the purchase of an electric ice resurfer.

Group Purchasing

The City belongs to 3 Group Purchasing Organizations which provide access to approved suppliers and products at group pricing for public sector purchasing in Canada. Most of the purchases made through these organizations are for fleet equipment.

In order to further obtain best value, the City made joint purchases for GPS units with the Cities of Kelowna and Vernon, a vactor truck and signage with the City of West Kelowna and for road salt with the City of Vernon, Town of Spallumcheen and Westbank First Nation.

Procurement Policy

The City’s Procurement Policy was last revised and endorsed by Council on June 18, 2019. This policy establishes overall direction and general principles that City Staff follow in the procurement of goods and services.

General Principles

Some of the key principles outlined in the policy include:

- Overall Conduct - Ensure integrity, transparency, accountability, efficiency and consistency.
- Fair Competition - Acquire goods and services through fair, transparent and competitive processes in accordance with legislative and trade agreement requirements.
- Goods up to \$5,000 can be purchased without obtaining quotes.
- Legislation and Trade Agreements - Comply with the authorities and obligations of the following legislation and trade agreements:
 - New West Partnership Trade Agreement (NWPTA);
 - Canadian Free Trade Agreement (CFTA);
 - Comprehensive Economic Trade Agreement (CETA);
 - Agreement on International Trade (AIT);
 - *Local Government Act*;

- *Community Charter; and*
- *Freedom of Information and Protection of Privacy Act (FOIPPA).*
- Ethical Conduct – Employees shall:
 - Act honestly and with integrity, avoiding even the appearance of impropriety, in all procurement and related practices;
 - Maintain consistency in all processes and actions; and
 - Adhere to good ethical standards in all procurement and related practices.
- Local Suppliers - Select the supplier that provides the best value to the City. In circumstances where there is no difference in value to the City, local suppliers will be given preference. The New West Partnership Trade Agreement (NWPTA) among other Agreements does not permit preferential treatment of local suppliers. The operating principle of the NWPTA is to ensure that suppliers are not discriminated against based on their geographic location. A supplier's location cannot be used to limit the success of their proposal.

Authorities

The roles and responsibilities regarding the procurement of goods and services is laid out in the policy, the overview of each role is as follows:

- City Council – Sets the principles, authorization and approval limits for how the City conducts its procurement. All Capital and Operating procurements must be within the City's annual budget.
- CAO/CFO - Sets the procurement procedures to be followed for all procurement, in accordance with the policy set by Council.
- Procurement Manager/Procurement Department - Responsible for oversight and administration of the Procurement Policy and procedures.
- Directors/General Managers/Department Managers - Responsible for adherence to the Procurement Policy and procedures.
- All Employees - Responsible for compliance with the Procurement Policy and procedures.

Procurement Process

Requests for Quotes, Proposals or Tenders

The City seeks submissions through a variety of methods including formal Request for Quote (RFQ), Request for Proposals (RFP) or a Tender. An RFP is used when the City has a need and is seeking proposals to provide a product or service, while the other two are used when the City knows exactly what it wishes and is strictly looking for the best price.

Procurement staff work with internal team members to determine exactly what the organizational needs are. Once the desired outcome(s) has been established, the RFP document sets out:

- specifications describing the solution the City is seeking
- tasks or services to be performed by the proponent
- timeline for completing the project or term of the contract
- the evaluation criteria
- the weight of each criteria

Evaluation Criteria and Weighting

The evaluation criteria and weighting vary from project to project and are tailored to meet the specific requirements of the project. For example, an RFP for consulting services would typically include scoring based on total contract price, methodology, team members and experience in similar projects. Whereas an RFP for facility repairs or equipment installation might include scoring based on price, experience, supervisory staff experience in similar work, lead times for equipment and availability to complete the work. Evaluation criteria must be measurable, clear, fair and disclosed in the RFP document.

The City's budget for projects is not disclosed in the RFP as the intent of the City is to seek the best value for the best price. Price is included in all RFP's as an evaluation criterion, and is typically weighted between 25% and 50% depending on the complexity of the project. A project requiring specific knowledge would typically result in a lower weight for price, while the experience, methodology and team members assigned to the project would be rated higher. Conversely, for a more straight forward project, price would typically be weighted high, and the remaining criteria rated lower.

Advertising

Public bid opportunities are posted on Bonfire, the City's procurement portal. They are typically posted for 21 days, but can vary based on complexity. All bidding opportunities are posted on the City's website. Depending on the value and skill set requirements, opportunities are also often advertised in the newspaper and posted on BC Bid and Civic Info, both of which are BC Government procurement opportunity websites. On occasion and depending on the type of service being requested, the City has advertised across the country and across North America to seek interest on projects. The overarching goal of the advertising strategy is to try to get as much interest in City opportunities as possible, to get the best value for the City.

Evaluation Committee Members

Procurement staff do not evaluate proposals. A procurement project manager is assigned to each procurement request to facilitate the process and to ensure that it is fair and transparent. The evaluation committee assigned to review the proposals is comprised of a minimum of 3 people, and ideally not more than 7 people, and may include staff members, stakeholders, consultants and subject matter experts. The number of participants on an evaluation committee is determined based on the complexity, impact and scope of a project.

Proposals are submitted electronically through Bonfire and once the bid opportunity closing time has passed, the procurement project manager releases submissions to the evaluation team. Evaluators must complete a confidentiality and conflict of interest disclosure before submissions can be viewed. The evaluation criteria and details for consideration when scoring are displayed for each criteria. Evaluators must record the rationale for their scores. In order to not bias scoring, members do not actually see prices until after the evaluation of all other criteria is complete. In addition, staff do not manually score pricing, the scores for price are calculated by the software based on the following formula. $\text{Lowest Total Contract Price} \div \text{Respondent's Total Contract Price} \times \text{Weighting} = \text{Score}$.

Reviewing Proposals

Each team member scores proposals independently and provides comments and rationale for their scores. Once all submissions have been scored, the procurement project manager releases the results to the evaluation committee. Bonfire flags any criteria where there is more than 30% difference between the

highest and lowest scores. The procurement project manager may coordinate a meeting of the evaluation team to allow for group discussion and a review of any significant variances.

Evaluators may ask for clarification of part of a proposal if additional explanation is required in order to score each proposal consistently, however, this is not an opportunity to receive new information, enhancements to proposals, or to negotiate the price. After receipt of clarification, evaluators may review and amend their scores based on the information provided.

Awarding Contracts

Once the committee has finalized their scoring, a contract is awarded to the proponent with the highest score. Results showing the successful proponent, description of the project and contract price are posted on the City's website. Unsuccessful proponents may request a de-briefing by the Procurement Manager to receive feedback on their proposal.

Council Approval

Pursuant to the *Community Charter*, if a contract exceeds 5 years it requires approval by Council. Authorization for agreements or contracts less than 5 years or where the expenditure has been approved through the budget deliberation process follow the delegated procurement authority as detailed in the City's Procurement Policy and Officers and Delegation of Authority Bylaw.

Park Land Protection and Use Policy

The Park Land Protection and Use Policy is a Council policy which was approved by Council June 19, 2018, as part of the approval of the Parks and Recreation Master Plan, following approximately two years of engagement with the community and Parks and Recreation Master Plan Steering Committee.

This policy establishes overall direction and the general principles that the City and City Staff must follow on the protection, and uses of, public park land within the City. This policy is administered in addition to the City's purchasing policy. Without specific direction from Council, the policy cannot be waived by staff.

The process for applying for or renewal of either a Lease or License to Use Agreement on park land includes:

- Proposal brought to Open Council meeting for introduction
- Circulation to City Departments and Parks & Recreation Advisory Committee (PRAC)
- PRAC review and recommendation to Council
- Proposal brought back to Open Council meeting for approval

License-to-Use Agreement

Under the Park Land Protection and Use policy, a License-to-Use Agreement for a portion of public park land can be issued for short term or seasonal use, and cannot exceed 3 years except by resolution of Council to waive the policy.

Lease:

Under the Park Land Protection and Use policy, a Lease will not be entered in to for land dedicated as park under Park Dedication Bylaw 2018-37, without the approval of the electors.

Summary

The City is committed to following procurement best practices and ensuring the City receives the best value when acquiring goods and services. The Procurement Policy is regularly reviewed to ensure it meets legislative requirements, includes up to date best practices and meets the needs of Council and Staff. Current bid opportunities can be found on the City's website and additional information about the procurement process can be obtained by contacting the Procurement Department.

Attachments

Attachment A – Procurement Policy

Attachment B – Park Land Protection and Use Policy

Respectfully submitted,



Angela Campbell
Director of Finance and Administration

GM of Community Services <i>SH</i>	Acting Chief Administrative Officer KD
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Approval date: June 18, 2019

Resolution No. 298/2019

Subject: Procurement Policy

1.0 GOAL

The goal of the Procurement Policy is to:

- establish the overall direction and general principles that the City of Penticton and City employees will follow in the procurement of goods (including equipment) and services (including construction);
- confirm the authorizations, approval limits and processes that must be followed in the procurement of goods and services; and
- set the process that must be followed for the disposal of surplus or obsolete goods.

2.0 SCOPE

This policy applies to all City employees including City Councillors and third-party consultants or contractors engaged by the City except for the exemptions noted in Section 4.4

3.0 POLICY STATEMENTS AND GENERAL PRINCIPLES

The following general statements and principles apply to how the City shall conduct its procurement activities:

3.1 Overall Conduct

Employees commit to creating and maintaining a high level of conduct in its procurement processes for goods and services by ensuring integrity, transparency, accountability, efficiency and consistency.

3.2 Fair Competition

Employees shall acquire goods and services through fair, transparent and competitive processes in accordance with legislative and trade agreement requirements. Competitive processes followed shall provide the best value to the City while ensuring fair and equitable treatment of suppliers, which includes consultants and contractors.

3.3 Legislation and Trade Agreements

The City's procurement processes and conduct shall comply with the authorities and obligations of the following legislation and trade agreements:

- New West Partnership Trade Agreement (NWPTA);
- Canadian Free Trade Agreement (CFTA);
- Comprehensive Economic Trade Agreement (CETA);
- Agreement on International Trade (AIT);
- *Local Government Act*;
- *Community Charter*; and
- *Freedom of Information and Protection of Privacy Act* (FOIPPA).

3.4 Ethical Conduct

Employees shall:

- act honestly and with integrity, avoiding even the appearance of impropriety, in all procurement and related practices;
- maintain consistency in all processes and actions; and
- adhere to good ethical standards in all procurement and related practices.

3.5 Gifts and Gratuities

City employees shall not accept gifts, tips or rewards from suppliers which could place them in an obligatory circumstance with that supplier. Items of a nominal value, e.g. pen, notepads, calendars are exempted from this principle.

3.6 Local Suppliers

In accordance with trade agreement requirements the City will select the supplier that provides the best value to the City. In circumstances where there is no difference in value to the City, local suppliers will be given preference.

3.7 Confidentiality and Disclosure of Information

As most transactions related to procurement are of a confidential nature, the City commits to the following in the procurement of goods and services:

- information will be released in accordance with the City's obligations under FOIPPA;
- any information made available to a potential supplier, which may influence a response to a procurement process, will be made available to all interested suppliers;
- subject to the requirements of FOIPPA, information provided by a supplier during a procurement process will remain confidential.

3.8 Conditions for Participation

The City may choose to exclude doing business with suppliers who have demonstrated poor past performance, do not possess the legal and financial capacities or the commercial and technical abilities to undertake the relevant procurement. Examples for exclusion are detailed in the Procurement Procedures.

3.9 Documentation

Employees shall maintain written records of its procurement processes and decisions, in order to support:

- audits of procurement practices;
- any required release of information under FOIPPA; and
- timely and useful debriefs to participants of competitive processes, as required under CFTA and CETA.

4. PROCUREMENT AUTHORITIES AND PROCESSES

4.1. Roles and Responsibilities

The roles and responsibilities regarding the procurement of goods and services shall be as follows:

City Council	<ul style="list-style-type: none"> • Sets the principles, authorization and approval limits for how the City conducts its procurement. • Sets the annual City budget, which all Capital and Operating procurements must be within.
CAO and CFO	<ul style="list-style-type: none"> • Sets the procurement procedures to be followed for all procurement, in accordance with the policy set by Council. • The CAO may authorize certain purchases outside of the normal process, but only where provided for in the Procurement Policy (e.g.

	approval for emergency purchases; approval to commence procurement process prior to budget approval in time-sensitive situations provided no contract is executed).
Procurement Manager and Procurement Department	<ul style="list-style-type: none"> Responsible for oversight and administration of the Procurement Policy and procedures. Responsible for conducting all procurement processes above \$5,000 in value; including: issuance of bid solicitation documents; all correspondence with bidders/respondents; receipt of proposals/tenders/quotes; management of evaluation; and award of contracts/POs. Provide feedback on department specifications/requirements to ensure they are broad and practical enough to avoid restricting competition in bidding. Manage the disposal of surplus or obsolete goods and equipment.
Directors, General Managers and Department Managers	<ul style="list-style-type: none"> Responsible for adherence to the Procurement Policy and procedures. Responsible for ensuring departments provide accurate specifications, requirements and other information to the Procurement Department, sufficient to enable Procurement employees to conduct the process. Responsible for managing and administering contracts following execution of the contract or issuance of the PO.
All Employees	<ul style="list-style-type: none"> Responsible for compliance with the Procurement Policy and procedures. Employees should seek direction from their Supervisor/Manager or Procurement Department if unsure.

4.2. Delegated Procurement Authority

In accordance with 4.1, employees are authorized to commit the City to a contract/purchase, either by signing a contract document or issuing a Purchase Order, in accordance with the following authority limits:

Employee Position	Authority to Commit Up To:
Chief Administrative Officer	Unlimited
Chief Financial Officer	Unlimited
Directors and General Managers	\$100,000
Procurement Manager	\$100,000
Assistant Procurement Manager	\$75,000
Department Managers	\$75,000
Department Supervisors	\$50,000
Inventory Associate	\$25,000
All Other City Employees	\$5,000 (or as approved by the CFO)

4.3. Procurement Thresholds and Process Requirements

The City shall give potential suppliers fair opportunity to supply goods and services to the City, by conducting competitive processes in accordance with the following thresholds:

Value of Procurement	Procurement Process
\$0 to \$5,000	Direct Award
\$5,001 to \$25,000	Informal Quotes
\$25,001 to \$75,000	Formal Quotes
Over \$75,000 for Goods	Public Competition
Over \$200,000 for Construction	Public Competition

4.4. Exceptions to Procurement Process Requirements

While still covered by this policy, the following procurements are exempt from the threshold and process requirements detailed in section 4.3 and can be contracted through Direct Award or Limited Tendering at the discretion of the individual that holds authority to commit as detailed in section 4.2:

- a. An extension to the term of an existing ongoing contract, provided that:
 - the contract was originally executed in compliance with the Procurement Policy; and
 - the contract contains an express provision of such an extension.
- b. Consulting services where the total commitment is less than \$75,000. Note: Direct Award of Consulting Services must be due to one of the following reasons:
 - time is of the essence and the Consultant has knowledge or skills which are needed quickly;
 - the Consultant has a specialized skill or knowledge which others do not have;
 - the Consultant has been previously engaged by the City at an earlier stage of the same project, and therefore will require less start-up time or cost to work a new stage in the project.
- c. Construction of, or investment in, water systems and related services where the total commitment is less than \$250,000.
- d. Where the procurement is of a confidential or privileged nature and disclosure through the required process could reasonably be expected to compromise confidentiality or be contrary to public interest.
- e. Where an unforeseeable situation of urgency exists and the goods or services cannot be procured in time using the required process. The CAO has the authority to waive the Procurement Policy where public safety, property and/or infrastructure are at risk. Any use of this exception requires prior approval by the CAO when the commitment value exceeds \$75,000.
- f. Where it can be demonstrated that only one supplier is able to meet the requirements of a procurement (e.g. need for proprietary software or parts for specialty equipment).
- g. In the absence of receipt of any bids which meet the requirements of a public process.
- h. Operation of a sporting or convention facility, in order to respect a commercial agreement.
- i. Non-profit organizations operating City facilities must be approved by the CFO and considered on a case by case basis.
- j. Established water and waste water treatment chemicals and supplies.
- k. Land acquisitions or real estate transactions and fees.
- l. Legal or notary services.
- m. Any other exemption listed in Part V of the New West Partnership Trade Agreement.

4.5. Inability to Perform

Where a contractor is unable to perform the services as required by contract, the Procurement Manager has the authority to award the services to an alternate supplier until such time as the situation has been rectified to the City 's satisfaction or a replacement contractor is sought through an appropriate procurement process.

4.6. Conflict of Interest

In accordance with the City's general principles on ethical conduct in procurement, the following shall apply to all procurement processes:

- a. City employees shall exercise caution when there is a possibility or perception of conflict of interest with a supplier or potential supplier;
- b. City employees involved in a procurement process, either directly or indirectly, must notify their direct supervisor of any potential conflict of interest with a supplier;
- c. No City employee or Councillor, involved directly or indirectly in a procurement process or management of a contract, will have an interest or receive any personal benefit in

any contract placed by the City for goods or services, unless it is disclosed and approved in writing by the Chief Administrative Officer; and

- d. If a City employee or Councillor has a potential conflict of interest as outlined in 4.6.b. and 4.6.c., the general guideline for the procurement process shall be as follows:
 - i. Measures shall be taken to ensure that the employee or Councillor with the conflict does not have any influence whatsoever over the procurement process and/or contract decision; and
 - ii. No Direct Award will occur to any supplier or contractor involved in a conflict of interest, regardless of the value. Suppliers to which a City employee or Councillor has a conflict of interest will only receive a contract for goods or services if they are selected based on a transparent evaluation from a competitive procurement process.

5. DISPOSAL OF SURPLUS EQUIPMENT, MATERIALS OR GOODS

Surplus assets or equipment, which the City no longer requires, shall be disposed of through one of the following methods, as approved by the Procurement Manager:

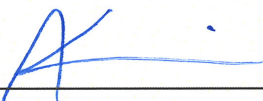
- 5.1. Re-use by other City department.
- 5.2. Arrange for disposal at an appropriate recycling facility or the local landfill for items deemed of no value.
- 5.3. Donate to non-profit organization.
- 5.4. Donate to other levels of government.
- 5.5. Sale by auction including electronic auctions such as BC Auction.
- 5.6. Sale by sealed bid process, where bids are sought through a publicly advertised process.
- 5.7. Trade-ins: where surplus goods are included in a competitive process for the procurement of new goods as part of a trade-in arrangement.

Direct sale of surplus goods to City employees or their direct family members must be pre-approved in writing by the CFO.

6. REFERENCES AND LINKS

- 6.1. Procurement Procedures
- 6.2. Officers and Delegation of Authority Bylaw No. 2018-75
[HTTPS://WWW.PENTICTON.CA/ASSETS/CITY~HALL/BYLAWS/ADMINISTRATION/2018-75%20OFFICERS%20AND%20DELEGATION%20OF%20AUTHORITY%20BYLAW.PDF](https://www.penticton.ca/assets/city~hall/bylaws/administration/2018-75%20officers%20and%20delegation%20of%20authority%20bylaw.pdf)
- 6.3. New West Partnership Trade Agreement (NWPTA):
<http://www.newwestpartnershiptrade.ca/>
- 6.4. Canadian Free Trade Agreement (CFTA): <https://www.cfta-alec.ca/>
- 6.5. Comprehensive Economic and Trade Agreement (CETA):
<http://www.international.gc.ca/trade-commerce/trade-agreements-accords-commerciaux/agr-acc/ceta-aecg/index.aspx?lang=eng>
- 6.6. Community Charter
http://www.bclaws.ca/EPLibraries/bclaws_new/document/ID/freeside/03026_10
- 6.7. Local Government Act
http://www.bclaws.ca/civix/document/id/lc/statreg/r15001_18

Certified Correct:



Angie Collison, Corporate Officer

Approval date: June 19, 2018

Resolution No.: 275/2018

Subject: Park Land Protection and Use Policy

1. PURPOSE

1.1. The purposes of the Park Land Protection and Use Policy are:

- 1.1.1. To provide direction on the protection and uses of public park land within the City of Penticton in accord with the Official Community Plan, Parks & Recreation Master Plan and Zoning Bylaw.
- 1.1.2. To protect parks as public assets of the City of Penticton. This policy will ensure that city parks remain in the public domain through community engagement and support and with the implementation of the Park Land Protection and Use Policy.
- 1.1.3. To support the community's use and enjoyment of the parks, provide opportunities for primarily outdoor recreation and nature appreciation thereon, and to protect, conserve, and preserve the natural, physical, historical and cultural resources thereon.
- 1.1.4. To improve the quality of parks in our community through enhanced park stewardship and sustainable resource management.

2. GUIDING PRINCIPLES

- 2.1. The community developed a vision, a park definition and set of values in the 2018 Parks and Recreation Master Plan to guide future use of Penticton's parks and recreation services in the City of Penticton. These values directed the development of the Park Protection and Use Policy and will guide its implementation.
 - 2.1.1. A public park is an unencumbered tract of land wherein the land title is held by a public entity for the benefit, use and enjoyment of the people and for the protection, conservation, preservation of the natural, physical, historical and cultural resources thereon, and wherein an encumbrance is a burden, obstruction, or impediment to the foundational purpose or purposes for which the park was established.

2.1.2. Policy Objectives and their resulting policies have been created based on the Vision, Park Definition, Values and community engagement undertaken with the Parks & Recreation Master Plan and will be used to guide the use of parks.

- *Support recreational opportunities, healthy living and enhance public enjoyment of parks*
- *Safeguard public access and community affordability*
- *Protect public ownership*
- *Protect, preserve and promote park land*
- *Engage the community in park governance and decisions*

3. POLICY

3.1. Support recreational opportunities, healthy living and enhance public enjoyment of parks

3.1.1. The City of Penticton supports uses, recreational opportunities, provides for a healthy lifestyle and improves the public enjoyment of parks. These uses are identified as Permitted Uses in the Zoning Bylaw and shall meet applicable subdivision and development regulations contained within each Park Zone.

3.1.2. Requests for uses that are not identified as Permitted Uses in the Zoning Bylaw shall follow the zoning procedure for *Uses in a Park Zone that are not a Permitted Use* as outlined in this policy prior to being considered by Council.

3.2. Safeguard public access and community affordability

3.2.1. The City of Penticton does not support uses that inhibit long term public access through exclusive memberships, prohibitive fees or permanent physical structures that detract from the natural setting and use of the park.

3.3. Protect public ownership

3.3.1. A *License*, as defined under this policy permits the use of something or allows an activity to take place; a Licensee shall not be guaranteed exclusive use of the property, is not an entitlement to the land, and includes a cancellation clause allowing the Licensor (City) to cancel the license at any time by providing the stipulated required notice; additional licenses to unrelated parties may be granted over the same property or portions of property; a license cannot be registered on the title of the property.

3.3.1.1. The City of Penticton may issue a License-to-Use for a portion of public park land to support a Permitted Use in a Park Zone. These licences are typically for a short term or seasonal in nature, up to a maximum of three (3) years, and shall be approved in accordance with the zoning procedure for *Permitted Uses* outlined in this policy.

3.3.2. A *Lease*, under this policy is defined as a contract by which one party conveys exclusive use of land or real property to another for a specified period of time and provides entitlement to the land, usually in return for a periodic payment. A lease is a stronger form of tenure than a License and typically cannot be cancelled during the term of the lease as long as Lessee honours terms and conditions. Leases may be registered with the Land Title office creating a legal enforceable charge against the property for the term of the lease. In the context of park land within the City of Penticton, a lease of municipal park land grants a private interest rights to public land and diminishes public ownership and control.

3.3.2.1. The City of Penticton will not enter into a lease of land dedicated as park under Park Dedication Bylaw 2018-37 without the approval of the electors.

3.4. Protect, preserve and promote park land

3.4.1. If the proposed use is deemed to uphold Council Policy Section 2.1.1 and to have a net benefit to municipal park land, the City will then submit the proposal for public engagement in accordance with Section 3.5 of this policy.

3.4.2. The City of Penticton supports the growth and enhancement of public park land for community use in accordance with the Parks & Recreation Master Plan.

3.4.3. The City of Penticton recognizes that there are a number of private encroachments into existing public park land. There shall be no further encroachments into public park land and existing encroachments will be managed to ensure removal of encroachments where considered feasible.

3.5. Engage the community in park governance and decisions

3.5.1. The community is involved in governance of the protection and use of parks and the implementation of this policy through their membership on the Parks & Recreation Advisory Committee.

3.5.2. The community shall be engaged before a decision is made on any proposed change to use or regulation within any Park Zone in accordance with the procedure outlined in Section 5.2 of this policy. This policy provides for increasing levels of engagement based on the scale and impact of the proposed use. City staff and the Parks & Recreation Advisory Committee will establish the level of engagement according to the impact of the proposed use, in accordance with the zoning procedure for *Requests for Uses that are not Permitted Uses* and in accordance with the IAP2 International Spectrum of Public Participation (See Schedule B).

4. Legacy Licenses and Leases

- 4.1. The City of Penticton recognizes that a number of existing legacy uses in public parks may not be permitted under this policy (See Schedule A). The City of Penticton may or may not allow these licences and leases to continue in accordance with the agreements that are in place at the time of the creation of this policy. At the termination of the existing agreement, the use may or may not be allowed to continue in accordance with this policy, applicable bylaws and the *Procedure for uses that are not Permitted Park Uses* (See section 5.2.2 of this policy).

5. PROCEDURES – ZONING BYLAW

5.1. Permitted Uses

- 5.1.1. Permitted Uses within any Park Zone and no other uses than those provided for in the list of permitted uses in the Zoning Bylaw shall be allowed on City park land.
 - 5.1.1.1. Permitted Uses in a Park Zone may occur in accordance with the subdivision and development regulations of the Park Zone.
 - 5.1.1.2. City staff will report to the Parks & Recreation Advisory Committee on any new licences for permitted uses in a Park Zone.

5.2. Uses in a Park Zone that are not Permitted

- 5.2.1. Uses that are not a Permitted Use within a Park Zone or a regulation change must be reviewed through a Zoning Amendment application and a Public Hearing held in accordance with Section 890 of the Local Government Act.
- 5.2.2. The procedural review for any new use on Park Zoned Land is as follows:

Step 1: Zoning Amendment Application submitted to City staff

Step 2: Proposal brought forward to Open Council meeting for introduction to the community

Step 3: Circulation of application to City Departments and Parks & Recreation Advisory Committee for review against the Official Community Plan, Parks and Recreation Master Plan, Zoning Bylaw, Park Protection and Use Policy and any other applicable regulations

Step 4: Parks & Recreation Advisory Committee meet to review application and determine level of community engagement required in accordance with the IAP2 International Spectrum of Public Participation (See Schedule B)

Step 5: Public Participation process occurs receiving input from community

Step 6: Parks & Recreation Advisory Committee to meet and review application

Step 7: Parks & Recreation Advisory Committee to provide a recommendation to Council

Step 8: Council report introduced to Council outlining proposed Park Protection and Use or regulation change

Step 9: Public hearing advertised and held in accordance with Section 890 of the Local Government Act.

Step 10: After hearing from the public and receiving a recommendation from the Parks and Recreation Advisory Committee, Council renders a decision on a park proposal.

5.2.3. The procedural review contained within Section 3.5 of this policy may be followed for review of other park use related matters as determined by staff and the Parks & Recreation Advisory Committee.

6. PROCEDURE – LICENSE TO USE RENEWAL

6.1. A Licence to Use may or may not be renewed up to a maximum of three (3) years: The procedural review for any renewal is as follows:

- Step 1: Application to renew submitted to City staff
- Step 2: Proposal brought forward to Open Council meeting for introduction to the community
- Step 3: Circulation of application to City Departments and Parks & Recreation Advisory Committee
- Step 4: City staff conduct License Review to confirm conditions of license met and license in good standing
- Step 5: City staff review findings with Parks & Recreation Advisory Committee
- Step 6: Parks & Recreation Advisory Committee review application and feedback from staff
- Step 7: Parks & Recreation Advisory Committee would then make a recommendation to Council to approval or deny the renewal.

7. SCHEDULES

- A. List of existing Park Licenses & Leases
- B. IAP2 International Spectrum of Public Participation

8. Previous revisions

Amendment process for this policy.

N/A

Certified Correct:



Dana Schmidt, Corporate Officer

Schedule A – List of existing Park Licenses & Leases

City of Penticton - Current Leases and Licenses in Parks and Recreation Facilities 2016													
Park Name	ZONE	Lease / LTU	LEASSEE	ADDRESS	AREA UTILIZED	LICENSE TYPE	ACTIVITY / USE	TERM IN YEARS	START DATE	EXPIRY DATE	ENFORCE CLAUSE Y/N	PARK NAME	LOCATION WITHIN PARK (ie. on east, in parking lot)
Kings Park	P2	LTU	PENTICTON SOCCER CLUB	550 Eckhard Ave W	15 ac	Sports club	Use of building for club activities	mo-mo	2013-10-15	until terminated	Y	Kings Park	Adjacent to parking lot
Lakawanna Park	P2	Lease	1062052 BC LTD. (Gord Ferguson) Lakawanna - Palo Burger	780 Lakeshore Dr W	11 ac	Park concession	Use of land and building for operation of concession patio and washroom facility	29	2016-05-20	2045-04-30	N	Lakawanna Park / Okanagan Lake	Concession at Lakawanna
Manna Way Park	CT1	LTU	PRAQUE CAFE, THE	102-260 Manna Way	003 ac	Café	Use of land for an outdoor patio for customers	Y	2016-09-01	2021-09-31	Y	Okanagan Lake	Grass area at Okanagan Lake
Manna Way Park	P1	Lease	PENTICTON ART GALLERY	199 Manna Way		Art gallery	Use of land and building for displaying art and providing parking	20	1996-10-01	2016-09-30	N	Okanagan Lake	Building at Okanagan Lake
Okanagan Beach	P2	Lease	CONCESSION OKANAGAN BEACH - THE PEACH LocalLand Adventure Golf/1082052 BC Ltd.	185 Lakeshore Dr W		Beach concession	Beach food concession	20	2002-02-01	2022-01-31	Y	Okanagan Lake	Concession at Okanagan Lake
Okanagan Beach		Lease	PENTICTON WATER PARK LTD. (WIBIT)	Okanagan Lake	62 ac	Water Recreational business	Sublease of Crown land for operation of a WIBIT water park	5	2015-06-01	2020-05-31	N	Okanagan Lake	Water and sand area at Okanagan Lake
Rotary Park	P2	LTU	BISHOP'S SNOW AND MARINE LTD.	195 Lakeshore Dr	095 ac	Recreational business	Use of building and grounds for operating business of providing rental equipment for water based activities	5	2014-01-01	2018-12-31	Y	Rotary Park	On beach
Skaha Park	P2	LTU	CONCESSION SKAHA EAST - Nicholas, Jenne	3885 South Main St		Beach concession	Beach food concession	2	2016-05-01	2017-09-30	Y	Skaha Lake	Concession at Skaha East

Skaha Park	P2	LTU	CONCESSION, SKAHA MAIN - Thomas & Callin Fine Foods Ltd. (Trickleberry's)	3701 Parkview St		Beach concession	Beach food concession	5	2017-05-01	2022-09-30	Y	Skaha Lake	Concession at Skaha Main
S.S. Sicamous Park	P2	Lease	S.S. SICAMOUS / MARAMATA	1099 Lakeshore Dr W	2 ac	Tourist attraction	Sub-license to Use of Crown land for moorage of the S.S. Sicamous to operate a museum and host special events		1989-06-01	until terminated	N	Okanagan Lake	
Sudbury Beach	P2	LTU	CONCESSION, SUDBURY BEACH - Glow Sup Adventures (Darcy Godfrey)	3940 Skaha Lake Rd		Beach concession	Beach food concession	2	2015-05-05	2017-09-30	Y	Skaha Lake	Concession at Sudbury Beach
Lion's Park	P2	LTU	LION'S PARK CONCESSION	198 Warren Ave W		Park concession	Park food concession						
Kiwanis Park	P2	LTU	PDCRS - After School Program	470 Edmonon Ave		Child care facility	Use of building and grounds for operation of social service programs	5	2012-03-01	2017-02-28	Y	N/A - old pool	Y
Kiwanis Park	P2	LTU	PDCRS - Alternative & Little Triumphs	500 Edmonon Ave	1.75 ac	Child care facility	Use of building and grounds for operation of social service programs	5	2012-03-01	2017-02-28	Y	N/A - old pool	
Kiwanis Park	P2	LTU	PENTICTON SAFETY VILLAGE SOCIETY	490 Edmonon Ave	.85 ac	Child safety facility	Use of building and grounds for operation of children's safety village and for equipment storage	5	2013-11-01	2018-10-31	Y	N/A	
Lakeside Road (Dog Beach)	P2	Lease	00834013 B.C. LTD. (Shinner / Skaha Dog Beach)	4951 Lakeside Rd	.22 ac	Private	Sublease of Crown land for operation of cabana for property owner to the east	9	2013-08-12	2022-08-12	N	Skaha Lake Beach	Sandy beach

Liou's Park	P2	LTU	PENTICTON BMX ASSOCIATION	Liou's Park	2.5 ac	Sports club	Use of land for operation of bicycle motocross track and facility	N/A	1989-01-31	when cancelled	Y	Liou's Park	South east corner of 188 Warren Ave
McNicol Park	P2	LTU	SOCIETE DE LA PETITE ENFANCE DE L'ECOLE ENTIRE LACS	1051 Penticon Ave	0.25 ac	Pre-school facility	Use of land for fenced playground for pre-school aged children	5	2014-07-01	2018-08-30	Y	McNicol Park	Between schools
Riverside Park	P2	LTU	COYOTE CRUISES	215 Riverside Drive	0.17 ac	Recreational business	Use of building for operation of a rental concession and transportation service - float the channel	5	2014-10-01	2018-08-30	Y	Riverside	South of skate park
Senior's Drop-in Centre	P1	LTU	PENTICTON HORSESHOE PITCHERS CLUB, THE	2905 South Main St	0.5 ac	Sports club	Use of horse pitches in exchange for maintenance and upkeep of land	3	2015-05-01	2018-04-30	Y	Seniors Centre Robinson Park	
Vancouver Avenue Park	P2	LTU	PEN COMMUNITY GARDENS SOC	480 Vancouver Ave	1.04 ac	Community gardens	Use of land for community gardens	5	2016-01-01	2020-12-31	Y	Vancouver Hill	North portion of park
Vancouver Avenue Park	P2	LTU	PENTICTON DISC GOLF	480 Vancouver Ave	2.22 ac	Sports club	Operation of disc golf facility	3	2016-03-15	2018-03-14	Y	Eplanade	All
Baskin Park	P2	LTU	FOOD FORESTERS SOC OF CANADA	2480 Baskin St	0.18 ac	Community gardens	Use of land for operation of community garden plots	5	2013-06-01	2018-05-31	Y	Undeveloped	North most portion of park
Dartmouth Park	R2	LTU	DAVIDOW, AVERY	314 Greenwood Dr	0.15 ac	Private residence	Use of land for quiet enjoyment	5	2014-11-01	2018-08-31	Y	Under 2715 Dartmouth Dr	Behind lot

Dartmouth Park	R2	LTU	AMANTE, F. L & J	310 Greenwood Dr	.038 ac	Private residence	Use of land for quiet enjoyment - garden	5	2015-05-01	2020-04-30	Y	Undeveloped 2715 Dartmouth	Garden behind lot
Special Purpose													
Lawn Bowling Club	P2	Lease	PEN LAKEVIEW LAWN BOWLING CLUB	280 Brunswick St	.55 ac	Sports club	Use of land and building for operation of a lawn bowling club	20	2000-01-01	2020-12-31	N		
Loxo Landing	P2	Lease	LOCO LANDING ADV. GOLF INC.	135 Riverside Dr	1.73 ac	Recreational business	Use of land for the operation of a recreational facility	20	2009-01-01	2028-12-31	N	Riverside Park	
Pentiction Golf and Country Club	P2	Lease	PENTICTON GOLF & COUNTRY CLUB	852 Eckhardt Ave W	13.23 ac	Sports club	Use of building and land for operation of a golf club for renting equipment, providing golf lessons, leisure golfing, tournaments, the sale of refreshments and the rental of facilities as a special events venue	28	2007-07-01	2033-10-31	N		
Pentiction Yacht and Tennis Club	P2	LTU	PENTICTON TENNIS SOCIETY	293 Marina Way	.7 ac	Sports club	Use of facilities for operation of a tennis club with league play	3	2016-04-01	2017-12-31	Y	Okanagan Lake	East of marina
Pentiction Yacht and Tennis Club	P2	Lease	PENTICTON YACHT & TENNIS CLUB	293075 Marina Way	15.8 ac	Marina	Sublease of Crown 'Y' Dock in marina and storage compound to provide a commercial public marina and associated facilities		2016-04-02	2017-12-31	N	Okanagan Lake	
Ellis Creek Pathway	P1	LTU	INTERIOR HEALTH AUTHORITY (Hospice Society House)	1701 Government St	.07 ac	Health facility	Use of land for quiet enjoyment - garden and walkway	5	2014-07-01	2019-08-30	Y	Undeveloped park - walking path	Adjacent to Ellis Creek
Esplanade	P2	LTU	AXWORTHY, B & QUAIN, S	345 Vancouver Ave	.05 ac	Private residence	Use of land for quiet enjoyment - yard fenced	5	2014-08-01	2019-07-31	Y	Esplanade	Fenced yard

Esplanade	P2	LTU	PENICTON DISC GOLF	500 Mama Way														
Pentiction Creek Pathway	P2	LTU	MUNSONS PROPERTIES	1551 Pentiction Ave	20 ac	Private residence	Use of land for quiet enjoyment	5	2014-11-01	2019-10-31	Y	Undeveloped park - walking path	Adjacent to Pentiction Creek					
Three Blind Mice	FG	LTU	PENICTON DISC GOLF	1400 Riddle Road	27 ac	Sports club	Operation of disc golf facility	5	2015-03-01	2020-02-29	Y	Three Blind Mice area	South west corner					
Three Blind Mice	FG	LTU	PENICTON AND AREA CYCLING ASSOCIATION	1400 Riddle Road	320 ac	Cycling Club	Mountain Biking Trails	5	2018-07-01	2018-03-31	Y	Not a Park						
TCT / KVR Trail	AG	LTU	BOGDANOFF, C & BOWEN, P	645 Lower Bench Rd	.25 ac	Private residence	Use of KVR land for agriculture - fenced gardens	5	2012-01-01	2018-12-31	Y	KVR	Fronts trail					
TCT / KVR Trail	AG	LTU	HOLLER, BARBARA ROSE	1181 Davenport Ave	.955 ac	Private residence	Use of KVR land for agriculture - grapes	5	2014-05-01	2019-04-30	Y	KVR	Fronts trail					
TCT / KVR Trail	P2	LTU	SHAW, H & M	911/913 Loochore Rd	1.34 ac	Private residence	Use of KVR land for agricultural purposes	7	2013-01-01	2019-12-31	Y	KVR	Fronts trail both sides					
TCT / KVR Trail	P2	Lease	KING FAMILY FARMS LTD. (KVR Lots 1-5)	884 Carder Rd	5 ac	Agricultural business	Use of KVR land for Agriculture	5	2001-05-01	2017-06-30	N	KVR	Fronts KVR both sides					

630 Munson Min Road	P2	LTU	PENTICTON BMX SOCIETY	830 Munson Min Rd	2.8 ac	Sports club	Use of land for operation of bicycle motocross track and facility	5	2016-05-01	2021-04-30	Y	Munson Mountain	North west portion
Adidas Sportsplex	P2	Lease	PINNACLES FOOTBALL CLUB AND PENTICTON SOCCER CLUB dba ADIDAS SPORTSPLEX	650 Eckhardt Ave W	67 ac	Sports clubs	Use of land and building as a sports complex for football, indoor soccer and a public walking track	20	2015-08-01	2044-08-31	N	Kings park	Indoor use at 550 Eckhardt Ave
McLaren Arena	P2	LTU	OKANAGAN HOCKEY SCHOOL / GROUP	McLaren Arena	23 ac	Sports educator	Use of facility for Hockey school, operation of concession and vending machines	2	Exp.		Y	N/A	
Senior's Drop-in Centre	P2	Lease	PEN SENIORS' DROP IN CENTRE SOC	2985 South Main St		Social club	Use of land and building for operation of a seniors' social facility	20	1999-06-01	2019-05-31	N	Robinson Park	
Memorial & McLaren Arena	P1	LTU	PENTICTON & DISTRICT MINOR HOCKEY ASSOC. (Memorial Arena)	398 Power Street		Arena concession	Sale of refreshments and placement of hotfood vending machines		2003-09-01	2016-04-30	Y	Memorial Arena	
South Okanagan Events Centre	P1	Lease	APPLE PLANNING SERVICES INC. & 0926232 B.C. LTD.	888 Westminster Ave W		Private business	Use of a portion of the building as an office	5	2013-01-01	2017-07-31	N	Queens Park	
South Okanagan Events Centre	P1	Lease	INTERIOR HEALTH AUTHORITY Part of SOEC	853 Eckhardt Ave W		Health provider	Use of a portion of the building to operate a cardiac and pulmonary rehabilitation wellness program	5	2014-09-01	2019-08-31	Y		Part of SOEC
South Okanagan Events Centre	P1	Lease	OKANAGAN HOCKEY SCHOOL	853 Eckhardt Ave W		Sports educator	Use of a portion of the building for operation of a hockey school and other related activities	10	2009-01-01	2018-12-31	N	Kings Park	

South Okanagan Events Centre	P1	LTU	PENICTON TOURISM	853 Eckhardt Ave W	Tourism Organization	Temporary office rental	1	2018-12-31	Y		
Penticton Curling Rink	P1	Lease	PENICTON CURLING CLUB	505 Veas Dr	Sports club	Use of a portion of the building for operation of a curling rink for the purpose of providing curling lessons, competitions and bonspiels and sale of refreshments	10	2010-10-01 2020-09-30	Y		
Penticton Community Centre	P1	Lease	DALE CHARLES & ASSOC. PHYSICAL THERAPIST CORP.	325 Power St	Health provider	Use of a portion of the building for the operation of a physiotherapy clinic	5	2012-04-02 2017-04-01	N		
Penticton Community Centre	P1	LTU	KISU SWIM CLUB	325 Power St	Swim Club	Office rental	3	2017-08-31	Y		
Penticton Community Centre	P1	LTU	DRAGON BOAT FESTIVAL	325 Power St	Non-profit group	Office rental (year to year)	1	2016-12-31	Y		
Oxbows	CT2	LTU	OXBOW RV RESORT LTD.	3811 Skaha Lake Rd	Recreational business	Use of land for RV Park	5	2012-06-01 2017-05-31	Y	N/A	North of Sudbury Beach
Leir House	P1	Lease	PEN. & DIST. COMMUNITY ARTS COUNCIL - Leir House	220 Manor Park	Arts club	Use of building and land as a place for artists to gather and to work on their art projects	yr-yr	1982-07-01	N		Building at 220 Manor Park

Schedule B – IAP2 International Spectrum of Public Participation

iap2 public participation spectrum

developed by the international association for public participation

	INFORM	CONSULT	INVOLVE	COLLABORATE	EMPOWER
PUBLIC PARTICIPATION GOAL	To provide the public with balanced and objective information to assist them in understanding the problems, alternatives and/or solutions.	To obtain public feedback on analysis, alternatives and/or decision.	To work directly with the public throughout the process to ensure that public issues and concerns are consistently understood and considered.	To partner with the public in each aspect of the decision including the development of alternatives and the identification of the preferred solution.	To place final decision-making in the hands of the public.
PROMISE TO THE PUBLIC	We will keep you informed.	We will keep you informed, listen to and acknowledge concerns and provide feedback on how public input influenced the decision.	We will work with you to ensure that your concerns and issues are directly reflected in the alternatives developed and provide feedback on how public input influenced the decision.	We will look to you for direct advice and innovation in formulating solutions and incorporate your advise and recommendations into the decisions to the maximum extent possible.	We will implement what you decide.
EXAMPLE TOOLS	<ul style="list-style-type: none"> • Fact sheets • Websites • Open houses 	<ul style="list-style-type: none"> • Public comment • Focus groups • Surveys • Public meetings 	<ul style="list-style-type: none"> • Workshops • Deliberate polling 	<ul style="list-style-type: none"> • Citizen Advisory committees • Consensus-building • Participatory decision-making 	<ul style="list-style-type: none"> • Citizen juries • Ballots • Delegated decisions



Council Report

penticton.ca

Date: May 3, 2022
To: Donny van Dyk, Chief Administrative Officer
From: Sabrina Sparrow, Revenue Supervisor
Subject: **Tax Rates Bylaw No. 2022-17**

File No: 1970-02

Staff Recommendation

THAT Council select from the following bylaw options for the 2022 tax rate setting.

Option 1:

THAT Council give first, second and third reading to corresponding "Tax Rates Bylaw No. 2022-17", a bylaw that establishes property taxation rates for the 2022 tax year with a multiplier of 2.00.

Option 2:

THAT Council give first, second and third reading to corresponding "Tax Rates Bylaw No. 2022-17", a bylaw that establishes property taxation rates for the 2022 tax year with a multiplier of 2.14.

Background

Pursuant to Section 197 of the *Community Charter*, annual property tax rates must be adopted by Bylaw prior to May 15. The property tax rates are prepared after the adoption of the City's Financial Plan.

For the 2022 tax year, Council passed Resolution 444/2021 approving a 5.70% General Municipal levy increase net of non-market changes and Resolution 446/2021 approving a Business Tax Multiplier at 2.0.

Rates for the Regional District Okanagan-Similkameen (RDOS) and the Okanagan-Similkameen Regional Hospital District (OSRHD) are set with the City of Penticton Tax Rate Bylaw as well. RDOS and OSRHD remit an annual levy requisition to the City and rates are calculated using provincial ratios and the hospital purposes taxable assessment base. Programs funded through the RDOS levy include:

- General Government
- Invasive Species, Destruction of Pests, and Environmental Conservation
- Illegal Dumping and Solid Waste Management Plan
- Regional Trails, Regional Growth Strategy, and Heritage – Sub Regional
- Regional Transit and Economic Development
- Okanagan Basin Water Board
- Nuisance Control

- Emergency Planning
- Sterile Insect Release Program
- 911 Emergency Call System and Mosquito Control Program

New to this year, rates for the Downtown Penticton Association (DPA) are set with the City of Penticton Tax Rate bylaw as well. The DPA remits an annual levy requisition to the City and rates are calculated using the general purposes taxable assessment base of applicable Class 5 & 6 properties. The levy can only be applied if the Downtown Business Improvement Area Bylaw is adopted. The deadline to submit a petition against this Bylaw is May 6, 2022.

The City also collects on behalf of BC Assessment, the Municipal Finance Authority, and School District 67. These do not require rates set by City bylaw as these taxing authorities set their rates through their own Bylaws, Resolutions, and Orders in Council.

Monies collected on behalf of these agencies are in turn remitted back to the taxing authorities annually.

Analysis

The 2022 Revised Assessment Roll has been received from BC Assessment which contains decisions made by the Property Assessment Review Panel (PARP) as a result of assessment notice appeals, and any other corrections to the roll deemed necessary by BC Assessment. The Revised Roll captures both market and non-market changes. The Revised Roll indicates that of the total increase in assessment for 2022, an estimated 8.18%, or \$178,207,206, is the result of non-market change. Non-market change is generally defined as new construction or demolitions.

2022 Summary of Non-Market Change

2022 NMC *Revised Roll	2022 NMC Assessment Distribution	Total	NMC New Revenue (Option 1)	NMC New Revenue (Option 2)
01 - Residential	95.59%	\$170,345,499	\$539,208	\$530,689
02 - Utilities	0.00%	-\$6,800	-\$214	-\$214
03 - Supportive Housing	0.00%	\$1	\$0	\$0
05 - Light Industry	-0.45%	-\$784,500	-\$4,366	-\$4,592
06 - Business & Other	4.49%	\$8,000,250	\$50,648	\$53,265
08 - Rec/Non Profit	0.37%	\$660,000	\$2,695	\$2,695
09 - Farm	0.00%	-\$7,244	-\$104	-\$104
Total		\$178,207,206	\$587,867	\$581,739

In 2018, Council passed Resolution 159/2018 approving the City of Penticton Property Taxation Distribution Policy (Attachment D). The policy adopts the revenue neutral approach to be followed in property tax rate setting for the General Municipal Levy (Attachment B). For the 2022 tax year, Council passed Resolution 446/2021 directing staff to prepare municipal tax rates with a Business Tax Multiplier (BTM) at 2.00, which is included in this report as Option 1. Using the revenue neutral approach in setting the 2022 rates results in a BTM of 2.14, which is reflected in Option 2 of the report. The revenue neutral approach will shift additional taxation burden between commercial and residential properties as detailed in the tables below.

2022 Assessment Distribution and Tax Burden Distributions

Property Class	2022 General Municipal Revised Roll	2022 Taxable Assessment Distribution	2022 Tax Burden Option 1	2022 Tax Burden Option 2
1 Residential	\$9,118,549,440	86.33%	75.18%	73.99%
2 Utilities	\$19,106,844	0.18%	1.56%	1.56%
3 Supportive Housing	\$8	0.00%	0.00%	0.00%
5 Light Industry	\$145,053,400	1.37%	2.10%	2.21%
6 Business & Other	\$1,266,568,614	11.99%	20.89%	21.97%
8 Recreation/Non-Profit	\$10,017,600	0.09%	0.11%	0.11%
9 Farm	\$4,331,156	0.04%	0.16%	0.16%
Total:	\$10,563,627,062			

Business Properties:

The typical Business property is summarized in the following table:

Typical Business Property	2021	2022	% Change	\$ Change
General Municipal (Option 1) (BTM 2.00)	\$8,617	\$8,661	0.51%	\$44
General Municipal (Option 2) (BTM 2.14)	\$8,617	\$9,108	5.70%	\$491

Typical Business Property	2021	2022	% Change	\$ Change
<i>Taxable Assessment</i>	<i>\$1,188,696</i>	<i>\$1,368,009</i>	<i>15.08%</i>	<i>\$179,313</i>
<i>Taxes for Other Governments</i>				
RDOS - General	\$440	\$455	3.47%	\$15
RDOS - SIR	\$115	\$113	-1.74%	-\$2
RDOS - 911 & Mosquito	\$200	\$181	-9.69%	-\$19
Regional Hospital	\$736	\$654	-11.10%	-\$82
BCA	\$135	\$142	4.86%	\$7
MFA	\$0.59	\$0.68	15.08%	\$0.09
SD67 - School	\$4,588	\$4,815	4.95%	\$227
TOTAL for Other Governments:	\$6,215	\$6,361	2.35%	\$146

Residential Properties:

In reviewing our residential competitiveness, data is available through information collected by the Province of BC to compare Total Taxes and Charges for typical residential properties. This would mean a reasonably holistic overview of the cost to residential properties in that charges for the municipality taxes, the taxes for other governments, parcel taxes, and charges for city services, etc. are included. In 2021, using the same comparator regional municipalities as for business, residential costs show Penticton as the second lowest in the region.

Municipality	2021 Total Residential Taxes & Charges
West Kelowna	\$5,656
Summerland	\$4,827
Kelowna	\$4,823
Vernon	\$4,647
Penticton	\$4,295
Osoyoos	\$3,440

The typical Residential property is summarized in the following table:

Typical Residential Property	2021	2022	% Change	\$ Change
General Municipal (Option 1) (BTM 2.00)	\$1,782	\$1,913	7.40%	\$132
General Municipal (Option 2) (BTM 2.14)	\$1,782	\$1,883	5.70%	\$102

Typical Residential Property	2021	2022	% Change	\$ Change
<i>Taxable Assessment</i>	<i>\$469,909</i>	<i>\$604,445</i>	<i>28.63%</i>	<i>\$134,536</i>
<i>Taxes for Other Governments</i>				
RDOS - General	\$71	\$83	15.65%	\$12
RDOS - SIR	\$19	\$20	9.83%	\$1
RDOS - 911 & Mosquito	\$32	\$33	0.94%	\$1
Regional Hospital	\$119	\$118	-0.64%	-\$1
BCA	\$19	\$21	9.23%	\$2
MFA	\$0.09	\$0.12	28.63%	\$0.03
SD67 - School	\$782	\$810	3.67%	\$28
TOTAL for Other Governments:	\$1,042	\$1,085	4.13%	\$43

The taxable assessed value for 2022 typical properties is calculated by removing the 2022 non-market change for new properties and comparing only the value of properties that existed both in 2021 and 2022 with no significant changes (for example, building a new garage). This approach provides the closest true comparison available for a property owner year over year. Detailed information regarding this calculation for all property classes under both options is available towards the end of Attachment B, 2022 General Municipal Calculations for each iteration.

In the prior year, an important procedural change happened for homeowners whereby the Province centralized the Home Owner Grant program and municipalities were no longer able to accept Home Owner Grant Applications. The Province has maintained this centralization and homeowners must continue to apply directly to the Province either online or by phone. It is still very important that home owners claim their grant by the City of Penticton's property tax due date each year in order to receive the credit against their account before penalties are applied.

Utilities Properties:

The property class for Utilities is capped at a maximum rate of 40.0000; at 31.4256, the City of Penticton remains significantly below the prescribed maximum. This property class includes properties used for telecommunications, gas distribution systems, and electrical power systems.

Attachments

Attachment A – Tax Rates Bylaw No. 2022-17 (Option 1 BTM 2.00 & Option 2 BTM 2.14)

Attachment B – 2022 General Municipal Calculations (Option 1 BTM 2.00 & Option 2 BTM 2.14)

Attachment C – 2022 Regional District Okanagan-Similkameen Budget Requisition

Attachment D – Property Tax Distribution Policy

Respectfully submitted,

Sabrina Sparrow
Revenue Supervisor

Approvals

Director of Finance and Administration <i>AMC</i>	Chief Administrative Officer KD
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The Corporation of the City of Penticton

Bylaw No. 2022-17

A Bylaw for the levying of property tax rates for the year 2022

WHEREAS pursuant to the *Community Charter*, Council is empowered to impose property value taxes by establishing tax rates within the City of Penticton;

AND WHEREAS it is deemed expedient to establish tax rates for the municipal revenue proposed to be raised from property value taxes and the amounts to be collected by means of rates established to meet the City's taxing obligation in relation to another local government or other public body;

NOW THEREFORE the Council of The Corporation of the City of Penticton in open meeting assembled, hereby ENACTS AS FOLLOWS:

1. This Bylaw may be cited for all purposes as "Tax Rates Bylaw No. 2022-17".
2. **Interpretation**
 - 2.1 In this Bylaw,
 - a. "**Alternative Municipal Tax Collection Scheme**" means the tax collection scheme established under section 3.1 of this Bylaw;
 - b. "**Collector**" has the same meaning as in the *Community Charter*; and
 - c. "**General Tax Collection Scheme**" means the tax collection scheme established under section 234 of the *Community Charter*.
3. **Alternative Tax Collection Scheme**
 - 3.1 Subject to any owner election under section 3.3, the rates and taxes payable under this Bylaw are due and shall be payable in accordance with this Bylaw on or before July 29, 2022.
 - 3.2 An owner may elect to pay the rates and taxes owed under this Bylaw under the Alternative Municipal Tax Collection Scheme by providing written notice of that election to the Collector no later than the first Monday in June, 2022.
 - 3.3 An owner may elect to pay the rates and taxes owed under this Bylaw under the General Tax Collection Scheme on or before July 1, 2022 by giving written notice of that election to the Collector no later than the first Monday in June, 2022.
 - 3.4 An owner may change an election under sections 3.2 or 3.3 by giving written notice to the Collector no later than the first Monday in June 2022, provided that an owner may only change their election once in the same year.

- 3.5 If an owner makes no election under section 3.2 or 3.3, the Alternative Municipal Tax Collection Scheme automatically applies to the owner.
- 3.6 An owner must give any notice under this section to the Collector at his or her office at 171 Main Street, Penticton, B.C. V2A5A9.

4. PENALTIES

- 4.1 If the Alternative Municipal Tax Collection Scheme applies to a parcel of land and its improvements, the Collector must add to the unpaid balance of the current year's taxes, in respect of each parcel of land and the improvements as shown on the tax roll, a penalty of ten (10) percent to be applied in relation to payments made after the tax due date of July 29, 2022.
 - 4.2 If the General Tax Collection Scheme applies to a parcel of land and its improvements, the Collector must apply the penalties and interest set out in any regulation under section 234 of the *Community Charter*.
5. The following rates are hereby imposed and levied for the year 2022.
- 5.1 For lawful general purposes of the municipality on the value of land and improvements taxable for general Municipal purposes, rates appearing on Column "A" of the Schedule 'A' attached hereto and forming part hereof;
 - 5.2 For hospital purposes on the value of land and improvements taxable for Regional Hospital District purposes, rates appearing in Column "B" of the Schedule 'A' attached hereto and forming a part hereof;
 - 5.3 For purposes of the Regional District of Okanagan-Similkameen on the value of land and improvements taxable for Regional Hospital District purposes, rates appearing in Column "C" of the Schedule 'A' attached hereto and forming a part hereof;
 - 5.4 For purposes of the Regional District of Okanagan-Similkameen 9-1-1 Emergency Telephone Service and Mosquito Control, on the assessed value of improvements taxable for Regional Hospital District purposes, rates appearing in Column "D" of the Schedule 'A' attached and forming a part thereof;
 - 5.5 For purposes of Regional District of Okanagan-Similkameen Sterile Insect Release Program, on the assessed value of land taxable for Regional Hospital District purposes, rates appearing in Column "E" of the Schedule 'A' attached and forming a part hereof.
 - 5.6 For purposes of Downtown Penticton Business Improvement Area Class 5 & 6 properties, on the assessed value of land and improvements taxable for general Municipal purposes, rates appearing in Column "F" of the Schedule 'A' attached and forming a part hereof.

READ A FIRST time this day of , 2022
READ A SECOND time this day of , 2022
READ A THIRD time this day of , 2022
ADOPTED this day of , 2022

John Vassilaki, Mayor

Angie Collison, Corporate Officer

Option

The Corporation of The City of Penticton

Schedule 'A'

Tax Rates (dollars of tax per \$1,000 taxable assessment)

2022	A	B	C	D	E	F
Property Class	General Municipal	Regional Hospital District	RDOS	RDOS 911 Emergency Telephone Service & Mosquito Control	RDOS Sterile Insect Release Program	Downtown Penticton Business Improvement Area for Class 5 & 6
1 Residential	3.1654	0.1952	0.1358	0.0539	0.0338	0.0000
2 Utilities	31.4256	0.6832	0.4753	0.1885	0.1184	0.0000
3 Supportive Housing	3.1654	0.1952	0.1358	0.0539	0.0338	0.0000
4 Major Industry	5.5658	0.6637	0.4617	0.1832	0.1150	0.0000
5 Light Industry	5.5658	0.6637	0.4617	0.1832	0.1150	1.1209
6 Business & Other	6.3308	0.4783	0.3327	0.1320	0.0829	1.1209
7 Managed Forest Land	6.3308	0.5856	0.4074	0.1616	0.1015	0.0000
8 Recreation/Non-Profit	4.0826	0.1952	0.1358	0.0539	0.0338	0.0000
9 Farm	14.3086	0.1952	0.1358	0.0539	0.0338	0.0000

The Corporation of the City of Penticton

Bylaw No. 2022-17

A Bylaw for the levying of property tax rates for the year 2022

WHEREAS pursuant to the *Community Charter*, Council is empowered to impose property value taxes by establishing tax rates within the City of Penticton;

AND WHEREAS it is deemed expedient to establish tax rates for the municipal revenue proposed to be raised from property value taxes and the amounts to be collected by means of rates established to meet the City's taxing obligation in relation to another local government or other public body;

NOW THEREFORE the Council of The Corporation of the City of Penticton in open meeting assembled, hereby ENACTS AS FOLLOWS:

1. This Bylaw may be cited for all purposes as "Tax Rates Bylaw No. 2022-17".

2. **Interpretation**

2.1 In this Bylaw,

- a. "**Alternative Municipal Tax Collection Scheme**" means the tax collection scheme established under section 3.1 of this Bylaw;
- b. "**Collector**" has the same meaning as in the *Community Charter*; and
- c. "**General Tax Collection Scheme**" means the tax collection scheme established under section 234 of the *Community Charter*.

3. **Alternative Tax Collection Scheme**

- 3.1 Subject to any owner election under section 3.3, the rates and taxes payable under this Bylaw are due and shall be payable in accordance with this Bylaw on or before July 29, 2022.
- 3.2 An owner may elect to pay the rates and taxes owed under this Bylaw under the Alternative Municipal Tax Collection Scheme by providing written notice of that election to the Collector no later than the first Monday in June, 2022.
- 3.3 An owner may elect to pay the rates and taxes owed under this Bylaw under the General Tax Collection Scheme on or before July 1, 2022 by giving written notice of that election to the Collector no later than the first Monday in June, 2022.
- 3.4 An owner may change an election under sections 3.2 or 3.3 by giving written notice to the Collector no later than the first Monday in June 2022, provided that an owner may only change their election once in the same year.

- 3.5 If an owner makes no election under section 3.2 or 3.3, the Alternative Municipal Tax Collection Scheme automatically applies to the owner.
- 3.6 An owner must give any notice under this section to the Collector at his or her office at 171 Main Street, Penticton, B.C. V2A5A9.

4. PENALTIES

- 4.1 If the Alternative Municipal Tax Collection Scheme applies to a parcel of land and its improvements, the Collector must add to the unpaid balance of the current year's taxes, in respect of each parcel of land and the improvements as shown on the tax roll, a penalty of ten (10) percent to be applied in relation to payments made after the tax due date of July 29, 2022.
 - 4.2 If the General Tax Collection Scheme applies to a parcel of land and its improvements, the Collector must apply the penalties and interest set out in any regulation under section 234 of the *Community Charter*.
5. The following rates are hereby imposed and levied for the year 2022.
- 5.1 For lawful general purposes of the municipality on the value of land and improvements taxable for general Municipal purposes, rates appearing on Column "A" of the Schedule 'A' attached hereto and forming part hereof;
 - 5.2 For hospital purposes on the value of land and improvements taxable for Regional Hospital District purposes, rates appearing in Column "B" of the Schedule 'A' attached hereto and forming a part hereof;
 - 5.3 For purposes of the Regional District of Okanagan-Similkameen on the value of land and improvements taxable for Regional Hospital District purposes, rates appearing in Column "C" of the Schedule 'A' attached hereto and forming a part hereof;
 - 5.4 For purposes of the Regional District of Okanagan-Similkameen 9-1-1 Emergency Telephone Service and Mosquito Control, on the assessed value of improvements taxable for Regional Hospital District purposes, rates appearing in Column "D" of the Schedule 'A' attached and forming a part thereof;
 - 5.5 For purposes of Regional District of Okanagan-Similkameen Sterile Insect Release Program, on the assessed value of land taxable for Regional Hospital District purposes, rates appearing in Column "E" of the Schedule 'A' attached and forming a part hereof.
 - 5.6 For purposes of Downtown Penticton Business Improvement Area Class 5 & 6 properties, on the assessed value of Class 5 and 6 land and improvements taxable for general Municipal purposes, rates appearing in Column "F" of the Schedule 'A' attached and forming a part hereof.

READ A FIRST time this day of , 2022
READ A SECOND time this day of , 2022
READ A THIRD time this day of , 2022
ADOPTED this day of , 2022

John Vassilaki, Mayor

Angie Collison, Corporate Officer

The Corporation of The City of Penticton

Schedule 'A'

Tax Rates (dollars of tax per \$1,000 taxable assessment)

2022	A	B	C	D	E	F
Property Class	General Municipal	Regional Hospital District	RDOS	RDOS 911 Emergency Telephone Service & Mosquito Control	RDOS Sterile Insect Release Program	Downtown Penticton Business Improvement Area for Class 5 & 6
1 Residential	3.1154	0.1952	0.1358	0.0539	0.0338	0.0000
2 Utilities	31.4256	0.6832	0.4753	0.1885	0.1184	0.0000
3 Supportive Housing	3.1154	0.1952	0.1358	0.0539	0.0338	0.0000
4 Major Industry	5.8534	0.6637	0.4617	0.1832	0.1150	0.0000
5 Light Industry	5.8534	0.6637	0.4617	0.1832	0.1150	1.1209
6 Business & Other	6.6579	0.4783	0.3327	0.1320	0.0829	1.1209
7 Managed Forest Land	6.6579	0.5856	0.4074	0.1616	0.1015	0.0000
8 Recreation/Non-Profit	4.0826	0.1952	0.1358	0.0539	0.0338	0.0000
9 Farm	14.3086	0.1952	0.1358	0.0539	0.0338	0.0000

2022 NET TAXABLE *Revised Roll	2022 Assessment Distribution	Land	Improvements	Total
01 - Residential	86.32%	\$4,289,930,514	\$4,828,618,926	\$9,118,549,440
02 - Utilities	0.18%	\$8,936,944	\$10,169,900	\$19,106,844
03 - Supportive Housing	0.00%	\$4	\$4	\$8
04 - Major Industry	0.00%	\$0	\$0	\$0
05 - Light Industry	1.37%	\$71,049,100	\$74,004,300	\$145,053,400
06 - Business & Other	11.99%	\$657,870,861	\$608,697,753	\$1,266,568,614
07 - Managed Forest	0.00%	\$0	\$0	\$0
08 - Rec/Non Profit	0.09%	\$9,986,900	\$30,700	\$10,017,600
09 - Farm	0.04%	\$4,331,156	\$0	\$4,331,156
Total	100.00%	\$5,042,105,479	\$5,521,521,583	\$10,563,627,062

Option 1 BTM at 2.00

\$ 644LGA/398VC
\$31,605,400

2022 NMC *Revised Roll	2022 NMC Assessment Distribution	Land	Improvements	Total	NMC New Revenue (Realized)
01 - Residential	95.59%	\$51,384,000	\$118,961,499	\$170,345,499	\$539,208
02 - Utilities	0.00%	\$0	-\$6,800	-\$6,800	-\$214
03 - Supportive Housing	0.00%	\$1	\$0	\$1	\$0
04 - Major Industry	0.00%	\$0	\$0	\$0	\$0
05 - Light Industry	-0.44%	\$62,500	-\$847,000	-\$784,500	-\$4,366
06 - Business & Other	4.49%	\$1,942,402	\$6,057,848	\$8,000,250	\$50,648
07 - Managed Forest	0.00%	\$0	\$0	\$0	\$0
08 - Rec/Non Profit	0.37%	\$660,000	\$0	\$660,000	\$2,695
09 - Farm	0.00%	-\$7,244	\$0	-\$7,244	-\$104
Total	100.00%	\$54,041,659	\$124,165,547	\$178,207,206	\$587,866

\$ 644LGA/398VC
(\$550,800)

NMC Budget	\$600,000
Difference	(\$12,134)

Property Class	Prior Year Revised Roll	Current Year Revised Roll (Net of NMC)	Prior Year Tax Rates	Prior Year Tax Levy	Current Year Revenue Neutral Rates	Revenue Neutral Ratios
01 - Residential	\$6,956,539,717	\$8,948,203,941	3.7912	\$26,373,633	2.9474	1.00
02 - Utilities	\$20,756,542	\$19,113,644	27.3777	\$568,266	29.7309	10.09
03 - Supportive Housing	\$8	\$7	3.7912	\$0	2.9474	1.00
04 - Major Industry	\$0	\$0	6.5039	\$0	5.5377	1.88
05 - Light Industry	\$124,172,700	\$145,837,900	6.5039	\$807,607	5.5377	1.88
06 - Business & Other	\$1,093,600,771	\$1,258,568,364	7.2490	\$7,927,512	6.2988	2.14
07 - Managed Forest	\$0	\$0	7.2490	\$0	6.2988	2.14
08 - Rec/Non Profit	\$7,474,400	\$9,357,600	4.8356	\$36,143	3.8624	1.31
09 - Farm	\$4,337,647	\$4,338,400	13.5339	\$58,705	13.5316	4.59
Total	\$8,206,881,785	\$10,385,419,856		\$35,771,867		

446/2021
2.00

Current Year Tax Increase 5.70%

8.18% NMC as a % of total increase in 2022 assessment values

Property Class	Current Year Revised Roll (Net of NMC)	Prior Year Tax Levy plus Budget Increase less Ratio Shift (6-1)	Current Year Rates	Current Year Ratios	Current Year Revised Roll	Current Year Tax Levy
01 - Residential	\$8,948,203,941	\$28,324,430	3.1654	1.00	\$9,118,549,440	\$28,863,638
02 - Utilities	\$19,113,644	\$600,658	31.4256	9.93	\$19,106,844	\$600,444
03 - Supportive Housing	\$7	\$0	3.1654	1.00	\$8	\$0
04 - Major Industry	\$0	\$0	5.5658	1.76	\$0	\$0
05 - Light Industry	\$145,837,900	\$811,698	5.5658	1.76	\$145,053,400	\$807,332
06 - Business & Other	\$1,258,568,364	\$8,379,380	6.3308	2.00	\$1,266,568,614	\$8,018,332
07 - Managed Forest	\$0	\$0	6.3308	2.00	\$0	\$0
08 - Rec/Non Profit	\$9,357,600	\$38,203	4.0826	1.29	\$10,017,600	\$40,898
09 - Farm	\$4,338,400	\$62,076	14.3086	4.52	\$4,331,156	\$61,973
Total	\$10,385,419,856	\$38,216,447	79.9406		\$10,563,627,062	\$38,392,617

Tax Burden	Assessment Distribution	Tax Burden
75.18%	86.32%	75.18%
24.82%	13.68%	20.89%
100.00%	100.00%	100.00%

Schedule B Budget	\$38,489,932
Difference	(\$97,315)

(\$97,305) (\$10)

Prior Year Occurrences	Prior Year Average Assessment	Prior Year Average General Municipal Tax	Current Year Typical Assessment (Net of NMC)	Current Year Typical General Municipal Tax	Current Year Typical Increase (%)	Current Year Typical Increase (\$)
14,804	\$469,909	\$1,782	\$604,445	\$1,913	7.40%	\$132
31	\$669,566	\$18,331	\$616,569	\$19,376	5.70%	\$1,045
9	\$1	\$0	\$1	\$0	-26.94%	-\$0
0	\$0	\$0	\$0	\$0	0.00%	\$0
94	\$1,320,986	\$8,592	\$1,551,467	\$8,635	0.51%	\$43
920	\$1,188,696	\$8,617	\$1,368,009	\$8,661	0.51%	\$44
0	\$0	\$0	\$0	\$0	0.00%	\$0
15	\$498,293	\$2,410	\$623,840	\$2,547	5.70%	\$137
263	\$16,493	\$223	\$16,496	\$236	5.74%	\$13

Property Class
01 - Residential
02 - Utilities
03 - Supportive Housing
04 - Major Industry
05 - Light Industry
06 - Business & Other
07 - Managed Forest
08 - Rec/Non Profit
09 - Farm

Current Year Occurrences	Current Year Average Assessment (incl NMC)	Current Year Average General Municipal Tax	Current Year Average Increase	Property Class
15,696	\$580,947	\$1,839	3.22%	01 - Residential
40	\$477,671	\$15,011	-18.11%	02 - Utilities
11	\$1	\$0	-31.69%	03 - Supportive Housing
0	\$0	\$0	0.00%	04 - Major Industry
96	\$1,510,973	\$8,410	-2.12%	05 - Light Industry
1,189	\$1,065,239	\$6,744	-21.74%	06 - Business & Other
0	\$0	\$0	0.00%	07 - Managed Forest
154	\$65,049	\$266	-88.98%	08 - Rec/Non Profit
264	\$16,406	\$235	5.17%	09 - Farm

2022 NET TAXABLE *Revised Roll	2022 Assessment Distribution	Land	Improvements	Total
01 - Residential	86.32%	\$4,289,930,514	\$4,828,618,926	\$9,118,549,440
02 - Utilities	0.18%	\$8,936,944	\$10,169,900	\$19,106,844
03 - Supportive Housing	0.00%	\$4	\$4	\$8
04 - Major Industry	0.00%	\$0	\$0	\$0
05 - Light Industry	1.37%	\$71,049,100	\$74,004,300	\$145,053,400
06 - Business & Other	11.99%	\$657,870,861	\$608,697,753	\$1,266,568,614
07 - Managed Forest	0.00%	\$0	\$0	\$0
08 - Rec/Non Profit	0.09%	\$9,986,900	\$30,700	\$10,017,600
09 - Farm	0.04%	\$4,331,156	\$0	\$4,331,156
Total	100.00%	\$5,042,105,479	\$5,521,521,583	\$10,563,627,062

RN BTM 2.14 Option 2

S.644LGA/398VC
\$31,605,400

2022 NMC *Revised Roll	2022 NMC Assessment Distribution	Land	Improvements	Total	NMC New Revenue (Realized)
01 - Residential	95.59%	\$51,384,000	\$118,961,499	\$170,345,499	\$530,689
02 - Utilities	0.00%	\$0	-\$6,800	-\$6,800	-\$214
03 - Supportive Housing	0.00%	\$1	\$0	\$1	\$0
04 - Major Industry	0.00%	\$0	\$0	\$0	\$0
05 - Light Industry	-0.44%	\$62,500	-\$847,000	-\$784,500	-\$4,592
06 - Business & Other	4.49%	\$1,942,402	\$6,057,848	\$8,000,250	\$53,265
07 - Managed Forest	0.00%	\$0	\$0	\$0	\$0
08 - Rec/Non Profit	0.37%	\$660,000	\$0	\$660,000	\$2,695
09 - Farm	0.00%	-\$7,244	\$0	-\$7,244	-\$104
Total	100.00%	\$54,041,659	\$124,165,547	\$178,207,206	\$581,738

S.644LGA/398VC
(\$550,800)

NMC Budget	\$600,000
Difference	(\$18,262)

Property Class	Prior Year Revised Roll	Current Year Revised Roll (Net of NMC)	Prior Year Tax Rates	Prior Year Tax Levy	Current Year Revenue Neutral Rates	Revenue Neutral Ratios
01 - Residential	\$6,956,539,717	\$8,948,203,941	3.7912	\$26,373,633	2.9474	1.00
02 - Utilities	\$20,756,542	\$19,113,644	27.3777	\$568,266	29.7309	10.09
03 - Supportive Housing	\$8	\$7	3.7912	\$0	2.9474	1.00
04 - Major Industry	\$0	\$0	6.5039	\$0	5.5377	1.88
05 - Light Industry	\$124,172,700	\$145,837,900	6.5039	\$807,607	5.5377	2.14
06 - Business & Other	\$1,093,600,771	\$1,258,568,364	7.2490	\$7,927,512	6.2988	2.14
07 - Managed Forest	\$0	\$0	7.2490	\$0	6.2988	2.14
08 - Rec/Non Profit	\$7,474,400	\$9,357,600	4.8356	\$36,143	3.8624	1.31
09 - Farm	\$4,337,647	\$4,338,400	13.5339	\$58,705	13.5316	4.59
Total	\$8,206,881,785	\$10,385,419,856		\$35,771,867		

Current Year Tax Increase 5.70%

Property Class	Current Year Revised Roll (Net of NMC)	Prior Year Tax Levy plus Budget Increase less Ratio Shift (6-1)	Current Year Rates	Current Year Ratios	Current Year Revised Roll	Current Year Tax Levy
01 - Residential	\$8,948,203,941	\$27,876,930	3.1154	1.00	\$9,118,549,440	\$28,407,619
02 - Utilities	\$19,113,644	\$600,658	31.4256	10.09	\$19,106,844	\$600,444
03 - Supportive Housing	\$7	\$0	3.1154	1.00	\$8	\$0
04 - Major Industry	\$0	\$0	5.8534	1.88	\$0	\$0
05 - Light Industry	\$145,837,900	\$853,640	5.8534	1.88	\$145,053,400	\$849,048
06 - Business & Other	\$1,258,568,364	\$8,379,380	6.6579	2.14	\$1,266,568,614	\$8,432,645
07 - Managed Forest	\$0	\$0	6.6579	2.14	\$0	\$0
08 - Rec/Non Profit	\$9,357,600	\$38,203	4.0826	1.31	\$10,017,600	\$40,898
09 - Farm	\$4,338,400	\$62,076	14.3086	4.59	\$4,331,156	\$61,973
Total	\$10,385,419,856	\$37,810,889	81.0700		\$10,563,627,062	\$38,392,627

Tax Burden	Assessment Distribution	Tax Burden
73.99%	86.32%	73.99%
1.56%		1.56%
0.00%		0.00%
0.00%		0.00%
2.21%	13.68%	21.96%
0.00%		0.00%
0.11%		0.11%
0.16%		0.16%
100.00%	100.00%	100.00%

Schedule B Budget	\$38,489,932
Difference	(\$97,305)

Prior Year Occurrences	Prior Year Average Assessment	Prior Year Typical General Municipal Tax	Current Year Typical Assessment (Net of NMC)	Current Year Typical General Municipal Tax	Current Year Typical Increase (%)	Current Year Typical Increase (\$)
14,804	\$469,909	\$1,782	\$604,445	\$1,883	5.70%	\$102
31	\$669,566	\$18,331	\$616,569	\$19,376	5.70%	\$1,045
9	\$1	\$0	\$1	\$0	-28.10%	-\$1
0	\$0	\$0	\$0	\$0	0.00%	\$0
94	\$1,320,986	\$8,592	\$1,551,467	\$9,081	5.70%	\$490
920	\$1,188,696	\$8,617	\$1,368,009	\$9,108	5.70%	\$491
0	\$0	\$0	\$0	\$0	0.00%	\$0
15	\$498,293	\$2,410	\$623,840	\$2,547	5.70%	\$137
263	\$16,493	\$223	\$16,496	\$236	5.74%	\$13

Property Class
01 - Residential
02 - Utilities
03 - Supportive Housing
04 - Major Industry
05 - Light Industry
06 - Business & Other
07 - Managed Forest
08 - Rec/Non Profit
09 - Farm

Current Year Occurrences	Current Year Average Assessment (incl NMC)	Current Year Average General Municipal Tax	Current Year Average Increase	Property Class
15,696	\$580,947	\$1,810	1.59%	01 - Residential
40	\$477,671	\$15,011	-18.11%	02 - Utilities
11	\$1	\$0	-32.77%	03 - Supportive Housing
0	\$0	\$0	0.00%	04 - Major Industry
96	\$1,510,973	\$8,844	2.94%	05 - Light Industry
1,189	\$1,065,239	\$7,092	-17.69%	06 - Business & Other
0	\$0	\$0	0.00%	07 - Managed Forest
154	\$65,049	\$266	-88.98%	08 - Rec/Non Profit
264	\$16,406	\$235	5.17%	09 - Farm

April 10, 2022

Ms. Angela Campbell
Chief Financial Officer
171 Main Street
Penticton, B.C. V2A 5A9
chieffinancialofficer@penticton.ca

Dear Ms. Campbell:

Re: 2022 Budget Requisitions

The City of Penticton's 2022 requisition for the Okanagan-Similkameen Regional District and the Okanagan-Similkameen Regional Hospital District is summarized below.

Included are adjustments to the 2021 requisition based on the final assessment roll for that year. These adjustments are collectable as per sections 804.2 (3) b of the Local Government Act and 25 (7) of the Hospital District Act.

Summary of Requisition:

2022 Regional District Requisition	\$ 2,308,502
2021 RDOS Adjustment	326
2022 SIR Parcel Tax	21,637
Subtotal RDOS	\$ 2,330,465
2022 Regional Hospital District Requisition	\$ 2,536,239
2021 OSRHD Adjustment	490
Subtotal OSRHD	\$ 2,536,729
Total Due	\$ 4,867,194

Sincerely,

Jim Zaffino

Jim Zaffino, CPA, CGA
Manager of Finance/CFO
Enclosures (2)

REGIONAL DISTRICT OKANAGAN-SIMILKAMEEN

2022 Budget Requisition

CITY OF PENTICTON	2022	2021	NET CHANGE	
Participating Directors determine budget by weighted vote				
911 EMERGENCY CALL SYSTEM - Improvements Only	\$ 363,364	\$ 349,325	\$ 14,039	
DESTRUCTION OF PESTS	3,270	3,500	(230)	
EMERGENCY PLANNING	143,774	102,218	41,556	
ENVIRONMENTAL CONSERVATION	220,969	178,630	42,339	
GENERAL GOVERNMENT	597,847	581,500	16,347	
HERITAGE (Subregional)	1,104	5,757	(4,653)	
ILLEGAL DUMPING	14,244	13,734	510	
INVASIVE SPECIES (formerly Noxious Weeds)	25,351	25,108	243	
MOSQUITO CONTROL - Improvements Only	4,673	4,325	348	
NUISANCE CONTROL	10,353	10,592	(239)	
REGIONAL ECONOMIC DEVELOPMENT (Okanagan Film Comm)	14,495	14,828	(333)	
REGIONAL GROWTH STRATEGY (Subregional)	18,550	29,615	(11,065)	
REGIONAL TRAILS	159,141	123,790	35,351	
REGIONAL TRANSIT	87,494	88,850	(1,356)	
SOLID WASTE MANAGEMENT PLAN	100,963	74,292	26,671	
Subtotal	1,765,592	1,606,064	159,528	
Requisitions from Other Multi-Regional Boards				
OKANAGAN BASIN WATER BOARD	334,466	335,046	(580)	
STERILE INSECT RELEASE PROGRAM - Land Only	208,444	203,492	4,952	
Subtotal	542,910	538,538	4,372	
TOTAL	\$ 2,308,502	\$ 2,144,602	\$ 163,900	
Average Tax Rate/\$1000 (RDOS)	\$ 0.17792	\$ 0.20799	\$ (0.03007)	
Average Taxes per Property (RDOS)	\$ 108.72	\$ 98.86	\$ 9.86	
MUNICIPAL DEBT REPAYMENT	\$ 3,083,068	\$ 3,119,621		
STERILE INSECT RELEASE PROGRAM - Parcel Tax	\$ 21,637	\$ 21,156	\$ 481	
REGIONAL HOSPITAL DISTRICT	\$ 2,536,239	\$ 2,602,280	\$ (66,041)	
	<u>Requisitions prior to 2021</u>	<u>Property Taxes</u>	<u>SIR Parcel Taxes</u>	<u>Total</u>
	2020	\$2,133,719	23,216	\$ 2,156,935
	2019	\$2,079,842	29,317	\$ 2,109,159
	2018	\$1,903,775	34,186	\$ 1,937,961

REGIONAL DISTRICT OKANAGAN-SIMILKAMEEN

2021 Budget Requisition Final Roll Adjustments

	2021 Final Roll	2021 Revised Roll	2021 Adjustments
CITY OF PENTICTON			
<u>Participating Directors determine budget by weighted vote</u>			
911 EMERGENCY CALL SYSTEM - Improvements Only	\$ 349,354	\$ 349,325	\$ 29
DESTRUCTION OF PESTS	3,500	3,500	-
EMERGENCY PLANNING	102,237	102,218	19
ENVIRONMENTAL CONSERVATION	178,654	178,630	24
GENERAL GOVERNMENT	581,609	581,500	109
HERITAGE (Subregional)	5,758	5,757	1
ILLEGAL DUMPING	13,736	13,734	2
INVASIVE SPECIES (formerly Noxious Weeds)	25,113	25,108	5
MOSQUITO CONTROL - Improvements Only	4,325	4,325	-
NUISANCE CONTROL	10,594	10,592	2
REGIONAL ECONOMIC DEVELOPMENT (Okanagan Film Comm)	14,831	14,828	3
REGIONAL GROWTH STRATEGY (Subregional)	29,620	29,615	5
REGIONAL TRAILS	123,814	123,790	24
REGIONAL TRANSIT	88,866	88,850	16
SOLID WASTE MANAGEMENT PLAN	74,306	74,292	14
Subtotal	1,606,317	1,606,064	253
<u>Requisitions from Other Multi-Regional Boards</u>			
OKANAGAN BASIN WATER BOARD	335,081	335,046	35
STERILE INSECT RELEASE PROGRAM - Land Only	203,530	203,492	38
Subtotal	538,611	538,538	73
TOTAL	\$ 2,144,928	\$ 2,144,602	\$ 326
Average Tax Rate/\$1000 (RDOS)		\$ 0.20799	
Average Taxes per Property (RDOS)		\$ 98.86	
MUNICIPAL DEBT REPAYMENT	\$ 3,119,621	\$ 3,119,621	
STERILE INSECT RELEASE PROGRAM - Parcel Tax	\$ 21,156	\$ 21,156	\$ -
REGIONAL HOSPITAL DISTRICT	\$ 2,602,770	\$ 2,602,280	\$ 490

Approval date: April 17, 2018

Resolution No.: 159/2018

Subject: Property Taxation Distribution Policy

1.0 Goal

The goal is to establish a fair, transparent, stable and equitable distribution of property tax among all classes of taxable property.

2.0 Scope

The City collects property taxation across the nine property classes as a means to generate the majority of its revenue to fund City operations. When the property tax requirement is approved in the financial planning process, it is necessary to determine an appropriate distribution amongst all property classes.

The City intends to ensure tax ratios are within acceptable parameters in comparison to other British Columbia municipalities and will be reviewed as a basis to striking the equitable distribution of property taxation.

3.0 Background

It is important to attract and retain businesses in the City to achieve economic vitality. This is accomplished through creating a competitive business climate and maintaining competitive and stable property taxes for business. At the same time, the residential property class provides the largest proportion of taxation revenue and affordability remains a key component to encourage growth of the residential sector. Striking the appropriate distribution of property taxes across the various classes is critical to achieve a positive business climate and residential affordability.

Municipalities can use different approaches for distribution of taxes across property classes:

3.1 The **tax burden approach** is used to maintain a percentage share of property taxes collected from each of the property classes consistent from year to year. This model creates fairness in times when there is little growth or change in assessment values.

3.2 The **tax ratio approach** is used to set a ratio for each class. In times of growth and increase in assessment value to hold the ratio, rates must be adjusted for changing classes resulting in a shift in tax burden and amount of taxes paid for these classes.

3.3 **The revenue neutral approach** is used to maintain the same level of revenue in each class before considering non-market change. This approach prevents against shifts in the tax burden between classes and also ensures any tax increases will be consistent across classes.

4.0 Policy

The City of Penticton will follow the **revenue neutral approach** in property tax rate setting. This approach is most equitable and stable for all property classes, especially in times of growth and changing assessment.

This ensures each property class pays the same dollar amount in taxes as they did the previous year, prior to any Council approved tax revenue changes or changes to the physical property. This approach will ensure Council has the ability to better control the effect tax decisions have on property owners and will make it easier and more transparent to estimate what taxes will be collected on individual properties. This approach is more understandable for the public and taxpayers can more easily verify that they are being billed correctly. It is consistent to owners of all classes of property.

The following actions will be taken each year when determining the current year rates:

4.1 Tax ratios will be determined by the market forces as assessment value changes will differ between classes. The current year rates for each class will be adjusted so that the dollars for each class remain the same as the prior year not including non-market change. Non-market change is regarded as new revenue, not previously generating tax revenue.

4.2 General Municipal tax changes as determined through the City's annual operating budget process will be applied as the same percentage change to each class.

4.3 Tax ratios will be reviewed annually to ensure the City of Penticton's ratio for any class does not exceed the provincial nor regional comparator averages from the previous year for that class. In the event a ratio exceeds the provincial or regional comparator average Staff will recommend an adjustment to the ratios for the impacted taxation year reducing them to the average.

5.0 Definitions

5.1 **Assessment Value** – An assessed value is the dollar value assigned to a property to measure applicable taxes. Assessed valuation determines the value of a residence for tax purposes and takes comparable home sales and inspections into consideration.

5.2 **Non-Market Change** – Changes in property value as a result of:

- new construction authorized under local building authority permit (permitted improvements)
- new construction which occurs in an area with no local building permit authority
- property class changes
- exemption changes

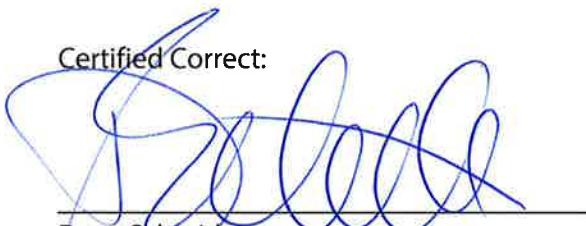
- new development or "size" changes to land - including subdivisions, land assemblies and consolidations (Plans Cancellations); new/expired tenures on Crown/exempt land; and
- Zoning changes (e.g. changes that increase or decrease density, use & resulting property value).

5.2 **Property Classes** – For property taxation purposes in British Columbia, the assessor assigns one or more property class to each property according to the description of these classes in a provincial regulation. There are nine classes: residential, utilities, supportive housing, major industry, light industry, business and other, managed forest land, recreational property/non-profit organization and farm.

5.3 **Tax Rate** – The amount of tax that would be paid for each \$1,000 of assessed value. The tax rate may vary between property classes but must be the same for all properties within a class.

5.4 **Tax Ratio** – The residential tax rate divided into the property class tax rate.

Certified Correct:



Dana Schmidt
Corporate Officer

Council Report

penticton.ca

Date: May 3, 2022
To: Donny van Dyk, Chief Administrative Officer
From: Carly Lewis, Economic Development Manager
Thom Tischik, Executive Director, Travel Penticton
Subject: **First Quarter 2022 Economic Development Update**

File No: 6750-01

Staff Recommendation

THAT Council receive into the record the report dated May 3, 2022 titled "First Quarter 2022 Economic Development Update";

AND THAT Council receive into the record the report dated May 3, 2022 titled "2022 Travel Penticton Update".

Strategic priority objective

Economic Vitality: Economic Development and Development Services supports the creation of a vibrant economy.

Background

On February 6, 2018 Council endorsed the 2018-2022 Economic Development Strategic Plan. The plan set the framework for goals and actions to be created within annual operation plans under the guidance of five Key Result Areas (KRA's):

1. Communication – Developing key messaging and reporting to our internal and external stakeholders.
2. Collaboration – Identifying strategic partnerships and working towards common goals.
3. Retention and Expansion – Focusing on businesses currently within the community.
4. Attraction – Focusing on bringing business, investment and labour to Penticton.
5. Organizational Excellence – Continually improving the economic development department.

Quarterly reporting is an important component to the implementation of the Economic Development Strategic Plan, not only to update Council and community on the status of the operational plan, but to provide updates and indicators to the community on some of the key indicators of the local economy.

In an effort to continue collaboration between the Economic Development Department and Travel Penticton, this report includes quarterly reporting from both organizations. With the recent approval of the 3% MRDT and investment by Travel Penticton in the new Convention Bureau and signing of a new 5-Year

Fee for Service Agreement for the provision of Visitor Services, a strong partnership between Travel Penticton and the City's Economic Development department will be important for the future.

Attachment A includes the Economic Development First Quarter Update for 2022, highlighting the department's priorities, activities, status, and Q1 indicators.

Attachment B includes an update from Travel Penticton for Q1 2022, highlighting the organization's priorities and status heading into 2022.

Attachments

Attachment A – 2022 Q1 Economic Development Update Presentation

Attachment B – 2022 Travel Penticton Update Presentation

Respectfully submitted,

Carly Lewis
Economic Development Manager

Concurrence

General Manager Community Services <i>ALH</i>	Acting Chief Administrative Officer KD
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ECONOMIC DEVELOPMENT

QUARTERLY REPORT



2022: Q1 Update



Business Retention & Expansion



- *BC Economic Development Association*
- *Pop-Up Picnic-ton and Love Local campaigns*

2022 BC ECONOMIC SUMMIT
 April 4th & 5th
 Reconciliation and Resiliency a future for BC
 PLUS ADDITIONAL SESSIONS EVERY TUESDAY IN APRIL
 A VIRTUAL EVENT | [BCEDA.CA/SUMMIT](https://bceda.ca/summit)

ORDER HERE!

PICNIC MAP: penticton.ca/picnic **PICNIC-TON** #PICNICPENTICTON #LOVELOCALPENTICTON



POP-UP EVENTS
 SATURDAY, JUNE 4, 12-4 P.M. | WINNIPEG ST. AT ESTERBROOK AVE.
 SATURDAY, JUNE 18, 12-4 P.M. | 500 BLOCK OF MAIN STREET

BC ECONOMIC DEVELOPMENT AWARDS
NOMINEE
 2022
Marketing Innovation
 Population greater than 20,000

BC ECONOMIC DEVELOPMENT AWARDS
NOMINEE
 2022
Economic Resiliency & Recovery
 Population greater than 20,000



Resident & Labour Attraction



- *Start Here Penticton*
- *Welcome Home Packages*

Age Group:

15 % Age 0-18 – (31 residents)
18% Age 19-30 - (35 residents)
23% Age 31-44 – (46 residents)
35% Age 45-65 – (69 residents)
9% Age 65+ - (17 residents)



Reason for Moving:

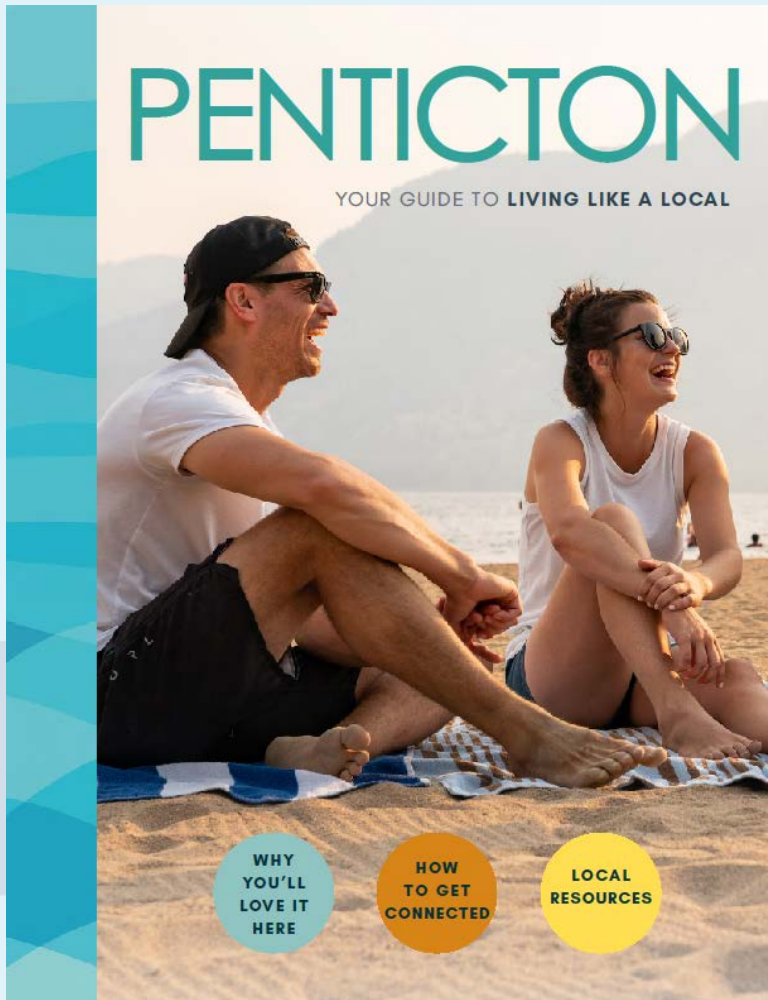
26% Moved here for a job (22)
21% Retired – (18)
18% Moved here with a partner, who came for work (15)
16% Remote worker or work from home – (13)
6% Plan to open or take over a business – (5)
5% - Currently unemployed (4)

Moved From:

23% from the Lower Mainland (19)
14% South Okanagan or Okanagan region (12)
13% from Ontario (11)
12% are from Alberta (10)
5% from Northern B.C. (4)
5% from Kootenays (4)
5% from Kamloops / Salmon Arm (4)

Housing:

47% - House (39)
30% - Apartment / Condo (25)
13% - Townhouse (11)
10% - Other



Resident & Labour Attraction

- *Earned Media & Accolades*
- *Census Data*



Top western towns for real estate investors 2021-22

Western Investor's annual forecast of top investor towns looks at five centres that are riding out the pandemic and look solid for investors into 2022.

Frank O'Brien
Nov 3, 2021 12:01 PM



4 / 5 Penticton: The city fronts two lakes yet offers some of the most affordable residential and recreational investments in the Okanagan. | Faith Wilson Group



PENTICTON WESTERN NEWS



While U-Haul migration trends do not correlate directly to population or economic growth, the U-Haul Growth Index is an effective gauge of how well cities are both attracting and maintaining residents. (Submitted photo)

Kelowna, Penticton included among U-Haul's top 25 cities for growth

Penticton Airport

- *Billboards*
- *Marketing Initiatives*



Pacific Coastal celebrates 1 year of Penticton flights, announces plans to expand service

Jan 11, 2022



YYF Penticton Airport Website Tracking

Date	Total users	Change (+)	Change (-)	Page views (+/-)	Change (+)	Change (-)
Mar-21	799			2,210		
Apr-21	1,408	81%		4,796	124%	
May-21	1,207		14%	4,234		-12%
Jun-21	2,073	82%		6,358	64%	
Jul-21	3,651	71%		13,514	107%	
Aug-21	7,535	106%		42,639	215%	
Sep-21	3,301		54%	12,726		68%
Oct-21	2,921		17%	9,358		31%
Nov-21	3,779	34%		12,764	41%	
Dec-21	4,856	26%		21,784	67%	
Jan-22	3,550		-27%	13,861		-36%
Feb-22	2,419		-22%	7,006		-40%



Sports & Events



VISIT
Penticton



2022 Events	2022 Event Date(s)	City Park Rentals
Ignite the Arts Festival	March 25 - April 3	various
Penticton Farmers' Market	April 16-Oct 29 (Saturdays only)	100 block Main St, Link Rd
PACA Bike Valet at Market	April 16-Oct 29 (Saturdays only)	Gyro Park
Community Market (DPA)	May 7-Sept 24 (Saturdays only)	200 block Main St, Front St
Fest of Ale (Outdoor)	May 14	Okanagan Lake Park
Penticton Bike Festival	May 20-23	Poplar Grove Parking Lot/Pumptrack, Three Blind Mice
Ha Ha Ha Kidz Festival	June 9 - 11	Gyro Park
Expedition Canada Race	June 8-11	TBD
National Indigenous Peoples Day	June 21	TBD
Peach City Beach Cruise	June 24-26	Gyro, Rotary, Lakawanna
Elvis Festival	June 24-26	Okanagan Lake Park
Rib Festival	July 1-3	Skaha Lake Park East/Pavilion
Canada Day (DPA) + Lakeside Resort Fireworks	July 1	Gyro Park
Scottish Festival	July 2	Kings Park
Okanagan Granfondo (Picolo on Saturday)	July 9-10	Rotary Park & Gyro Park
Music in the Park (DPA)	July 15, 22, 29 & Aug 12, 19	Gyro Park
Peach Classic Triathlon	July 17	Rotary Park & Parking Lot, Gyro Park
BC Day (DPA)	Aug 1	Gyro Park
Peach Festival	Aug 3-7	various
BC Wine & Food Truck Feast	Aug 13	Okanagan Lake Park
Subaru IRONMAN Canada	Aug 28	Okanagan Lake Park, Gyro Park, Rotary Park
Dragon Boat Festival	Sept 9-11	Skaha Lake Park, Playcourt, Pavilion
BC Bike Race - Flagship Mountain Bike Race	Sept 16-22	various
BC Bike Race - Gravel One Day	Sept 25	Marina Way Park or Okanagan Lake Park, KVR
BC Bike Race - Gravel Explorer	Sept 24 - 29	N/A
Truth and Reconciliation Day TBD	Sept 30	TBD
Tree Light Up Festival (DPA)*	Nov TBD	Nanaimo Square, 200-300 block of main street
Santa Claus Parade TBD	Dec TBD	TBD

SUMMARY: HOUSING UNITS TOTALS SINCE 2014



	Single Family Dwellings	Duplex Units	Multi-Family Units	Secondary Suites	Carriage Houses	Annual Total
2014	92	20	42	8	2	164
2015	69	56	39	9	6	179
2016	83	50	221	34	8	396
2017	93	64	249	41	11	458
2018	98	62	254	51	26	491
2019	38	15	264	31	15	363
2020	38	26	207	43	14	328
2021	75	20	282	56	14	447
2022 (Q1)	12	6	142	14	3	177
TOTAL	598	319	1700	287	99	3003

Single Family Dwellings make up **20%** of housing stock approved since 2014
 Multi Family Dwelling Unit types make up **80%** of housing stock approved since 2014

3,003 Housing Units approved since 2014 *(60% of these approved since 2018)*



QUESTIONS?



A family of three is shown from behind, standing on a gravel path with their bicycles. They are looking out over a scenic landscape at sunset. The sun is low on the horizon, casting a warm glow over the scene. In the background, there are rolling hills and mountains, and a body of water (likely a lake) is visible. The foreground is filled with tall, golden grasses. The overall atmosphere is peaceful and scenic.

ACTIVITY REVIEW

2021 IN REVIEW

START

STOP

PIVOT

WAIT

INVENT

HEAT DOME

PLAN

HURRY

FIRES

HOPE!

TOURISM WINS FOR 2021



- Secured a **3% rate for MRDT** (starting July 1, 2022), which will help significantly with tourism sector recovery efforts.
- Completed **5-year Strategic Plan** for tourism, including unique and innovative core marketing strategies:
- Completed 5 Year Fee For Service Agreement
- Establish the foundation for setting up the **New Meet In Penticton Convention Bureau**. Hired a Convention Sales & Business Liaison Manager, working with PTCC, SOEC & privately owned meeting facilities.
- Liaise directly with Community Services & Economic Development

2021 KEY INITIATIVES

“Stay Local, Buy Local, Support Local”

Member Subsidized Advertising Support

Event Marketing Support

- CSSHL – 3 Year Commitment
- Adventure Bike Race **NEW**
- Expedition Adventure Race **NEW**
- Nu Floors Curling Classic

Digital, Social & Online Coverage

Media & Travel Writer Development

Visitor Services – Main, Peach, Airport, Mobile

FFS - VISITOR SERVICES

Travel Penticton has diversified Visitor Information Services over the past 5 years and has progressed much further than many communities to offer a balance of services, which will continue into 2022, including:

- **Main Visitor Centre (888 Westminster Ave W)**
 - 4,000+ visitors assisted in 2021
- **Satellite Peach Location VC: Jubilee Pavilion (185 Lakeshore Drive W)**
 - 2,200+ visitors assisted in 2021
 - Year-round operations in 2022
- **Mobile Visitor Centre**
 - Assisted over 1,000 people at limited community events in 2021
 - Attend Saturday Market & major events in the City
- **Airport Kiosk**
 - Serviced regularly as part of the Visitor Services offerings
 - Events Welcome Kiosk – staffed as needed



FFS - VISITOR SERVICES

Continued diversification. Digital Visitor Services:

- **VisitPenticton.com Website**
 - Renewed and optimized for mobile use in 2021
 - Increase YOY of visitors onto the “Penticton Visitor Centre” page
- **@VisitPenticton Social Channels**
 - Enhance the use of the visitpenticton.com website, encourage electronic visitor information access
- **Email Campaigns**
 - Weekly What’s On email - highlights events happening in and around Penticton (1,650+ local subscribers)
 - Monthly newsletter to our consumer email list (38,000+ subscribers)
 - Approx 25,000 guides were given out with 11,000+ guides given out/taken from the Penticton Visitor Centre locations and Mobile Visitor Centre setup at events in 2021



2022 Projects



MEET IN
Penticton
ENTERTAIN • MEET • COMPETE



Conference Acquisition

- PTCC & SOEC
- Penticton Lakeside Resort & Conference Centre
- Other Penticton Meeting Facilities

2022 Community Event Support

Event Marketing Support

Budget: \$250,000

\$100,000 allocated to IRONMAN Canada to cover the cost of hotel rooms for race personnel

\$150,000 allocated to 26 local events – COVID Re-Start

Total Allocated to Date: \$156,225

Event Types: Active Lifestyle, Special Interest, Competitive & Arts

Timeframe: January - December

2022 Funding

Lead Organization	Name of Event	Date of Event	Approved Grant Funding
97 South Holdings Inc	97 South Song Sessions	July 21-23, 2022	\$6,500
Axel Merckx Events Inc	Okanagan Granfondo	July 8-10, 2022	\$10,000
Bad Tattoo Brewing c/o Penticton Breweries Collective	Penticton Beer Week	October 14-22, 2022	\$10,000
BC Bike Race	The BC Bike Race	September 16-22, 2022	\$7,000
BC Bike Race	The Gravel Explorer XLT (5 Day) & LT (1 Day)	September 25-29, 2022	\$7,000
District 19 Penticton Regional Bridge Tournament	Penticton Bridge Tournament	June 8-13, 2022	\$10,000
Glenn Bond (Personal Event Business)	Okanagan Trestles Tour	July 3, 2022	\$3,225
Hoodoo Adventure Co Ltd	Bighorn Bushwack Adventure Race 24h	September 10, 2022	\$1,000
Hoodoo Adventure Co Ltd	Bighorn Bushwack Adventure Race 3-8h	May 1, 2022	\$1,000
Hoodoo Adventure Co Ltd	Expedition Canada	June 2-11, 2022	\$5,000
Hoodoo Adventure Co Ltd	Okanagan Valley Throwdown	May 15-16, 2022	\$1,000
Hoodoo Adventure Co Ltd	Penticton Beer Run	October 15, 2022	\$2,000
Okanagan Fest of Ale Society	Okanagan Fest of Ale	May 14, 2022	\$5,000
Okanagan Hockey Group	CSSHL Championships	March 1, 2023	\$10,000
Okanagan Similkameen Conservation Alliance	Meadowlark Nature Festival	May 20-23, 2022	\$4,000
Okanagan Wine Festivals Society	Sensation	October 8, 2022	\$7,500
Pentastic Jazz Festival Society	Pentastic Jazz & Music Festival	September 9-11	\$10,000
Penti-Con Association (The)	The Penti-Con	October 22-23, 2022	\$3,500
Penticton Curling Club	Nufloors Penticton Curling Classic	November 2-6, 2022	\$5,000
Penticton Dragon Boat Festival Society	Penticton Dragon Boat Festival	September 10-11, 2022	\$5,000
Penticton Elvis Festival Society	Penticton Elvis Festival	June 23-26, 2022	\$10,000
Penticton Historic Automobile Society	Peach City Beach Cruise	June 24-26, 2022	\$4,500
Penticton Peach Festival	Penticton Peach Festival Society	August 3-7, 2022	\$6,000
Penticton Peach Festival	Penticton Peach Festival Society	August 3-7, 2022	\$14,000
Penticton Scottish Festival & Highland Games	Penticton Scottish Festival Society	June 30-July 2, 2022	\$5,000
Skaha Bluffs Park Watch Society	Skaha Climbers Festival	May 28-29, 2022	TBD

Team

Full Time Staff

Executive Director, Thom Tischik

Office & Special Projects Manager, Jo Charnock

Marketing & Visitor Centre Manager, Paige Schulz

Visitor Centre Advisor, Alice Simpson

Meet In Penticton Convention Bureau, Karen Davy

Council Report

penticton.ca

Date: May 3, 2022
To: Donny van Dyk, Chief Administrative Officer
From: Amber Coates, Financial Analyst
Carly Lewis, Economic Development Manager
Subject: **In-Year Grant Requests**

File No: 1850-20

Staff Recommendation

THAT Council approves a \$5,500 cash grant to the Penticton & Area Cycling Association, funded through administrative savings.

AND THAT Council approves a \$5,000 cash grant to the Penticton Regional Bridge Tournament, funded through administrative savings.

Strategic Priority Objective

Mission: Penticton will serve its residents, businesses and visitors through good governance, partnership and the provision of effective and community focused services.

Background

The City has received two additional in-year grant requests through our grant administration program. Annually the City receives grant applications as part of the budget deliberation process and subsequently receives in-year applications from organizations that did not apply during the regular intake.

During the 2022 budget deliberation process, the City used funding principles to determine the level of grant funding provided with new requests to address the increase in grant requests and to meet the budget allocation for grants. These principles included:

- Returning nominal grants from the prior year with similar requests were funded at the prior year levels;
- Large grants were reviewed individually;
- New requests under \$10,000 were funded at 50%; and
- Special events were evaluated individually.

Financial Implication

During the budget process an amount is allocated to 'other' grants to fund requests that are made during the year. There is currently no budget remaining in the 'other' grants; however, these requests may be funded through administrative savings.

Analysis

Penticton & Area Cycling Association

The Penticton & Area Cycling Association (PACA) has come forward with a new request to assist in funding a pilot project called "The Three Blind Mice Trail Crew & Administration". The Three Blind Mice trail network is a destination riding area for cyclists across the western provinces and states. The trails are also enjoyed by hikers and trail runners. In order to maximize enjoyment and safety, all trails require continuous maintenance and upgrading.

Since PACA's inception in 2007, they had been able to keep up to the trail maintenance through the use of volunteers; however, with the trail expansion in 2017, steadily increasing rider numbers and usage, and a new request from the Recreation Sites and Trails B.C. to add maintenance oversight of degraded pirate trails in the Carmi area, the need for a formalized maintenance crew has been identified. The association will be hiring two local trail builders in the 2022 season in order to achieve this goal. They have already hired an Executive Director to help the club grow cycling opportunities in the region.

The budgeted expense to run the pilot program for two months is \$18,000. PACA has identified an ability to contribute \$7,000 to the program for 2022 and is also approaching the Regional District of Okanagan-Similkameen for funding.

The 2022 request is for \$11,000 which will assist to fund the crew for two months in 2022. If the program is deemed successful, the intention is to grow this program to span four months and return during the regular annual municipal grant intake in future years.

As a new regional request for more than \$10,000, staff have reviewed this application individually. In consideration of the extensive use of the Three Blind Mice trail network by Penticton residents and events, and that only a portion of the trails are within City boundaries, staff are proposing to fund \$5,500 (or 50%) of the request.

The Penticton Regional Bridge Tournament

The Penticton Regional Bridge Tournament is scheduled for June 13-19, 2022 at the Penticton Trade and Convention Centre. This annual bridge tournament has been in operation for 25 years and brings in bridge players from all over North America, as well as Europe and Australia. It is the largest bridge tournament in Canada.

The 2022 request is for \$17,152 cash to assist in paying for the venue and sanction fees. The Penticton Regional Bridge Tournament has not requested a grant in the last several years.

Staff have reviewed the request and based on the municipal special events policy eligibility criteria, the nature of the program, and the cost per resident benefiting, staff support this request. Applying the same principles that were used during the regular grant process to evaluate special event requests, staff are proposing \$5,000 to fund this event.

Alternate Recommendations

THAT Council provide alternate direction to staff on the level of funding for the grant applications from the Penticton & Area Cycling Association and/or the Penticton Regional Bridge Tournament.

Respectfully submitted,



Amber Coates
Financial Analyst

Carly Lewis
Economic Development Manager

Concurrence

Director of Finance and Administration	Acting Chief Administrative Officer
<i>AMC</i>	KD

Council Report

penticton.ca

Date: May 3, 2022
To: Donny van Dyk, Chief Administrative Officer
From: Jamie Lloyd-Smith, Community Mobilizer
Subject: **Social System Mapping and Navigation**

File No: 5080-01

Staff Recommendation

THAT Council receive into the record the report dated May 3, 2022 and titled "Social System Mapping and Navigation".

Strategic priority objective

Vision: A vibrant, innovative, healthy waterfront city focused on sustainability, community and economic opportunity.

Mission: Penticton will serve its residents, businesses and visitors through good governance, partnership and the provision of effective and community focused services.

Community Safety: The City of Penticton will support a safe, secure and healthy community.

Background

Social Development continues to focus on the three main priorities Council identified during the 2019 budget deliberations (age friendliness – including child care, housing and homelessness, and substance use and mental health) by fulfilling several roles (e.g., advocator, capacity/community builder, coordinator of services, educator, and researcher). Identifying the services and programs that support the social well-being of the community has been identified in several large bodies of work that the team has led recently. This includes:

- 100 More Homes Memorandum of Understanding with the City – the three-year MOU outlines that 100 More Homes will support understanding what services are available in the community;
- Age Friendly Action Plan – coordinating services and advocating for the right new services for older adults was a recommendation;
- Child Care Action Plan – identifying all of the child care services available for Penticton families is a recommendation in the plan;

- Community Action Team Memorandum of Understanding with the City – the three-year, \$800k project aims to identify what services are in the community related to substance use and pilot new initiatives;
- *No Where to Go* youth homelessness research report – identifies having a clear understanding of the various social services available in the community, and;
- The work plan for the Union of BC Municipalities’ Strengthening Communities’ Services grant (and Council report) that Council approved (Council Resolution 84/2021) – outlined that funds would go towards identifying what services are available in the community (“system mapping”).

Identifying the services that are available to understand what new services are needed in the community will help the City and community partners with advocacy (e.g., what to advocate for, where to focus advocacy efforts), where to focus future investments, help educate partners and the public about where to refer individuals for services, and provide information about opportunities to coordinate services.

To help move forward with having a systematic and transparent understanding of what services are available in the community, and using grant funds to support the work, there is an opportunity to take a full inventory of the services and programs available (“system mapping”). To help support this work, *HelpSeeker Technologies*, has been engaged to support the community with this project over the next year (see Attachment A).

Financial implication

There is no financial implication this project. The Union of BC Municipalities Strengthening Communities’ Services grant that Council approved on March 16, 2021 (Council Resolution 84/2021) identified that working with partners to strengthen the communities response was a proposed activity. These grant funds and in-kind contributions from partners are covering the approximately \$50,000 in costs associated with this project. Staff time will be required to help with the project.

Analysis

As noted, this project is emerging from a considerable body of work (e.g., Age Friendly Action Plan, MOU with the Community Action Team, MOU with 100 More Homes) that identifies *system mapping* as an important opportunity for the community and the City to have a thorough and in-depth understanding of what services and programs are available in Penticton. 100 More Homes, as the leader of this project, will work to ensure that community partners are included in this work.

Therefore staff are recommending that Council receive into the record today’s report that continues this important project.

Attachments

Attachment A – Background Project Information

Respectfully submitted,

Jamie Lloyd-Smith
Community Mobilizer

Director, Development Services <i>BL</i>	Acting Chief Administrative Officer KD
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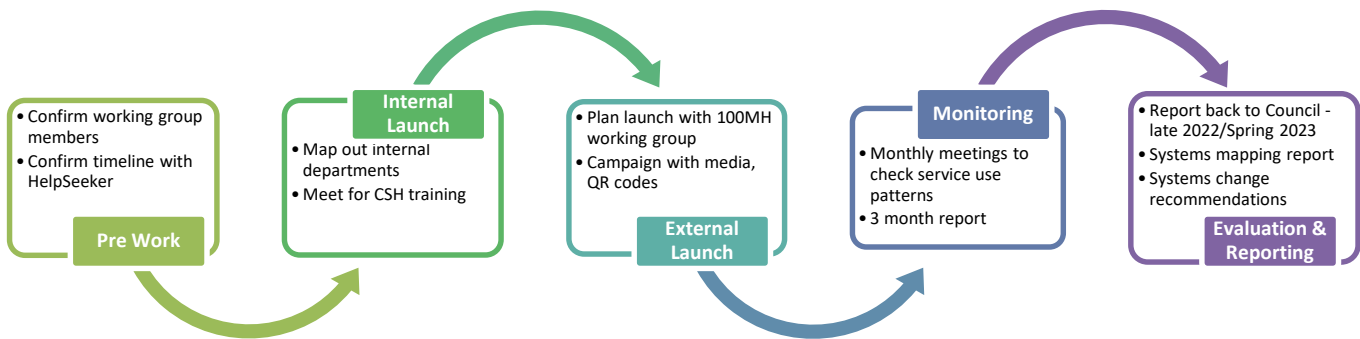
Attachment A – Project Information

HelpSeeker Technologies will be supporting the community with this work. HelpSeeker is a Social Tech BCorp specializing in tech development, data science, social science, systems change and social innovation.

100 More Homes, as the community’s leader on housing and homelessness, will be the group responsible for HelpSeeker. The 100 More Homes Steering Committee will provide high-level oversight, while the HelpSeeker Action Team will provide dedicated attention to the project. In partnership with HelpSeeker, the project will:

- Conduct a thorough mapping of Penticton to build a live asset map of social services operating in the area;
- Interview users of services and service providers to understand current state user pain points, decision points, and experiences;
- Look at the access to different services, with a focus on housing and homelessness;
- Develop a comprehensive list of social sector actors and a high level analysis of service concentration, across areas of need;
- Produce an illustrative journey map of the help-seeking journey for individuals in Penticton, as well as identified leverage points for interventions to improve user experience;
- Launch the HelpSeeker App for individuals in the community to have live access to the support they need.

Timeline/Phasing of the Work with 100 More Homes



Phase 1: Project Start-up & Scoping (~ Q2 2022)

- Kickoff meeting with ad hoc 100 More Homes members

Client Journey Mapping/Engagement Design Session

- A HelpSeeker facilitated session to lead the Client Journey Mapping stakeholders through brainstorming, ideation and co-creation to define elements and success criteria for the final report. This session will be used to determine the best way to engage the community, create research questions, as well as an initial outline for the report to guide development throughout the project

Phase 2: Community Engagement & Research (~ Q3 and Q4 2022)

- HelpSeeker Community Engagement through interviews and focus groups
- Data collection
- Data review and analysis
- Synthesis of maps to illustrate

Findings Review Session

- A HelpSeeker facilitated session to lead the project stakeholders through the key findings, and co-develop key messaging, recommendations and calls to action. The research questions and report outline in Phase 1 will be revisited.

Phase 3: Report Development & Validation (~ Q1 2023)

- Report outline and framework
- First draft of report
- Revisions period
- Second draft of report
- Copy edit
- Design

Council Report

penticton.ca

Date: May 3, 2022 File No: 4750-20
To: Donny van Dyk, Chief Administrative Officer
From: Adam Goodwin, Social Development Specialist
Subject: **Penticton Child Care Action Plan: Advocacy, Spaces, and Staffing**

Staff Recommendation

THAT Council direct staff to work with community partners, the Province, and relevant City committees on examining the redevelopment of Bugaboo University in order to prepare an application to the Province for childcare spaces funding during the next application period;

AND THAT Council approve the City to release an Expression of Interest to incorporate the core principles in Attachment C, and to return to Council with a recommendation for a partner organization;

AND THAT Council direct staff to work with community partners on finalizing correspondence highlighting Penticton's child care priorities to be submitted to the Province's child care consultation process.

Executive Summary

The Penticton Child Care Action Mobilization Group is implementing the Penticton Child Care Action Plan, as directed by Council. To support the continued implementation of the plan, the Group unanimously resolved at its meeting on Thursday, March 31, 2022 to send several requests to City Council regarding:

1. Identifying potential future space for new or renewed child care centres; specifically an opportunity with Bugaboo University in the Community Centre;
2. Support with the most significant challenge facing Penticton as identified by the Group's work: coordinated recruitment and retention of child care professionals; and
3. As part of the Province's current consultations on the future of child care in British Columbia, submit a letter to the Ministry of Education and Ministry of Children and Family Development with partners outlining the community's challenges with child care and the local priorities.

Staff are recommending that Council support all of the Group's requests and all of the proposed recommendations, as they are in direct alignment with recommendations in the Penticton Child Care Action Plan.

Strategic priority objective

Vision: A vibrant, innovative, healthy waterfront city focused on sustainability, community and economic opportunity.

Mission: Penticton will serve its residents, businesses and visitors through good governance, partnership and the provision of effective and community focused services.

Asset & Amenity Management: The City of Penticton will ensure the services we provide to our residents and visitors are reliable and cost effective by proactively investing into our natural and built assets.

Community Safety: The City of Penticton will support a safe, secure and healthy community.

Community Vitality: The City of Penticton, guided by the Official Community Plan, will promote the economic wellbeing and vitality of the community.

Background

In January 2021, Penticton City Council endorsed the Penticton Child Care Action Plan that Council had previously directed staff to develop (Council Resolution 16/2021). Families of over 520 children, and many child care centres, participated in the surveys and workshops that helped identify the Action Plan's priorities and actions. The Plan has four major pillars: accessibility, affordability, quality, and collaborations. As part of working with partners to collectively implement the community's plan, Council directed staff to establish a group to steward the plan's implementation (Council Resolution 289/2021).

This group has been working together for the last several months (see Attachment B for a recent snapshot). The group has identified three significant priorities around child care in Penticton to focus on for the next several months:

1. recruitment and retention of child care professionals;
2. planning around new or renewed space for child care facilities; and
3. advocacy to the Province.

These three requests are in direct alignment with what was heard during the development of the Penticton Child Care Action Plan, and the recommended actions in the Plan.

Space for Child Care Centres

The Penticton Child Care Action Plan identifies that Penticton requires at least 722 net new child care spaces by 2030. Since the plan was endorsed by City Council, there have been several new centres that have opened or started construction:

- Edmonton Avenue Child Care Centre – 116 spaces (anticipated to open in Fall 2022)
- Family/Home-Based Centres – 3 centres
- Centres closed – 1 centre
- School District 67 and Interior Health Authority announcements in April 2022

- Two additional \$10 a day centres (OneSky and YMCA – for a total of 102 spaces) to complement the centre at OSNS Child and Youth Development Centre

While the community, including the City, are making progress towards the community's goal, there is still a need for planning around new child care spaces (e.g., Recommendations 2, 3, 6, 14, and 30 of the Penticton Child Care Action Plan). To implement Recommendation 3 of the Action Plan, staff worked with the Group to review any possible opportunities with existing City facilities or land, among other possible locations with non-City land. One opportunity to increase the number of licensed child care spaces with a City facility identified by City staff and the Group is the current Bugaboo University. It is a recreation program that operates child minding-like services in the Penticton Community Centre with the City Recreation Department. During its March 31, 2022 meeting, the Group unanimously requested that Penticton City Council consider investigating expansion of Bugaboo University into a more traditional child care offering. There are other non-City opportunities for new spaces currently being examined by other community partners.

Bugaboo University has been located in the Community Centre since 2015. It operates as a recreation program and provides care to approximately 40 children during weekday mornings. Bugaboo U, however, is not a licensed child care centre. Nevertheless, the space serves an important role in providing some morning programming to older children. It is located in the basement of the western side of the Community Centre. There is a playground available for Bugaboo University to use on the west side of the Community Centre (next to the link between the South Okanagan Events Centre and the Penticton Trade and Convention Centre). Based on discussions with various departments, facility reviews, the Parks and Recreation Master Plan, Penticton Child Care Action Plan, and the accessibility goals of the City, upgrading and potentially expanding Bugaboo University could have many benefits for child care accessibility and affordability in the community, and also have positive impacts on the Community Centre and outside playground.

Coordinated Recruitment and Retention of Child Care Professional (Staffing)

During the development of the action plan and in the Group's recent work, child care centres identified that the recruitment and retention of child care professionals can be a challenge. Based on the number of current child care spaces, Penticton has over 140 child care professionals in the community (to provide care for children in the over 1,100 spaces). As the community has identified the need for at least 722 net new child care spaces by 2030, this equates to approximately 90-100 net new child care professionals for Penticton being required over the same timeframe. Significant investments in the child care labour force by multiple orders of government, post-secondary institutions, and child care centres are being made through new training programs, wage enhancements, benefits being offered to professionals, and professional development activities. During discussions with child care centres, there is a request to coordinate a recruitment campaign among the sector in alignment with Recommendations 20 and 30 of the Penticton Child Care Action Plan. The City would not be directly recruiting and retaining child care professional, but would be coordinating strategies and initiatives with the Group and child care centres to make progress on this shared priority.

Advocacy Letter to the Province

There is currently a significant shift in child care governance from the Ministry of Children and Family Development to the Ministry of Education. Recommendation 30 of the Penticton Child Care Action Plan identifies the important role of advocacy to inform Provincial government planning and resource allocations around child care in BC. Through its work, the Group has identified several areas of potential advocacy. Having the municipality participate in this advocacy will help provide the local coordination and community building to submit a letter that Ministries will receive and consider when making decisions around the future of child care in Penticton. The group has identified preliminary areas that should be highlighted in the letter (see Appendix D).

Financial implication

The campaign with community partners around encouraging individuals to consider a career in child care has nominal costs. Any minimal costs the City may incur will be covered by existing budgets. The costs with hiring an architect to help identify possible layouts with Bugaboo University will also be covered by existing budgets. The nominal costs associated with this will help the City apply for a capital grant to cover any costs associated with Bugaboo University's upgrades and expansion. The advocacy letter would require only staff time.

Analysis

Bugaboo University Opportunity

Upgrading and potentially expanding Bugaboo University and the surrounding areas inside and outside the Community Centre aligns with several City plans. Bugaboo University's current configuration is severely underutilized. With the child care crisis in Penticton, there is an urgent need to reimagine potential child care centres such as Bugaboo University to better reflect the current child care demands in the community. This will directly support families, businesses that rely on families with young children as employees, and help in the recovery from COVID.

Specifically, should Council support moving forward, with the help of an architecture firm, several main areas would be evaluated for expansion/redevelopment:

- Connections and alignment with the North Gateway project: How can this project incorporate the North Gateway's core principles?
- Reimagining the locker rooms: To ensure the safety of the children at Bugaboo University, these locker rooms are currently behind a locked door that cannot be accessed by members of the public and are therefore not used very often. There may be an opportunity to reconfigure these locker rooms to be added to the space available for child care.
- Enhancing the universal accessibility of the basement of the Community Centre: With the current Community Centre layout, a ramp from the main floor of the Centre to the basement goes past the current Bugaboo University space. This ramp case pose challenges with accessing parts of the lower level of the Community Centre. For example, at the bottom of the ramp are narrow doors that can be a challenge for individuals using mobility equipment and/or younger families with strollers to access the recreation rooms on the bottom level of the Community Centre. This project presents an opportunity to add a new ramp on the east side of the Community Centre that will make the bottom level considerably more accessible.

- Outdoor spaces: The outdoor spaces outside the child care could benefit from several enhancements that would make the spaces more accessible, welcoming, and integrated with the rest of the campus. The Bugaboo University project can be a catalyst for making the playground more accessible, and looking at synergies with surrounding outdoor spaces.
- The current Bugaboo U spaces: Examine opportunities for innovative options for children that currently participate in Bugaboo U.

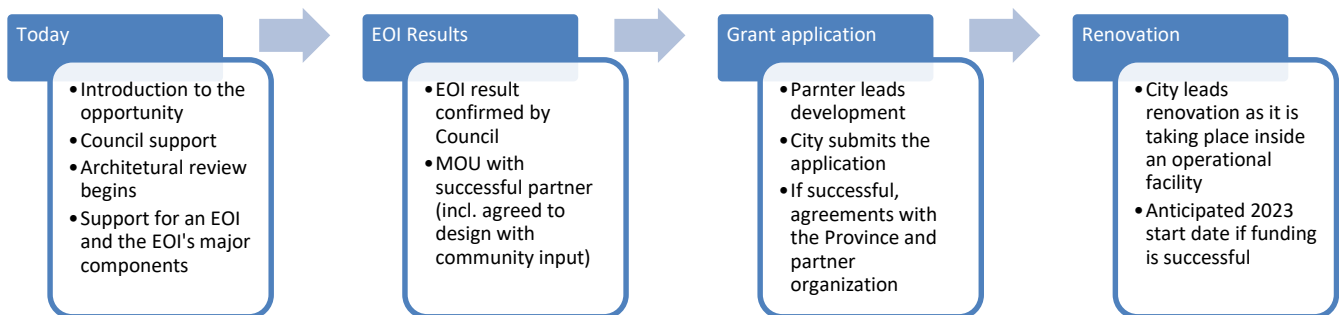
In alignment with the Penticton Child Care Action Plan, there is an opportunity to use this project to increase the number of licensed child care spaces available for families, to increase the hours of operation of the new centre, and to partner with an operator that can invest in the long term quality of the child care program operating in the space.

Additionally, the Age Friendly Action Plan identifies making public facilities and outdoor spaces more accessible. As noted, this project has the opportunity to enhance the universal accessibility of the inside of the Community Centre, and the playground to the west of the Community Centre. This will increase the possibilities to offer more multi-generational programming and events in the Community Centre by the Recreation Department in alignment with the Age Friendly Action Plan.

Constructing a new ramp or similar solution along the east side of the Community Centre could potentially allow the Recreation Department to offer more and new programs that it was previously unable to offer due to the potential accessibility challenges with the Community Centre. Additionally, outside the west side of the Community Centre is an existing playground. While it can be accessible from one side, the north side of the playground can be difficult to access. This project is an opportunity to use some capital grant funding to make the playground more universally accessible and open to more young families after hours (e.g., Design Guidelines under 4.2.1 of the Master Plan).

With the Edmonton Avenue Child Care Centre construction project in Kiwanis Park, City Council made approximately ten sets of resolutions for various aspects of the project. Based on a review of the processes used for the Edmonton Avenue project, staff are proposing a streamlined process for this project (see Figure 1) should Council wish to move forward with the project.

Figure 1. Proposed Process for Bugaboo University Redevelopment.



The Province anticipates that the next round of capital funding will be available in Summer 2022 (exact date has not been announced). As there are a number of steps required to submit a complete and competitive application, the planning work must start now should the City wish to explore the opportunity with expanding Bugaboo University.

Recruitment and Retention

May 2022 is recognized in many jurisdictions, including British Columbia, as child care month. The child care group would like to launch a small campaign to focus on child care during the month of May 2022. This will help clearly promote the new and exciting opportunities that exist in working as a child care professional, and support interested individuals in learning more about how to find a job in child care. Multiple partners have committed to participating in presentations, sharing and releasing information about child care job opportunities, and encouraging individuals to consider a career in the sector.

Letter of Advocacy

As noted in Recommendation 30 of the Penticton Child Care Action Plan, there are opportunities to help communicate the common challenges and priorities related to child care in Penticton to other orders of government. As outlined in Attachment D, there are four main areas that groups have requested support with advocating to the Provincial government around child care. These are:

- Penticton is open to, and likely requires, innovative approaches to child care (e.g., trialing overnight options, unique approaches to recruiting professionals),
- Families with children in Supported Development require clearer communication about the future of these services, and
- Continues to require urgent investments in new child care spaces to support our economy, healthy early childhood, and the community's safety and well-being.

Helping coordinate advocacy in the community aligns with similar roles the City has played in ensuring the economic and social well-being of Penticton.

Summary

In summary, staff are recommending that Council support the three requests from the Child Care Mobilization Group. These three actions – transforming the Bugaboo University centre, providing coordination around recruiting and retaining child care professionals, and supporting advocacy – will make progress on the Action Plan and should have positive impacts for families, businesses, employers in the community, and the safety and well-being of Penticton. With nominal costs involved in these initiatives plus staff time, moving forward will support the City being a positive partner in working with community partners on finding solutions for Penticton's child care crisis. Therefore, staff are recommending that Council approve all of the Group's recommendations and the proposed resolutions.

Alternate recommendations

THAT Council direct staff to bring back additional information.

Attachments

Attachment A – Photos of Bugaboo University and the Community Centre

Attachment B – Penticton Child Care Action Plan Monitoring Report

Attachment C – Principles to be Included in the Expression of Interest

Attachment D – Core Principles of the Letter of Advocacy

Respectfully submitted,

Adam Goodwin
Social Development Specialist

Concurrence

<p>General Manager, Community Services</p> <p><i>AG</i></p>	<p>Director of Finance and Administration</p> <p><i>AMC</i></p>	<p>Director, Development Services</p> <p><i>BL</i></p>	<p>Acting Chief Administrative Officer</p> <p>KD</p>
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Attachment A – Photos of Bugaboo University and the Community Centre



Image 1. Playground structure on the west side of the Community Centre



Image 2. Looking south between the Community Centre and SOES



Image 3. Looking north beside the Community Centre; the PTCC is in the background



Image 4. Inside the current Bugaboo U. space



Image 5. Inside the current Bugaboo U space

Attachment B – Penticton Child Care Action Plan Monitoring Report

Last updated: Wednesday, April 27, 2022

Why was the Action Plan developed?

In 2018 and 2019, Penticton City Council heard numerous presentations, reports, and findings that child care is a significant source of stress for local families, is negatively impacting local businesses and employers, and asked the City to play a role in support community child care initiatives. Employers are having difficulty recruiting new employees to the community, challenges with retaining existing staff, and struggles growing their businesses and organizations because of Penticton's child care crisis.

Penticton Child Care Action Plan

Based on City Council direction, in 2020, the City worked closely with the Social Planning and Research Council of BC and community partners to develop the Penticton Child Care Action Plan. This was to help identify community priorities, targets for community spaces, and specific recommendations around actions to improve the community's child care system. There are four main priorities identified for the community to focus on:

- Focus on accessibility
- Focus on affordability
- Increase quality
- Partnerships and collaborations

Current Priorities

There are several major priorities related to child care:

- Completing construction of the Edmonton Avenue child care facility,
- Recruit more professionals to complete the Early Childhood Education program,
- Support current professionals in upgrading their Early Childhood Education, and
- Passively continue to identify potential new opportunities for facilities/spaces.

The focus on staffing was identified during the development of the Child Care Action Plan. Several centres shared that they had more physical space at their child care facility, but did not have the qualified staff to utilize the full space they had available. Secondly, many centres identified that their staff wanted to continue their education in the field but struggled to find ways to support their staff in doing this in an impactful manner.

For More Information

For more information about the Penticton Child Care Action Plan, please contact the Penticton Social Development Team (SocialDevelopment@penticton.ca | 250.490.2512) or visit penticton.ca/childcare.

Status Guide

Green – On-track / completed

Yellow – Needs additional support / plan completed but not yet implemented

Red – Significant attention required to return to being on-track

Status is as of the date on page 1. Statuses are subject to change.

	Recommended Action	Accomplishments to Date	Next Steps
Recommendations to Increase Accessibility			
1	Develop a stand-alone Penticton Child Care Policy, providing a consolidated statement of the City's vision, goals, strategies and commitments to child care.	Research report completed	Include in OCP updates in 2022 or 2023
2	Endorse the space creation targets of 722 new spaces for Penticton by 2030: Infant/Toddler: 33% coverage = 131 spaces Preschooler: 75% coverage = 236 spaces School Ager: 50% coverage = 355 spaces	Completed – Penticton City Council endorsed in January 2021	
3	Work with other Public Partners (e.g., Interior Health, School District 67, local First Nations, Regional District) to create an inventory of prospective opportunities for child care development	City – Edmonton Avenue SD67 – recent announcements Interior Health – recent announcements RODS – action plan endorsed	Review opportunities in the City's new facilities (e.g., community safety centre)
4	Work in close partnership with School District 67 to assess opportunities to increase the numbers of licensed before and after school programs as part of the Province's commitment to move child care to the Ministry of Education to lead universal before and after school care, including innovative opportunities on professional development days, school breaks, and summer.	SD67 – recent announcements	-
5	Link child care to new housing developments. This includes the City's affordable housing strategies, affordable housing plans and other multi-family residential developments. Child care should be considered and included where possible in all new family housing and neighbourhoods.	Recommended updates to OCP forthcoming Have shared request with BC Housing at the hotel redevelopment site (Green and Skaha)	
6	Work with public partners to identify opportunities to access Provincial Capital funding to build child care spaces and develop a structured partnership with the Province to replicate the process for multiple programs and sites	Process in development should new funding rounds be made public	
7	Identify a City staff position(s) as the child care facilitator/point person to provide leadership on	Completed -	

	child care in the City organization, including but not limited to assisting applicants with City processes and supporting other City staff who are engaged with child care.		
8	Identify and implement changes to local government processes and regulations for facilitating /developing child care, including alignment with Interior Health Licensing; and review of bylaws as detailed in the Planning Framework and Bylaw Review Report.	Zoning Bylaw clarity	Update OCP
9	Update the City's website to add child care information	Completed – will update as required	
10	Work with community partners, City departments, library staff and public partners, to develop a variety of after-school programs to support children aged 10- 12	Has been referred to the community group.	
11	Work with the new Community Child Care Planning Table (see recommendation #24) and local, large employers (like the Penticton Regional Hospital) to explore and then pilot child care that offers longer hours, non-traditional hours and/or flexible hours	Has been referred to the community group.	
12	Increase partnerships with the Child Care Resource and Referral program, the Supported Child Care Programs and other community organizations	In progress	
13	Explore the feasibility of establishing and maintaining a centralized child care waitlist to support families who are looking for child care	Has been referred to the community group.	
	Recommended Action	Accomplishments to Date	Next Steps
Recommendations to Increase Affordability			
14	Assist prospective child care operators with identifying potential lands that may be available and suitable (through Action #3). This may include working with private and/or public land owners to identify opportunities to offer affordable lease rates	Edmonton Avenue facility Bugaboo University opportunities	Will continue to monitor opportunities
15	Monitor child care fees in Penticton	CCRR continues to monitor on a regular basis. Most recent monitoring report issued in early 2021.	-
16	Advocate to other orders of governments to reduce the cost of child care and increase compensation for child care workers	Awaiting clarification from both the federal and provincial governments on details of new policies and programs	
17	Partner with the local Child Care Resource and Referral Program to enhance the promotion of the BC's Affordable Child Care Benefit Program	Continue exploring unique opportunities to promote the benefit program	

	Recommended Action	Accomplishments to Date	Next Steps
Recommendations to Promote Quality			
18	Work with, support, and encourage the non-profit and public sector in developing new facilities to meet the child care space targets	Edmonton Avenue facility Bugaboo University opportunities	Continue to monitor opportunities
19	Explore feasibility and options for creating guidelines for child care spaces that may be developed or facilitated (e.g., program mixes, operating expectations like affordable fees, good wages and working conditions, program curriculum)	Has been referred to the community group.	
20	Support the Province in its “Early Care and Learning Recruitment and Retention Strategy” initiative through joint efforts	Has been referred to the community group.	
21	Work with School District 67 to explore a dual credit ECE Program for local high school students to encourage a career and local employment and work with local child care providers to offer ECE Practicums	Has raised this with SD67 and City’s willingness to support this	
22	Develop new partnerships with public postsecondary training institutions to offer local ECE training programs	Has been referred to the community group.	
23	Consider the needs for Early Childhood Educators and child care in a formal Workforce Development or Business and Economic Development Strategy	-	Will be considered if a new strategy is developed
	Recommended Action	Accomplishments to Date	Next Steps
Recommendations to Strengthen Collaborations and Partnerships			
24	Develop a local Child Care Action/Planning Table that brings child care providers, support services like supported child care, Interior Health Licensing, family support agencies, the School District and Indigenous Partners together with the City to focus on child care needs and the implementation of the child care action plan	Completed	
25	Continue to build supportive and learning relationships with First Nations and Indigenous partners to support Indigenous perspectives, history and culturally appropriate and supportive child care in Penticton	The City supported the Penticton Indian Band’s application (and recent announcement) for funding for a new child care centre	
26	Work together to identify the local meaning associated with the Province’s recent announcement that child care is moving to the Ministry of Education by 2023 and there will be universal before and after school care with a priority on school grounds	Have requested additional details	

27	Consider the development of a public education/communication campaign that informs on the needs for child care, the importance of child care to the community, and the actions that are underway to improve the child care situation in Penticton	Incorporating into Child Care Month activities	
28	Provide regular briefings to elected officials on the child care situation (City, provincial, federal, and School Board) and commit to offer an orientation on child care after each election to elected officials	This report	In 12 – 18 months
29	Recognize and honour the value of child care workers and the child care in the community by supporting Child Care month on an annual basis	May 2021 and May 2022	May 2023
30	Coordinated advocacy to other orders of governments to provide support to the child care sector and families	Letter included in the report	
31	Share information and collaborate where possible with the local governments in the South Okanagan-Similkameen	On-going	

Attachment C – Principles to be Included in the Expression of Interest

The Expression of Interest (EOI) process would help the City identify a partnering organization to operate the redeveloped/renovated space. With several potential organizations that may wish to operate the new space, an EOI is a transparent, equitable, and fairer way to all prospective applicants to submit their interest in operating the new space. The EOI will incorporate the below core principles. As the project progresses, these may be updated, as needed.

- The partner organization will help finalize the design of the new spaces, and will participate in any and all consultation/engagement activities,
- The partner organization will take the lead in the development of the grant application to the Childcare BC New Spaces Fund, or similar capital grant program. The grant application will be approved by and then submitted by the City of Penticton,
- The partnership is contingent on successfully receiving a capital grant from the Childcare BC New Spaces Fund, or similar capital grant program, for the full costs of the project, and on the project receiving the appropriate construction permits from the City,
- The City will lead the renovation of the space as the construction work is happening inside a busy and functional City facility/amenity,
- The partnering organization will have a long-term lease with the City for the space,
- The partner organization will operate all aspects of the child care spaces, including staffing and recruiting families,
- The partner organization will maintain any and all fixtures, electrical infrastructure, furniture, toilets, and the like inside the space. The City will be responsible for the rest of the Community Centre,
- The partner organization will apply for any and all relevant grants/funding to make the spaces as affordable as possible,
- The partner organization will work on any reporting to the community and/or funders, and
- As the space operates inside the Community Centre, the partner organization will need to commit to being a cooperative and positive contributor to the Centre, and its other programs and staff.

As part of the EOI process, prospective applicants will need to provide the following to the City, at a minimum:

- Description of the organization,
- Organizational chart and description of the key staff in the organization,
- Provide relevant child care operating experience and how this will translate/be incorporated in the project,
- How the respondent's approach is differentiated from other possible approaches,
- How the respondent will be a positive tenant in the Community Centre,
- List of references complete with contact information and a description of the event or project the organization worked on with the reference,
- Financial capability of the respondent to operate and maintain the space for the life of the long-term lease. The respondent should include any financial contributions to the project,
- List any requests from the City, including financial and in-kind commitments, and
- List any community or value-added items beneficial to the City or the residents.

Submissions to the EOI process will use core elements of the following draft scoring criteria (subject to change):

Score Criteria	Weight
Organization Overview and Staff	20%
Relevant and Transferable Experience	25%
Differentiation from Other Approaches	25%
Financial Ability and Requests	20%
References	10%
Total	100%

Attachment D – Principles for the Letter of Advocacy

These items outlined below will be incorporated in the advocacy letter, as proposed by the Penticton Child Care Action Plan Mobilization Group. This is based on the results of the engagement during the development of the Action Plan, as well, as what the group has heard over the last few months of doing its work.

Item one (1)

- Point of clarification: Will only public and/or not-for-profit child care be supported in the future by the Province?
- Key message in the letter: All organizational forms (public, not-for-profit, and for-profit) be supported in the Province's new child care model.
- Rationale: For-profit child care centres can provide valuable jobs for Penticton, can support families that operate the centres, and offer important child care spaces in the community

Item two (2)

- Point of clarification: Will the Province work with communities to trial innovative late hours or weekend child care options?
- Key message in the letter: Penticton is open to experimenting with innovative delivery models around offering late hour child care or options during weekends.
- Rationale: During the development of the Child Care Action Plan, it was identified that there are no late hour or weekend child care options. For families that have members who are emergency professional (e.g., police officers, fire fighters, paramedics) that must be available to work at any hour, this can present significant challenges for these families.

Item three (3)

- Point of clarification: With the transition to the Ministry of Education for child care, how will families in a Supported Children Development program continued to be supported through the Ministry of Children and Family Development?
- Key message in the letter: The Penticton Child Care Mobilization Group is hearing concerns from both centres and families about children in a Supported Children Development program. Clarifying and calming fears around the transition is important for families to support their own planning to ensure their children have child care options.
- Rationale: This uncertainty is causing concern and fear in some families, as well as with some child care centres. Clarifying plans will help both families and centres move ahead with the best interests of each child in mind.

Item four (4)

- Point of clarification: Are there innovative opportunities between the Ministry and community of Penticton around recruiting and retaining child care professionals?
- Key message in the letter: Penticton is moving forward with some local campaigns around becoming and working in the child care sector. The community would like a partnership with the Ministry to trial an innovative approach to supporting child care professionals.
- Rationale: This uncertainty is causing concern and fear in some families.

Council Report



Date: May 3, 2022 File No: 0550-20
To: Donny van Dyk, Chief Administrative Officer
From: Angie Collison, Corporate Officer
Subject: **Appointment of Chief Election Officer and Deputy Chief Election Officers**

Staff Recommendation

THAT Council appoint Angie Collison as the Chief Election Officer for the 2022 General Local Election;
 AND THAT Council appoint Laurie Darcus and Paula McKinnon as Deputy Chief Election Officers for the 2022 General Local Election.

Strategic priority objective

Mission: Penticton will serve its residents, businesses and visitors through good governance, partnership and the provision of effective and community focused services.

Background

Every four years, a general local election is held on the third Saturday in October. For each election, Council is required to appoint a Chief and Deputy Chief Election Officers in accordance with section 58 of the *Local Government Act*.

Local government and school board elections in B.C. are not run by one single entity. Elections BC is one of several authorities that play a role in general local elections.

All candidates in local elections must abide by the campaign financing and election advertising rules under the *Local Elections Campaign Financing Act*, which include campaign period expense limits, contribution limits, election advertising rules and disclosure rules.

If you would like to know more about...	Contact
Nomination Process	Chief Election Officer
Voting and ballots	Chief Election Officer
Advertising rules	Elections BC
Campaign financing and disclosure rules	Elections BC
School trustees/School Board elections	Ministry of Education
Legislation for local elections	Ministry of Municipal Affairs
Publication of election results and other election data (current and historic)	CivicInfo BC

The City of Penticton website will be updated regularly with information for candidates and electors. The province has a variety of resources on their website for anyone who is considering running for local office.

Here are a few dates of interest:

August 30 – September 9	Nomination Period
September 17 – October 15	Campaign Period
October 5, 8, 13	Advance Voting Opportunities at the Penticton Trade and Convention Centre
Saturday, October 15	General Voting Day at the PTCC or Seniors’ Drop In-Centre
November 1	Inaugural Meeting

Financial implication

The budget for the 2022 General Election is \$175,000.

Alternate recommendations

Council may select other individuals to fill these roles.

Attachments

Attachment A – Section 58 and 59 of the *Local Government Act*

Respectfully submitted,

Angie Collison
Corporate Officer

Concurrence

Director of Finance and Administration <i>AMC</i>	Acting Chief Administrative Officer KD
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Attachment A

Appointment of election officials

58. (1) For the purposes of conducting an election, the local government must appoint a chief election officer and a deputy chief election officer.
- (2) The chief election officer must appoint election officials required for the administration and conduct of the election.
- (3) Without limiting the generality of subsection (2), the chief election officer must appoint the following:
- (a) presiding election officials for election proceedings where the chief election officer is not acting as presiding election official;
 - (b) election officials to act as alternate presiding election officials for election proceedings;
 - (c) election officials required to assist the presiding election official at election proceedings.
- (4) The chief election officer may delegate the authority under subsection (3) (c) to the presiding election official for the election proceedings.
- (5) The chief election officer may appoint peace officers as election officials to assist presiding election officials in fulfilling their duty to maintain peace and order at the election proceedings for which they are responsible.
- (6) If an election official is absent or unable to act, a person appointed as deputy chief election officer or appointed under this section as alternate for the official must perform the duties and has the powers of the official.
- (7) A candidate, candidate representative or financial agent may not be appointed as an election official.
- (8) Before assuming duties, an election official must make a solemn declaration that the person
- (a) will faithfully and impartially exercise the powers and perform the duties of the position to which the election official is appointed,
 - (b) has not received and will not accept any inducement
 - (i) to exercise the powers or perform the duties of the position otherwise than impartially and in accordance with this Act, or
 - (ii) to otherwise subvert the election,
 - (c) will preserve the secrecy of the ballot in accordance with section 123 [*voting to be by secret ballot*], and
 - (d) is not and will not become a candidate, candidate representative or financial agent while holding the position of an election official.

RS2015-1-58 (B.C. Reg. 257/2015).

Chief election officer duties and powers

59. (1) In addition to all other duties established by this Part and the *Local Elections Campaign Financing Act*, the chief election officer must do the following:
- (a) ensure that a sufficient number of ballots are prepared for an election by voting;
 - (b) ensure that each voting place
 - (i) is supplied with sufficient numbers of ballots, ballot boxes and voting books, and
 - (ii) has an area that may be used as a voting compartment;
 - (c) take all reasonable precautions to ensure that a person does not vote more than once in an election;
 - (d) do all other things necessary for the conduct of an election in accordance with this Part, the *Local Elections Campaign Financing Act* and any bylaws and regulations under this Part or that Act.
- (2) In addition to all other powers given by this Part, the chief election officer may do one or more of the following:
- (a) exercise any power conferred on a presiding election official in relation to the election proceedings for which the presiding election official is responsible;
 - (b) as an exception to the restrictions on where an elector may vote when municipal voting divisions are established, authorize an election official to vote at the voting place at which the official is working;
 - (c) take solemn declarations where these are required under this Part or the *Local Elections Campaign Financing Act*;
 - (d) delegate to other election officials the chief election officer's duties and powers under this Part or the *Local Elections Campaign Financing Act*, subject to any restrictions or conditions specified by the chief election officer;
 - (e) apply to the minister for an order under section 167 [*ministerial orders in special circumstances*] of this Act or section 99 [*ministerial orders in special circumstances*] of the *Local Elections Campaign Financing Act*.
- RS2015-1-59 (B.C. Reg. 257/2015).

Council Report

penticton.ca

Date: May 3, 2022
To: Donny van Dyk, Chief Administrative Officer
From: Angie Collison, Corporate Officer
Subject: Council and Committee 2022 meeting schedule

File No: 0550-20

Staff Recommendation

THAT Council revise the 2022 Regular Council meeting schedule as follows: add a meeting on September 6; remove meeting of September 20; remove meeting of October 4; and add a meeting on October 18;

AND THAT the term for all Council Advisory Committees end August 31, 2022.

Strategic priority objective

Mission: Penticton will serve its residents, businesses and visitors through good governance, partnership and the provision of effective and community focused services.

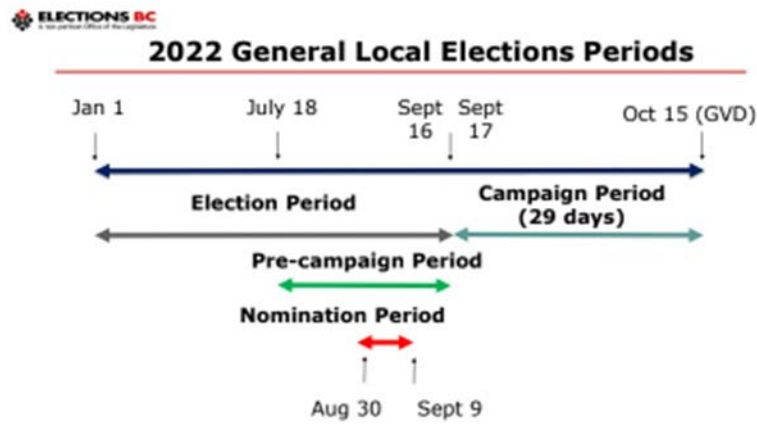
Background

Council establishes annually, by resolution, a schedule of regular meetings. In accordance with section 127 of the *Community Charter*, the notice of Council meetings is published in the newspaper and on the City's website and bulletin board. Council may by resolution cancel or reschedule any regular meeting. The Council Procedure Bylaw indicates that where revisions are necessary to the annual schedule of regular Council meetings, the Corporate Officer must, as soon as possible, post a notice indicating any revisions.

The General Local Election is taking place on October 15, 2022, as such, staff are suggesting a revision to the 2022 meeting schedule moving the Council meetings outside of the campaign period.

As per the Council Procedure Bylaw, Council may establish and appoint advisory committees to consider and make recommendations on matters set out in the committee's terms of reference or matters referred by Council and to report their findings to Council. This Council's term ends in October and the newly elected Council will be sworn in on November 1, 2022. Ending the advisory committee term in August means any recommendations will be considered by this Council in September. Strategic Planning sessions are being arranged for early November 2022. It is anticipated that once direction is set, committees that align with Council's priorities will be established.

The following image (provided by Elections BC) shows the 2022 election, pre-campaign, campaign and nomination period for 2022.



There are a number of scheduled events and dates that Council and any prospective candidate may want to mark and note in their calendars, provided in Attachment A.

Alternate recommendations

Council may decide to leave the 2022 regular meeting schedule as it is and make no changes at this time.

Attachments

Attachment A – 2022 and 2023 Calendar

Respectfully submitted,

Angie Collison
Corporate Officer

Concurrence

Director of Finance and Administration <i>AMC</i>	Acting Chief Administrative Officer KD
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2022 Meeting Schedule

January 22						
Su	Mo	Tu	We	Th	Fr	Sa
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30	31					

February 22						
Su	Mo	Tu	We	Th	Fr	Sa
		1	2	3	4	5
6	7	8	9	10	11	12
13	14	15	16	17	18	19
20	21	22	23	24	25	26
27	28					

March 22						
Su	Mo	Tu	We	Th	Fr	Sa
		1	2	3	4	5
6	7	8	9	10	11	12
13	14	15	16	17	18	19
20	21	22	23	24	25	26
27	28	29	30	31		

April 22						
Su	Mo	Tu	We	Th	Fr	Sa
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30

May 22						
Su	Mo	Tu	We	Th	Fr	Sa
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31				

June 22						
Su	Mo	Tu	We	Th	Fr	Sa
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30		

July 22						
Su	Mo	Tu	We	Th	Fr	Sa
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30
31						

August 22						
Su	Mo	Tu	We	Th	Fr	Sa
	1	2	3	4	5	6
7	8	9	10	11	12	13
14	15	16	17	18	19	20
21	22	23	24	25	26	27
28	29	30	31			










September 22						
Su	Mo	Tu	We	Th	Fr	Sa
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11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	

October 22						
Su	Mo	Tu	We	Th	Fr	Sa
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9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30	31					

November 22						
Su	Mo	Tu	We	Th	Fr	Sa
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13	14	15	16	17	18	19
20	21	22	23	24	25	26
27	28	29	30			

December 22						
Su	Mo	Tu	We	Th	Fr	Sa
				1	2	3
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	31

Legend

-  Weekend/Stat
-  Holiday closure
-  SILGA/FCM/UBCM
-  Council meeting
-  General Voting Day
-  Council Orientation and Strategic Planning
-  Inaugural
-  Advance Voting
-  Budget Deliberations



2023 Meeting Schedule

January 23						
Su	Mo	Tu	We	Th	Fr	Sa
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31				

February 23						
Su	Mo	Tu	We	Th	Fr	Sa
			1	2	3	4
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12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28				

March 23						
Su	Mo	Tu	We	Th	Fr	Sa
			1	2	3	4
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12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30	31	

April 23						
Su	Mo	Tu	We	Th	Fr	Sa
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30						

May 23						
Su	Mo	Tu	We	Th	Fr	Sa
	1	2	3	4	5	6
7	8	9	10	11	12	13
14	15	16	17	18	19	20
21	22	23	24	25	26	27
28	29	30	31			

June 23						
Su	Mo	Tu	We	Th	Fr	Sa
				1	2	3
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	

July 23						
Su	Mo	Tu	We	Th	Fr	Sa
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30	31					

August 23						
Su	Mo	Tu	We	Th	Fr	Sa
		1	2	3	4	5
6	7	8	9	10	11	12
13	14	15	16	17	18	19
20	21	22	23	24	25	26
27	28	29	30	31		










September 23						
Su	Mo	Tu	We	Th	Fr	Sa
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3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30

October 23						
Su	Mo	Tu	We	Th	Fr	Sa
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31				

November 23						
Su	Mo	Tu	We	Th	Fr	Sa
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30		

December 23						
Su	Mo	Tu	We	Th	Fr	Sa
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30
31						

Legend

-  Weekend/Stat
-  Holiday closure
-  SILGA/FCM/UBCM
-  Council meeting
-  General Voting Day
-  Council Orientation and Strategic Planning
-  Inaugural
-  Advance Voting
-  Budget Deliberations

Council Report

penticton.ca

Date: May 3, 2022
To: Donny van Dyk, Chief Administrative Officer
From: Angie Collison, Corporate Officer
Subject: **Council Procedure Amendment Bylaw No. 2022-18**

File No: 0550-20

Staff Recommendation

THAT Council give first, second and third reading to "Council Procedure Amendment Bylaw No. 2022-18".

Strategic priority objective

Mission: Penticton will serve its residents, businesses and visitors through good governance, partnership and the provision of effective and community focused services.

Background

Municipal Councils are legislatively required to have an adopted procedure bylaw that establishes procedures for Council and Committee meetings. Procedure bylaws include rules on how meetings are conducted, how decisions are made and recorded, and notice of Council meetings.

Council Procedure Amendment Bylaw No. 2022-18 proposes to streamline processes, and to improve the language and provide clarity to four different sections: Time and location of meetings; Notice of Council Meetings; Designation of member to act in place of Mayor; and Notice of Motion process. Before the bylaw is adopted, a notice describing the proposed changes must be published in accordance with section 94 of the *Community Charter*.

Section 5: Time and location of meetings

Before:

5. (2) (d) when such meeting falls on a statutory holiday, be held on the next day City Hall is open following which is not a statutory holiday.

Now:

5. (2) (d) when such meeting falls on a week of a statutory holiday, be cancelled or held on a different week.

Section 6: Notice of Council Meetings

Before:

6. (1) In accordance with section 127 of the *Community Charter [notice of council meetings]*, Council must approve annually on or before January 30th a schedule of the dates, times and places of regular Council meetings and must make the schedule available to the public including posting it at the Public Notice Posting Places.

(2) In accordance with section 127 of the *Community Charter [notice of council meetings]*, Council must give notice annually on or before January 30th of the time and duration that the schedule of regular Council meetings will be available in accordance with section 94 of the *Community Charter*.

Now:

6. (1) As required under Section 127 of the *Community Charter*, Council will annually adopt, on or before December 31, a schedule of dates, times and places of regular Council meetings for the following year and make the schedule available to the public by posting it at the Public Notice Posting Places and by publishing it in accordance with Section 94 of the *Community Charter*.

Section 11: Designation of Member to Act in Place of Mayor

Before:

11. (1) Annually, in December, Council must from amongst its members designate Councillors to serve on a rotating basis as the member responsible for acting in the place of the Mayor when the Mayor is absent or otherwise unable to act or when the office of the Mayor is vacant.

(2) Each Councillor designated under section 11(1) must fulfill the responsibilities of the Mayor in his or her absence.

(3) If both the Mayor and the member designated under section 11(1) are absent from the Council meeting, the Council members present must choose a Councillor to preside at the Council meeting.

(4) The member designated under section 11(1) or chosen under section 11(3) has the same powers and duties as the Mayor in relation to the applicable matter.

Now:

11. (1) At the inaugural meeting, Council from among its members will designate Councillors to serve on a monthly rotating basis as the member responsible for acting in the place of the Mayor when the Mayor is absent or otherwise unable to act or when the office of Mayor is vacant.

(2) The table below will be utilized to determine which Council member will be the Acting Mayor. If the Councillor designated as number 1 in the month is unavailable, number 2 will act in the Mayor’s absence and so on. The order will remain for the four year term unless a change is made by a resolution of Council.

Acting Mayor	November May	December June	January July	February August	March September	April October
Highest votes received at the General Election	1	6	5	4	3	2
Second highest votes	2	1	6	5	4	3
Third highest votes	3	2	1	6	5	4
Fourth highest votes	4	3	2	1	6	5
Fifth highest votes	5	4	3	2	1	6
Sixth highest votes	6	5	4	3	2	1

(3) The member designated as Acting Mayor has the same powers and duties as the Mayor in relation to the applicable matter.

- (4) When possible, the Mayor will notify the Corporate Officer when the Acting Mayor will be required to serve as Mayor.

Section 30: Motions generally

Before:

(6) Notice of Motion Process: Members may give notice of motion respecting an item which the Councillor intends to present by giving a copy of such motion to the Corporate Officer during a meeting of Council and upon the member being acknowledged by the Chair and the Notice of motion being read. Alternatively, the member may submit the notice of motion ahead of time to the Corporate Officer who will circulate to the rest of Council if time permits prior to the meeting.

A copy of the motion may be distributed to each member of Council and shall appear in the minutes of meeting referred to in Section 30 (6) above as a notice of motion. The Corporate Officer shall place the motion and any supporting materials, which the member presenting the motion should provide, on the agenda of the next Council meeting or other future meeting designated by the member bringing forward the notice of motion for consideration.

Now:

30. (6) Notice of Motion Process:

- (a) A notice of motion, if forwarded to the Corporate Officer prior to the Council agenda deadline, will be placed on the upcoming Regular agenda under the heading Notice of Motion with the requesting Councillor’s name so they may introduce the motion for consideration at that time or a future meeting; or
- (b) During the Notice of Motion portion of a meeting, a member may, when acknowledged by the Chair, give notice of a motion they wish considered by Council by reading out the motion. A copy of the motion will be provided to the Corporate Officer. The motion and any relevant information provided by the member will be placed on the agenda of the next Regular Council meeting or future meeting for consideration.
- (c) If the member who submitted the motion is not in attendance at the Council meeting where the motion is brought forward, the matter will be held over until the member who submitted the motion is in attendance.

Alternate recommendations

Council may request that staff make additional changes to the Council Procedure Bylaw.

Attachments

Attachment A – Council Procedure Amendment Bylaw No. 2022-18

Respectfully submitted,

Angie Collison
Corporate Officer

<p>Director of Finance and Administration</p> <p><i>AMC</i></p>	<p>Acting Chief Administrative Officer</p> <p>KD</p>
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The Corporation of the City of Penticton

Bylaw No. 2022-18

A Bylaw to amend Council Procedure Bylaw No. 2018-35

WHEREAS Section 124 of the Community Charter requires a Municipality, by bylaw, to establish general procedures to be followed by council and council committees in conducting their business;

AND WHEREAS the Council of the City of Penticton has adopted a Council Procedure Bylaw pursuant the Community Charter and wishes to amend "Council Procedure Bylaw No. 2018-35";

NOW THEREFORE BE IT RESOLVED THAT the Municipal Council of the City of Penticton in open meeting assembled, hereby ENACTS AS FOLLOWS:

1. Title:

This bylaw may be cited as "Council Procedure Amendment Bylaw No. 2022-18".

2. Amendment:

"Council Procedure Bylaw No. 2018-35" is hereby amended as follows:

- 2.1 Delete 5. (2) (d) and replace with the following: 5. (2) (d) when such meeting falls on a week of a statutory holiday, be cancelled or held on a different week.
2.2 Delete 6. (1) and 6. (2) and replace with the following: 6. (1) As required under Section 127 of the Community Charter, Council will annually adopt, on or before December 31, a schedule of dates, times and places of regular Council meetings for the following year and make the schedule available to the public by posting it at the Public Notice Posting Places and by publishing it in accordance with Section 94 of the Community Charter.
2.3 Delete 11. in its entirety and replace with the following: 11. (1) At the inaugural meeting, Council from among its members will designate Councillors to serve on a monthly rotating basis as the member responsible for acting in the place of the Mayor when the Mayor is absent or otherwise unable to act or when the office of Mayor is vacant.
(2) The table below will be utilized to determine which Council member will be the Acting Mayor. If the Councillor designated as number 1 in the month is unavailable, number 2 will act in the Mayor's absence and so on. The order will remain for the four year term unless a change is made by a resolution of Council.

Table with 7 columns: Acting Mayor, November May, December June, January July, February August, March September, April October. Rows include Highest votes received at the General Election, Second highest votes, Third highest votes, Fourth highest votes, Fifth highest votes, Sixth highest votes.

- (3) The member designated as Acting Mayor has the same powers and duties as the Mayor in relation to the applicable matter.
- (4) When possible, the Mayor will notify the Corporate Officer when the Acting Mayor will be required to serve as Mayor.

2.4 Delete and replace 30. (6) with the following: 30. (6) Notice of Motion Process:

- (a) A notice of motion, if forwarded to the Corporate Officer prior to the Council agenda deadline, will be placed on the upcoming Regular agenda under the heading Notice of Motion with the requesting Councillor's name so they may introduce the motion for consideration at that time or a future meeting; or
- (b) During the Notice of Motion portion of a meeting, a member may, when acknowledged by the Chair, give notice of a motion they wish considered by Council by reading out the motion. A copy of the motion will be provided to the Corporate Officer. The motion and any relevant information provided by the member will be placed on the agenda of the next Regular Council meeting or future meeting for consideration.
- (c) If the member who submitted the motion is not in attendance at the Council meeting where the motion is brought forward, the matter will be held over until the member who submitted the motion is in attendance.

READ A FIRST time this	day of	, 2022
READ A SECOND time this	day of	, 2022
READ A THIRD time this	day of	, 2022
ADOPTED this	day of	, 2022

Notice of intention to proceed with this bylaw was published on the ___ day of _____, 2022 and the ___ day of _____, 2022 in the Penticton newspaper, pursuant to Section 94 of the *Community Charter*.

John Vassilaki, Mayor

Angie Collison, Corporate Officer

Council Report

penticton.ca

Date: May 3, 2022
To: Donny van Dyk, Chief Administrative Officer
From: Angie Collison, Corporate Officer

File No: 0550-20

Subject: Regional District and General Appointment Policy

Staff Recommendation

THAT Council approve "CP#2022-02 Regional District and General Appointment Policy".

Strategic priority objective

Mission: Penticton will serve its residents, businesses and visitors through good governance, partnership and the provision of effective and community focused services.

Background

As per the *Local Government Act*, the appointment and term of office for municipal directors to the Regional District is made by Council from among its members. The term of office of a municipal director continues until another director takes an original director's place or November 30 in the year of a general local election. Alternate directors are also appointed by Council, take the place of, vote, and act in all matters for an absent municipal director.

The Regional District of Okanagan-Similkameen (RDOS) is governed by a board comprised of nine electoral area directors and ten municipal directors. Currently, Council can appoint four municipal directors to the board to represent the City of Penticton. However, as the City of Penticton population has increased, an additional director position is expected to be added in the New Year.

Regional district board of directors make decisions by voting. There are two types of votes: weighted votes (board directors representing densely populated areas have more votes than those board members representing less densely populated areas) or unweighted votes (each director on the board has one vote). In general, region-wide issues are decided by unweighted voting while budgetary matters are decided using a weighted vote. Each municipal director is assigned a specific number of votes.

There is currently no policy on how board appointments are made. For clarity, and to formalize this process going forward, a draft policy has been prepared.

Analysis

The proposed draft policy is included as Attachment A. Under the proposed policy, at the inaugural meeting of Council following the general local election, Council will pass a resolution appointing the Mayor and those with the highest votes received as municipal directors to the Regional District of Okanagan Similkameen Board.

Alternate recommendations

Council may decide to make additional changes to the policy before approval.

Attachments

Attachment A – CP#2022-02 Regional District and General Appointment Policy

Respectfully submitted,

Angie Collison
Corporate Officer

Concurrence

Director of Finance and Administration <i>AMC</i>	Acting Chief Administrative Officer KD
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Category: CORPORATE

Subject: Regional District and General Appointment Policy

Purpose

The objective of this policy is to outline how a member of Council is appointed to the Regional District of Okanagan Similkameen Board or other outside agency.

Scope

This policy applies to the elected officials of the City of Penticton.

Municipal Directors on the Regional District of Okanagan Similkameen Board

1. At the Inaugural Meeting of Council following the General Local Election, Council will pass a resolution and appoint members as municipal directors to the Regional District of Okanagan Similkameen Board.
2. The Mayor will be appointed as a municipal director to the Regional District Board and have the highest vote distribution¹.
3. The determination of who from Council will be appointed will be made by putting forward the name of the elected official who received the highest number of votes at the General Local Election.
4. The elected official with the highest number of votes will also have the highest vote distribution.
5. The elected official with the next highest number of votes will be selected and so on until all the available municipal director positions are filled.
6. The remaining members of Council will be appointed as alternate directors in order of highest number of votes.
7. If the seat of the municipal director becomes vacant for any reason, the first alternate director will become the municipal director until such time as Council appoints a new municipal director.
8. The Corporate Officer will notify the Regional District of Okanagan Similkameen's Corporate Officer of the approved appointment(s) and vote distribution in writing.
9. Municipal directors will report back to Council on the work of the Regional District at the regular meetings of Council.

Appointments to Outside Agencies

1. Council may pass a resolution and appoint members as representatives to outside agencies.
2. Appointed members will report back to Council on the work of the agencies at the regular meetings of Council.

¹ Each municipal director is assigned a specific number of votes (voting unit) based on the population of the City of Penticton.

Related Policies and Legislation

Local Government Act

Approval History			
Approved by Council on:		Resolution No.:	

Certified Correct:

Angie Collison, Corporate Officer

The Corporation of the City of Penticton

Bylaw No. 2022-14

A Bylaw to Amend Zoning Bylaw 2021-01

WHEREAS the Council of the City of Penticton has adopted a Zoning Bylaw pursuant the Local Government Act;

AND WHEREAS the Council of the City of Penticton wishes to amend Zoning Bylaw No. 2021-01;

NOW THEREFORE BE IT RESOLVED that the Municipal Council of the City of Penticton, in open meeting assembled, hereby ENACTS AS FOLLOWS:

1. Title:

This bylaw may be cited for all purposes as "Zoning Amendment Bylaw No. 2022-14".

2. Amendment:

Zoning Bylaw No. 2021-01 is hereby amended as follows:


2.1 Rezone Lot 1 District Lots 202 and 250 Similkameen Division Yale District and of District Lots 1 and 4 Group 7 Similkameen Division Yale (Formerly Yale-Lytton) District Plan 8161, located at 273 Scott Avenue, from RD1 (Duplex Housing) to RM2 (Low Density Multiple Housing).

2.2 Schedule 'A' attached hereto forms part of this bylaw.

READ A FIRST time this	15 day of	March, 2022
A PUBLIC HEARING was held this	5 day of	April, 2022
READ A SECOND time this	5 day of	April, 2022
READ A THIRD time this	5 day of	April, 2022
RECEIVED the approval of the	11 day of	April, 2022
Ministry of Transportation on the		
ADOPTED this	day of	, 2022

Notice of intention to proceed with this bylaw was published on the 25 day of March, 2022 and the 30 day of March, 2022 in the Penticton newspaper, pursuant to Section 94 of the Community Charter.

Approved pursuant to section 52(3)(a) of the *Transportation Act*
 this 11th day of April, 2022



for Minister of Transportation & Infrastructure

John Vassilaki, Mayor

Angie Collison, Corporate Officer



Schedule A: Zoning Amendment Bylaw 2022-14

Date:

Signature:

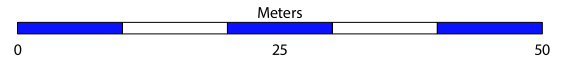


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1:720

March 9, 2022 8:48:40 AM



Coordinate System: NAD 1983 CSRS UTM Zone 11N

Bylaw No. 2022-15

A bylaw to amend the Fees and Charges Bylaw No. 2014-07

WHEREAS the Council of the City of Penticton has adopted a Fees and Charges Bylaw pursuant to the *Community Charter*,

AND WHEREAS the Council of the City of Penticton wishes to amend the “Fees and Charges Bylaw No. 2014-07”;

NOW THEREFORE BE IT RESOLVED that the Municipal Council of the City of Penticton in open meeting assembled, hereby ENACTS AS FOLLOWS:

1. **Title:**

This Bylaw may be cited as “Fees and Charges Amendment Bylaw No. 2022-15”.

2. **Amendment:**

2.1 Amend “Fees and Charges Bylaw No. 2014-07” by adding the following details to the end of Appendix 7 – Electric.

ELECTRIC	2022
Electric Vehicle Charging Stations	
Level II electric vehicle charging	First two hours are free then \$2.00 per hour

READ A FIRST time this 5 day of April, 2022
 READ A SECOND time this 5 day of April, 2022
 READ A THIRD time this 5 day of April, 2022
 ADOPTED this day of , 2022

John Vassilaki, Mayor

Angie Collison, Corporate Officer

The Corporation of the City of Penticton

Bylaw No. 2022-16

A Bylaw to Amend Zoning Bylaw 2021-01

WHEREAS the Council of the City of Penticton has adopted a Zoning Bylaw pursuant the *Local Government Act*;

AND WHEREAS the Council of the City of Penticton wishes to amend Zoning Bylaw No. 2021-01;

NOW THEREFORE BE IT RESOLVED that the Municipal Council of the City of Penticton, in open meeting assembled, hereby ENACTS AS FOLLOWS:

1. **Title:**

This bylaw may be cited for all purposes as "Zoning Amendment Bylaw No. 2022-16".

2. **Amendment:**

Zoning Bylaw No. 2021-01 is hereby amended as follows:

2.1 Rezone That Part of Lot 2 Shown on Plan B5522, District Lot 2 Group 7 Similkameen Division Yale (Formerly Yale-Lytton) District Plan 1913, located at 719 Alexander Avenue, from R2 (Small Lot Residential) to RD2 (Duplex Housing: Lane).

2.2 Add the following to 10.5.4 SITE SPECIFIC PROVISIONS:
.8 "In the case of That Part of Lot 2 Shown on Plan B5522, District Lot 2 Group 7 Similkameen Division Yale (Formerly Yale-Lytton) District Plan 1913, located at 719 Alexander Avenue, a maximum of two single detached dwelling units shall be permitted."

2.3 Schedule 'A' attached hereto forms part of this bylaw.

READ A FIRST time this	5	day of	April, 2022
A PUBLIC HEARING was held this	3	day of	May, 2022
READ A SECOND time this		day of	, 2022
READ A THIRD time this		day of	, 2022
RECEIVED the approval of the Ministry of Transportation on the		day of	, 2022
ADOPTED this		day of	, 2022

Notice of intention to proceed with this bylaw was published on the 22 day of April, 2022 and the 27 day of April, 2022 in the Penticton newspaper, pursuant to Section 94 of the *Community Charter*.

John Vassilaki, Mayor

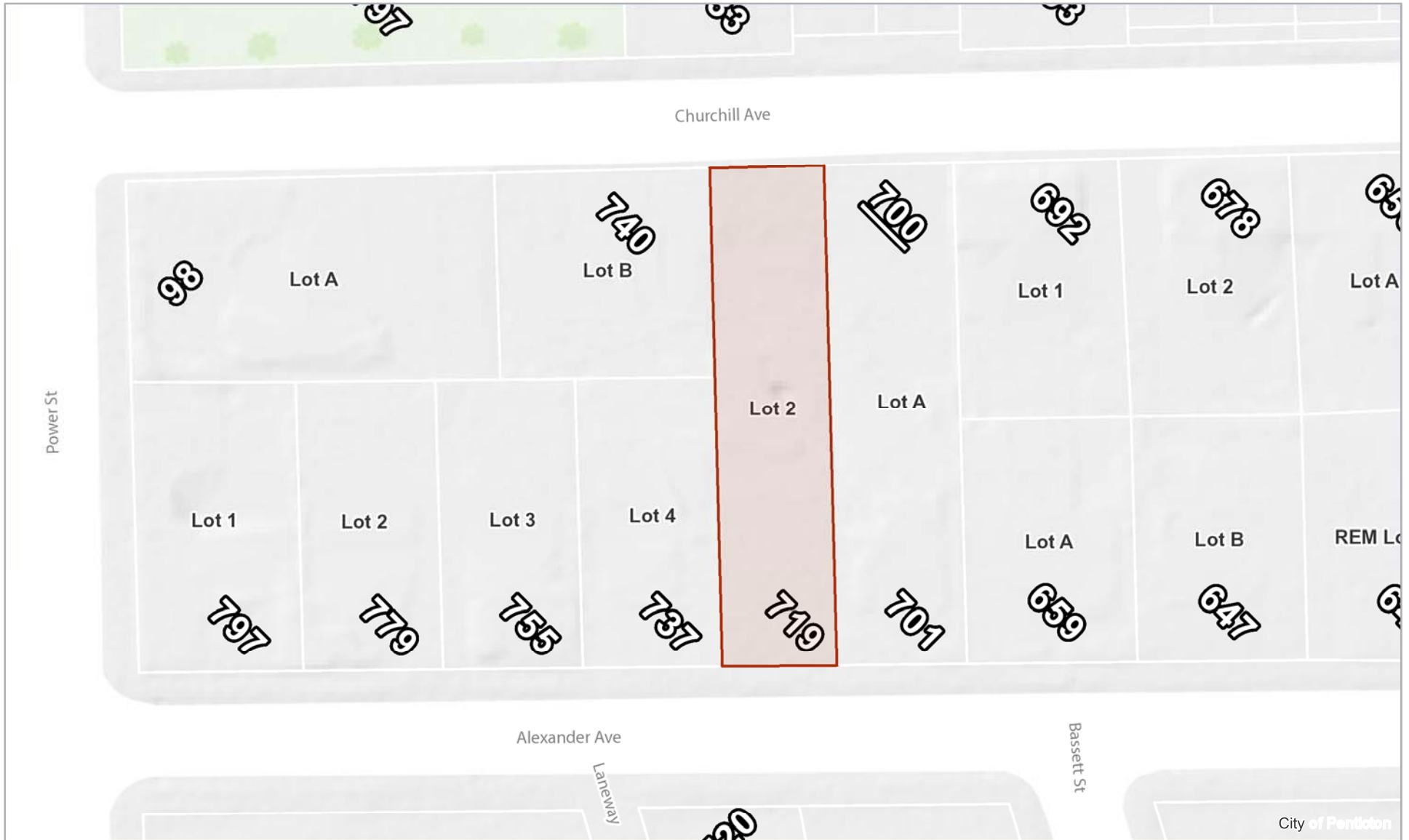
Angie Collison, Corporate Officer



Schedule A: Zoning Amendment Bylaw 2022-16

Date:

Corporate Officer:

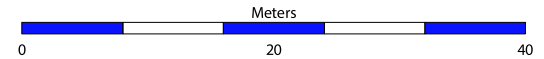


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1:600

March 29, 2022 2:18:07 PM



Coordinate System: NAD 1983 CSRS UTM Zone 11N

Date: May 3, 2022
To: Donny van Dyk, Chief Administrative Officer
From: Jordan Hallam, Planner I
Address: 200 Carmi Avenue

File No: RMS/200 Carmi Ave

Subject: Temporary Use Permit PL2022-9294

Staff Recommendation

THAT Council approve “Temporary Use Permit PL2022-9294, a permit to allow ‘General Industrial’ as a temporary permitted use, to allow the operation of recycling material drop-off site for used cans and bottles operated by Return-It as a “Express & Go Station” on Lot A District Lot 3237S Similkameen Division Yale District Plan KAP87660, located at 200 Carmi Avenue, for a three (3) year period;

AND THAT staff be directed to issue the permit.

Strategic Priority Objective

Community Vitality: The City of Penticton, guided by the Official Community Plan, will promote the economic wellbeing and vitality of the community.

Proposal

The applicant is proposing to operate a Return-It “Express & Go Station” recycling site on the subject property. This use falls under the definition of “General Industrial” as per Zoning Bylaw 2021-01. As the “General Industrial” use is not permitted in the C4 (General Commercial) zone on the subject property, the applicant has applied for a temporary use permit in order to allow the use on the property for a period of three (3) years.

Background

The subject property is located on the south side of Carmi Avenue, east of Main Street (Figure 1). The property is 30,189m² (7.46 acres) in area. The property contains buildings used as a grocery store, and a gas station. The location of the Express & Go Station is zoned C4 (General



Figure 1 – Location Map

Commercial) and is designated 'Mixed Use' by the Official Community Plan (OCP). The property is also zoned C8 (Vehicle Service Station) where the gas station is located. Surrounding land uses are primarily commercial to the south, and residential to the west and north (Attachment 'A').

The proposed use is a Return-It "Express & Go Station". The "Express & Go Station" is a self-contained, metal storage container that is an electronically operated bottle depot (Figure 2). Consumers sign up online for an account, print a label at the Express & Go station, place their empty containers in a transparent plastic bag and affix the printed label to each bag they are dropping off. The customer enters their unique PIN using the keypad to access the container to drop off their bags. The unit owner sorts and counts the containers and credits the customer's online Express account. The customer can request payment via eTransfer or cheque from their online Express account. Additional details about the proposed use are outlined in the Letter of Intent submitted by the applicant (Attachment 'D'). The applicant has applied for a three year temporary use permit to see if this is a viable location for their business. If this location is deemed successful by the applicant, they may apply for renewal of the temporary use permit, or apply for site specific zoning to permanently allow this use on the site.



Figure 2 – Express & Go Station

Technical Review

This application was reviewed by the Technical Planning Committee. No issues or comments arose during the committee meeting.

Analysis

When considering an application for a temporary use permit, the Official Community Plan has established a set of guidelines for Council and staff to follow. Temporary uses can be permitted for a maximum of three years with the possibility of one renewal of up to three additional years. The OCP contains the criteria to be considered when reviewing an application for a temporary use permit:

1. Compatibility with its Land Use Designation
2. Minimizing conflict with adjacent land uses
3. Avoiding impacts on environmentally-sensitive areas
4. Not creating significant increase in level of demand for services
5. Not permanently altering the site where it is located

Staff have reviewed the subject application with these criteria in mind. Each criterion has been addressed below:

1. Compatibility with its Land Use Designation

The property is designated 'Mixed Use' by the Official Community Plan Future Land Use Map (Attachment 'B'). This designation allows for intensive development with active and vibrant retail or service uses at ground level and multi-family residential and/or office uses. The proposed use is at ground level, offering a general industrial use and provides ample parking from the existing commercial building on the site. Council approval would be required for any renewal to the temporary use permit, which would include public notices being sent to neighbours to gather feedback on any proposed extension.

2. Minimizing conflict with adjacent land uses

The surrounding land uses are mostly General Commercial, Service Commercial, and Residential. This Temporary Use Permit does not conflict with adjacent land uses as most in the area include grocery stores, restaurants, gas stations, or residential homes. The Return-It "Express & Go Station" operates as standalone business, which offers customers a quick and easy access for recycling drop off. There are no other businesses in this area that offer this type of service. The container itself is located in the parking lot of 200 Carmi Ave, it is twenty feet in length, and will occupy three parking spaces from the existing business. Due to the size of the parking lot and location of the container, it provides distance away from other businesses and residences in the area.

3. Avoiding impacts on environmentally-sensitive areas

The property location is north of Ellis Creek, which is in the Environmental Protection zone. The proposed use is a self-contained metal storage container which is used for can and bottle recycling, located on the opposite side of the property from the creek. There should be no impact on the Environmentally Protected zone.

4. Not creating significant increase in level of demand for services

The use does not require any water or sanitary sewer services.

5. Not permanently altering the site where it is located

The use is a metal storage container that is not permanently fixed to the site, and can be easily moved or transported.

In addition to the OCP temporary use permit criteria reviewed above, staff consider the surrounding zoning of the properties. The subject property is zoned C4 (General Commercial). Surrounding commercial properties are generally zoned C7 (Service Commercial) (Attachment 'A'). The surrounding zones also do not permit 'General Industrial', therefore staff are of the opinion that this use will not compete with other businesses in the area.

Upon review of the OCP policies for temporary use permits, staff are of the opinion that this application meets the intent of the OCP temporary use permit criteria, and that allowing a recycling depot in a metal storage container as a temporary use is appropriate in this instance. Based on the reasons above, it is recommended that Council support the issuance of the temporary use permit for a three (3) year period.

Alternate Recommendations

Alternate Recommendation #1

Council may consider a one (1) year limit on the temporary use permit as a more appropriate timeline for the temporary ‘general industrial’ use. If this is the case, Council may choose to approve the permit with an amended timeline of one (1) year instead of three (3) years. Staff are recommending against this option, as the applicant has applied for a three (3) year temporary use permit to allow enough time to justify this location as successful for their business.

1. THAT Council approve “Temporary Use Permit PL2022-9294”, with an amended timeline of one (1) year.

Alternate Recommendation #2

Council may consider the requested use (‘general industrial’) to be undesirable in this location. If this is the case, Council should deny the temporary use permit. Staff are recommending against this option, as in staff’s opinion the request is in keeping with the OCP criteria for temporary use permits.

2. THAT Council deny “Temporary Use Permit PL2022-9294”.

Attachments

- Attachment A – Zoning Map
- Attachment B – Official Community Plan Map
- Attachment C – Photos of Property
- Attachment D – Letter of Intent
- Attachment E – Draft Temporary Use Permit PL2022-9294

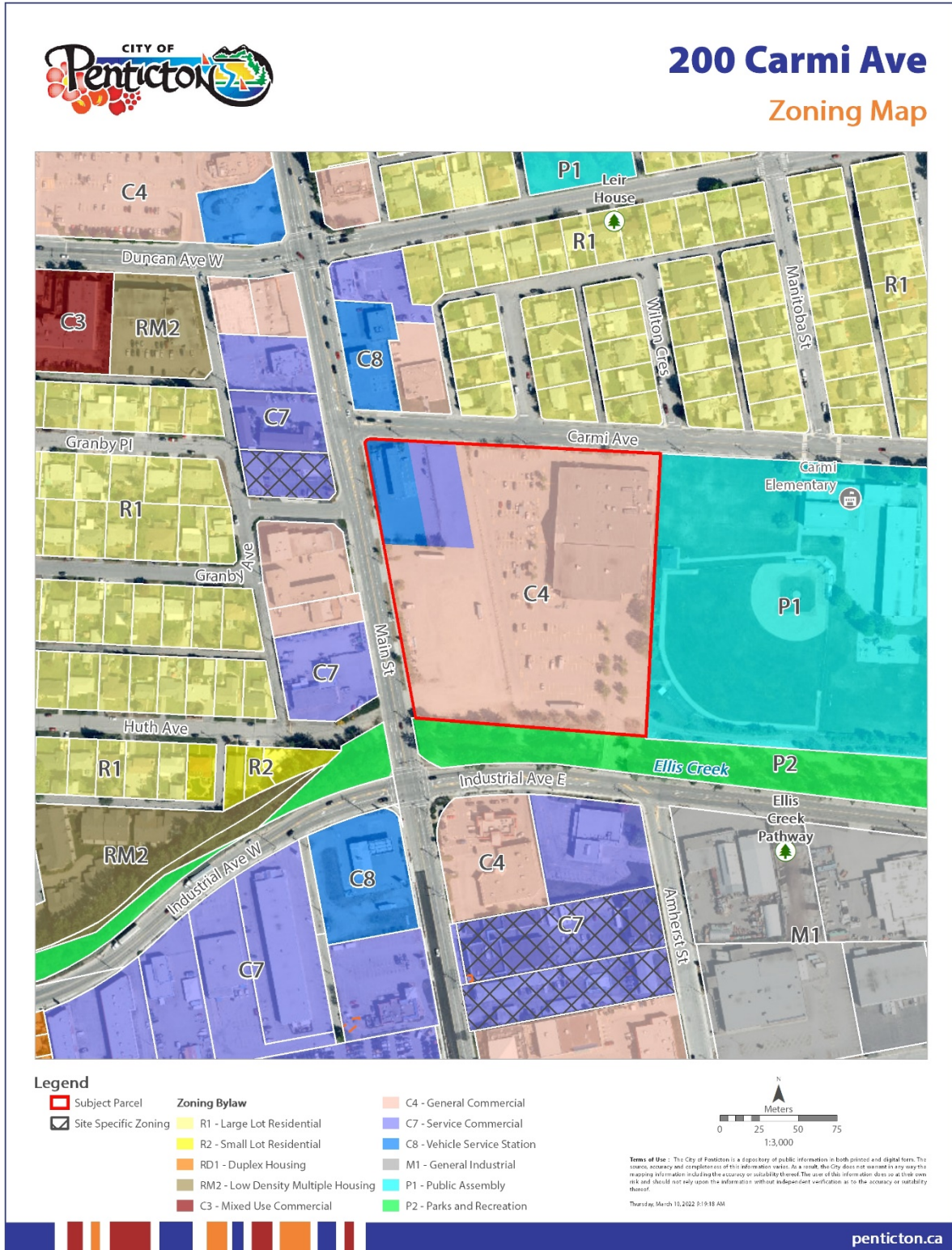
Respectfully submitted,

Jordan Hallam
Planner I

Concurrence

Director of Development Services <i>BL</i>	Acting Chief Administrative Officer <i>KD</i>
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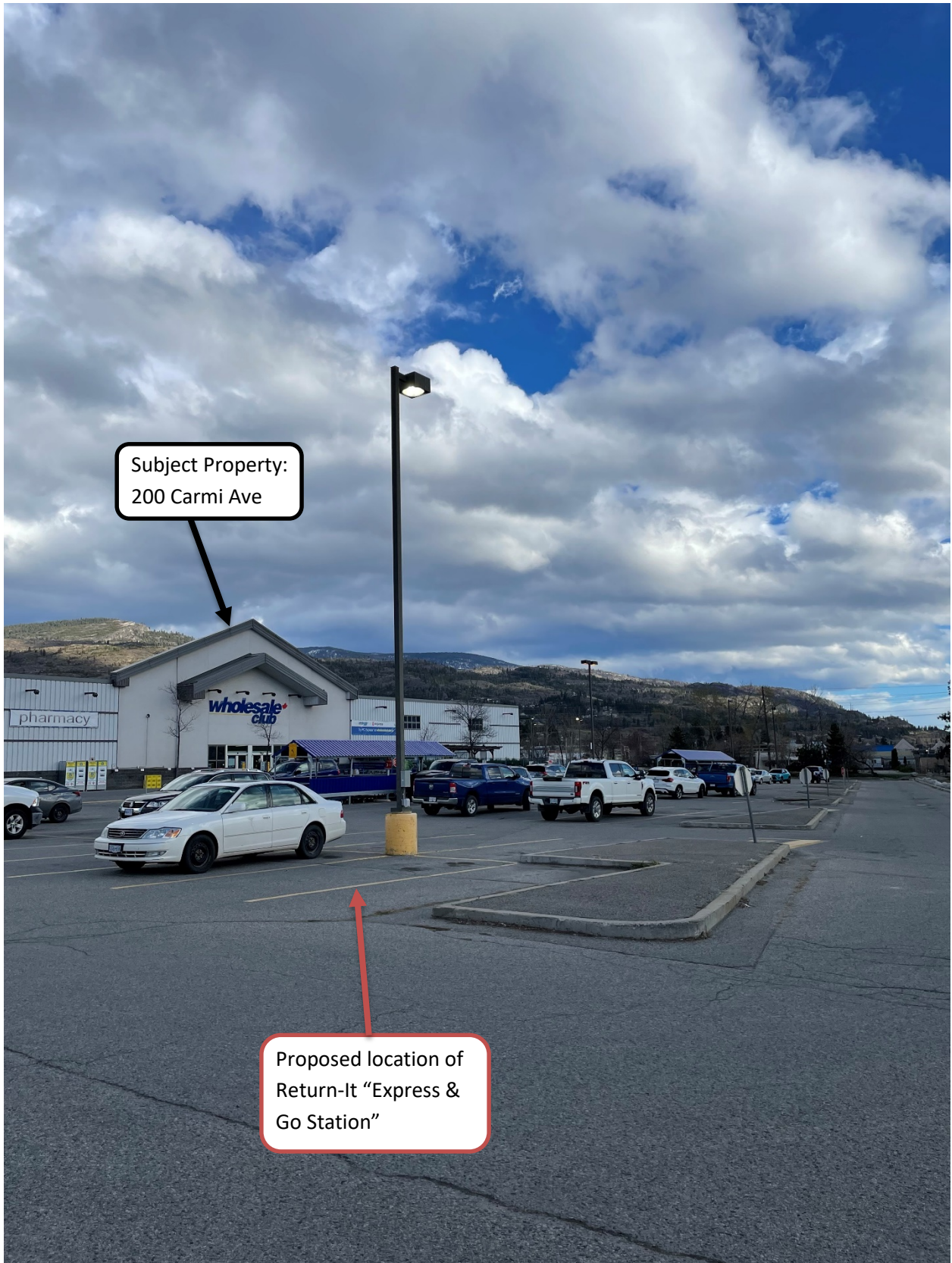
Attachment A – Zoning Map



Attachment B – Official Community Plan Map



Attachment C – Photos of Property





Subject Property:
200 Carmi Ave

Carmi Ave

Attachment D – Letter of Intent



Encorp Pacific (Canada) Express & GO Station Letter of Intent 200 Carmi Ave, Penticton, BC

Encorp Pacific, better known as Return-It, is the industry owned, not-for-profit, product stewardship Corporation with beverage container management as our core business. Return-It has over 26 years of leading extended producer responsibility performance in Canada and diverting more than 21 billion beverage containers from the landfill. Our mandate is to develop, manage and improve systems to recover used packaging and end-of-life products from consumers and ensure that they are properly recycled and do not end up in our natural environment. As the need for recycling solutions for material streams continue to grow at a rapid pace, we have been at the forefront of providing innovative solutions. Our systems include the development and implementation of methods which provide solutions to reduce waste.

The intent of this Express & GO station is to provide residents in the area with a convenient, contactless and easy recycling option for their used beverage containers. The Return-It Express & GO concept, which Return-It introduced in 2019, revolutionizes the recycling experience. This unstaffed, cashless, contactless, and solar-powered recycling station is housed in a 20-foot repurposed shipping container (see figure 1) and is one of the ways Return-It is addressing accessibility, convenience and innovating recycling. The business model for Express & GO is very different than a traditional depot experience, focused solely on ease and convenience for consumers allowing them to drop-off their used beverage containers in a fast in-and-out manner that takes about a minute in total. It also supports a growing demand and need for innovative recycling infrastructure in a wide range of communities – from large urban centres where commercial space is at a premium, to less accessible, rural locations.



Figure 1: 20ft. Express & GO station

ENCORP PACIFIC (CANADA) 100 - 4259 Canada Way, Burnaby, BC V5G 4Y2, 1.800.330.9767, 604.473.2411, return-it.ca

How does the Express system and Express & GO work?

Return-It Express is designed to be a quick and simple beverage container recycling solution that serves the community.

1. Customers sign up online for a free Return-It Express account
2. The customer prints a label at either the Express & GO station or any nearby Express kiosk terminal
3. The customer places their unsorted containers in a transparent plastic bag and affixes the printed label to each bag they are dropping off
4. The customer enters their unique PIN using the keypad to access the container to drop off their bags
5. Encorp sorts and counts the containers and credits the customer's online Express account
6. The customer can request payment via eTransfer or cheque from their online Express account

Return-It is currently operating nine Express & GO stations throughout the Province of British Columbia, including Superstore – North Vancouver, Park Royal Shopping Centre, and the University of BC and SFU campuses. This innovative model is in addition to our Express system found at Return-It depots. Within our Express program, we currently have over 199,000 registered Express users utilizing the Express system.

Hours of Operation

The Express & GO stations are open from 8 am to 8 pm, 7 days a week. It is locked after hours so Express users cannot drop off their bags.

Customer Volume and Usage

The Express & GO model is uniquely designed to appeal to Penticton residents who want a fast and convenient way to return their used beverage containers without having to go to a traditional depot. Additionally, Express is also a great way for charitable, sport or student organizations to fundraise. We have charities and non-profit organizations who will set up an Express account and provide their account information to consumers who want to direct the funds from their containers to a cause of their choice.

For our two existing containers that are most comparable to the proposed Wholesale Club parking lot at 200 Carmi Ave site (North Vancouver Superstore and Park Royal Shopping Centre), we are averaging 165,000 used beverage containers per month. In an average day we see 33 unique users use the Express & GO station and each user brings an average of 3 bags per month.

We expect the Express & GO station at Wholesale Club parking lot to be used by consumers as they commute to and from work, errands or shopping excursions where they will park at one of the provided parking spots while they quickly drop off their Express bag. We also expect those who live near the station to arrive on foot. The model reduces potential parking issues or congestion based on the quick in and out nature of the service.

Customer Experience and Security

The Express customer takes about 1 minute to print the label and drop off their bag. Customers simply “drop and go”. The efficiency of this system eliminates line-ups and the cashless system results in no loitering around the area.

The Express & GO station is equipped with security devices including internal and external cameras and an alarm system which is monitored 24/7. Unlike traditional depots that collect various recyclables beyond used beverage containers, Express & GO is single purpose and we have not experienced any issues, including loitering at our existing sites. An outside security camera further eliminates the possibility of any loitering or activity in the area. The camera provides visibility for Encorp to identify customers and communicate immediately via remote monitoring with the individual. If necessary, we can notify the authorities to respond to any incidents.

Collection and Transportation of used beverage containers

The Express & GO station is serviced by a Return-it contracted third-party transportation partner who will empty the containers from designated onsite loading areas. The frequency of pick-ups can be modified quickly based on the volume of Express bags in the container.

Power requirements and Maintenance

The Express & GO stations are powered by solar panels thus reducing the use of electricity. They use minimal power during the winter months. There is a contracted maintenance person to ensure that the station is kept clean on the outside and the transporter maintains the inside of the container. We also perform regular additional cleaning and maintenance to ensure the container is well-kept and maintained.

If you require further information or have any questions, please let us know. Encorp Pacific (Canada)
Contact Information:

Chris Campbell – Vice-President of Operations – chris.campbell@returnit.ca

Baljit Lalli – Vice-President of Corporate Communications and Stakeholder Relations – blalli@returnit.ca





Temporary Use Permit

Permit Number: TUP PL2022-9294

Owner Name
Owner Address

Conditions of Permit

1. This permit is issued subject to compliance with all of the bylaws of the City, except as specifically varied or supplemented by this Permit.
2. This permit applies to:
 - Legal: Lot A District Lot 3237S Similkameen Division Yale District Plan KAP87660
 - Civic: 200 Carmi Ave
 - PID: 027-678-717
3. This permit has been issued in accordance with Section 493 of the *Local Government Act*, to allow for the temporary use of the above noted lands for 'general industrial' to facilitate a recycling drop off metal storage container.

General Conditions

4. In accordance with Section 501 of the *Local Government Act*, the lands subject to this permit shall be developed in general accordance with this permit and the plans attached as Schedule 'A'.
5. In accordance with Section 497 of the *Local Government Act*, this permit shall expire on **May 3, 2025**.
6. **This permit is not a building permit. In order to proceed with this development, the holder of this permit must hold a valid building permit issued by the Building Inspection Department.**
7. This permit does not constitute any other municipal, provincial or federal approval. The holder of this permit is responsible to obtain any additional municipal, federal, or provincial approvals prior to commencing the development authorized by this permit.

Authorized by City Council, the 3rd day of May, 2022.

Issued this ____ day of May, 2022.

Angela Collison
Corporate Officer

From: Heidi Blaszak
Sent: Monday, April 25, 2022 9:24 PM
To: corpadmin
Subject: TUP PL 2022-9294 200 Carmi Ave Penticton, BC

We do not support the temporary use permit to operate a Return it Express and Go Station. This is not the appropriate location for this kind of business. This type of business belongs in an industrial location. This location will provide an increase in transient foot traffic increasing the vandalism in the block which has already affected our location multiple times lately.

C4 Geomatics Ltd.
Derek and Heidi Blaszak
1521 Main Street Penticton B C

LATE SUBMISSION FOR ITEM 13.1 -
200 CARMİ AVENUE

From: Jacob Woodward
Sent: Monday, May 2, 2022 7:38 AM
To: corpadmin
Subject: TUP PL 2022-9294 200 Carmi Ave Penticton BC

Follow Up Flag: Follow up
Flag Status: Flagged

Caution! This message was sent from outside your organization.

[Allow sender](#) | [Block sender](#)

We do not support the temporary land use permit to operate a Return It Express and Go station.

Having these unattended drop off location will inevitably increase loitering and vandalism in the area. Especially a Return It Express and Go which obviously has empty cans and bottles inside that can be exchanged for money will drive up vandalism.

Jacob Woodward

Council Report

penticton.ca

Date: May 3, 2022
To: Donny van Dyk, Chief Administrative Officer
From: Jordan Hallam, Planner I
Address: 152 Westminster Place
Subject: **Development Variance Permit PL2022-9252**

File No: RMS/152 Westminster PI

Staff Recommendation

THAT Council approve "Development Variance Permit PL2022-9252" for Lot 11 District Lot 3821S Similkameen Division Yale District Plan 37490, located at 152 Westminster Place, a permit to vary Section 8.2.3.5.i of Zoning Bylaw 2021-01 to increase the maximum carriage house building height in the R1 zone, where no lane exist from 5.0m and one floor, to 6.5m and two floors.

AND THAT Council direct staff to issue "Development Variance Permit PL2022-9252".

Strategic Priority Objective

Community Vitality: The City of Penticton, guided by the Official Community Plan, will promote the economic wellbeing and vitality of the community.

Proposal

The applicant is proposing to construct a two-storey carriage house (Figure 1) on the subject property. As there is no lane to the property, the Zoning Bylaw limits the carriage house height to 5.0 m and one floor. The preliminary plans submitted shows a building height of 6.43 m and two floors. As such, the applicant has requested a variance to allow the carriage house as proposed.

Carriage houses are considered within the Intensive Residential Development Permit Area, and a development permit will be required for approval of the form and character of the proposed carriage house. The Development Permit will be processed and issued by Staff should Council approve the requested variance.



Figure 1 – Proposed Carriage House

Background

The subject property is located on the south side of Westminster Place, in a primarily residential neighbourhood (Figure 2). The property currently contains a single detached dwelling, which is planned to be demolished and rebuilt. The applicants intend to build the carriage house first and live in it while they rebuild the principal dwelling. The property is designated 'Detached Residential' by the Official Community Plan (OCP) and is zoned 'R1 (Large Lot Residential)' in the Zoning Bylaw.

Carriage houses are considered within the Intensive Residential Development Permit Area in the OCP. The applicant has applied for a development permit for approval of the form and character of the proposed carriage house prior to construction. Staff have delegated authority to process the development permit, should Council approve the requested variance.

Technical Review

This application was reviewed by the Technical Planning Committee, a group of City staff from various departments who review development applications. Staff requested additional details regarding the parking space dimensions, and updating labels on plans. This information was submitted by the applicant. Building permit requirements were sent to the applicant in order to expedite the future building permit process. Staff also noted the grade and slope issues, which will be addressed through the Building Permit review process should Council approve the variance.

Development Statistics

The following table outlines the proposed development statistics on the plans submitted with the development application:



Figure 2 – Property Location Map

	Carriage House Requirement (Section 8.2)	Provided on Plans
Minimum Lot Area:	370 m ²	1,254.52 m ²
Maximum Building Footprint	90 m ²	57 m ²
Maximum Lot Coverage of carriage house:	15%	4.3%
Siting	No closer to the street than the principal dwelling	Located behind the principal dwelling
Required Setbacks		
Front Yard (north):	6.0 m	18.7 m
Side Yard (east):	1.5 m	12.1 m

Side Yard (west):	1.5 m	21.4 m
Rear Yard:	1.5 m	1.7 m
Maximum Building Height	5.0 m and one floor	6.43 m and two floors – Variance Requested
Parking:	Total Spaces Required - 3 2 – single family dwelling 1 – carriage house	Total Spaces Provided - 3 2 - single detached dwelling 1 - carriage house

Analysis

Development Variance Permit

When considering a variance to a City bylaw, staff encourage Council to consider whether approval of the variance would cause a negative impact on neighbouring properties; and, if the variance request is reasonable. Staff have reviewed the requested variance to increase the height of the carriage house to 6.5m and two floors and are recommending support for the following reasons:

1. Property location.

The proposed two-storey carriage house is located next to the KVR Trail and on a bank below Cambie Street. The elevation difference between Cambie St and Wesminster Pl is significant enough that the neighbouring properties on Cambie St would be looking down at the proposed carriage house (Figure 3). The intent of the Zoning Bylaw is to limit the height of carriage houses on properties without lanes so that the carriage house does not create a situation of ‘overlook’ into rear yard and side yards of properties that share a property line.

2. The design of the carriage house meets all other carriage house regulations of the Zoning Bylaw.

The proposed carriage house meets all other carriage house Zoning Bylaw regulations including setbacks, building footprint, and lot coverage regulations.



Figure 3 – Subject property and 1 m contour lines

3. Support from neighbours.

The applicant has provided letters of support from immediate neighbours for the proposed carriage house, including those properties on Cambie St, and Nanaimo Ave E (Figure 4). Neighbours signed letters of support, which were submitted by the applicant with their variance application. The letters of support submitted are included in Attachment 'E'.

Given the reasons above, staff consider the variance requests are reasonable in this instance. As such, staff are recommending that Council approve the variance and direct staff to issue the permit.

Should Council approve the variance, staff would proceed with processing the required Development Permit prior to construction occurring.

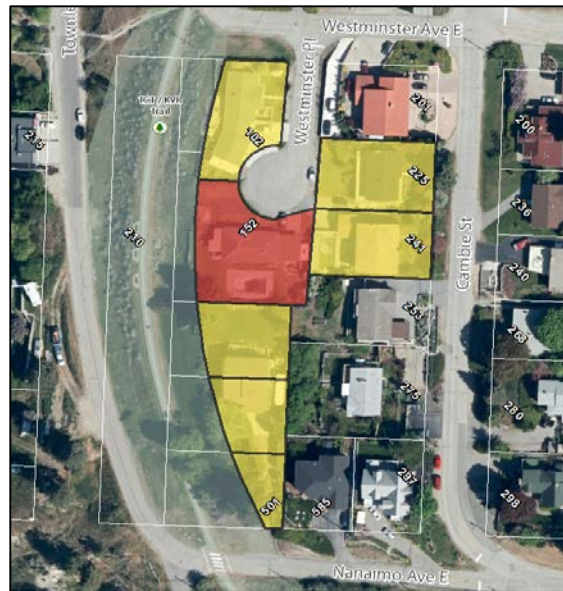


Figure 4 – Letters of support submitted by owners of four properties (yellow).

Alternate Recommendations

Council may consider the requested variance is undesirable and that the applicants should build within the Zoning Bylaw regulations. If this is the case, Council should deny “Development Variance Permit PL2022-9252”. If this decision is made, the applicant would need to update their plans to meet the Zoning Bylaw carriage house regulations, which would result in the removal of the basement. If the applicant revises their plans to meet the Zoning Bylaw regulations, staff have delegated approval authority to process the Development Permit on its own. Staff are recommending against this option, as the requested variance is considered reasonable in this instance and the letters of support from neighbours indicate there will be minimal impacts on surrounding properties.

1. THAT Council deny “Development Variance Permit PL2022-9252”.

Attachments

- Attachment A – Zoning Map
- Attachment B – Official Community Plan Map
- Attachment C – Photos of Property
- Attachment D – Letter of Intent
- Attachment E – Letters of Support from Neighbours
- Attachment F – Draft Development Variance Permit PL2022-9252

Respectfully submitted,

Jordan Hallam
Planner I

Concurrence

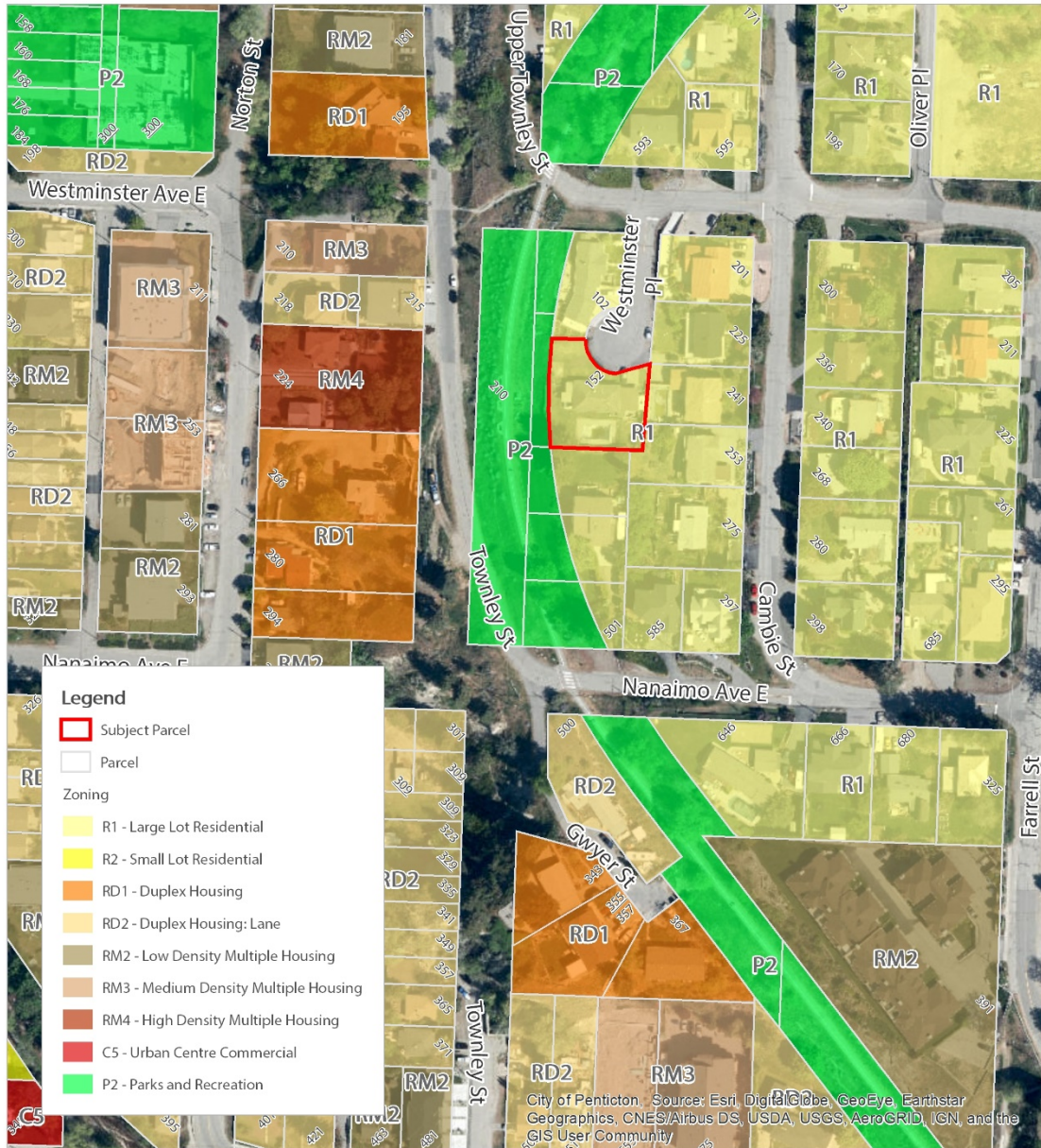
<p>Director of Development Services</p> <p><i>BL</i></p>	<p>Acting Chief Administrative Officer</p> <p>KD</p>
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Attachment A – Zoning Map

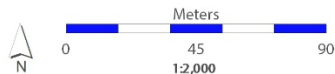


152 Westminster Place

Zoning Map



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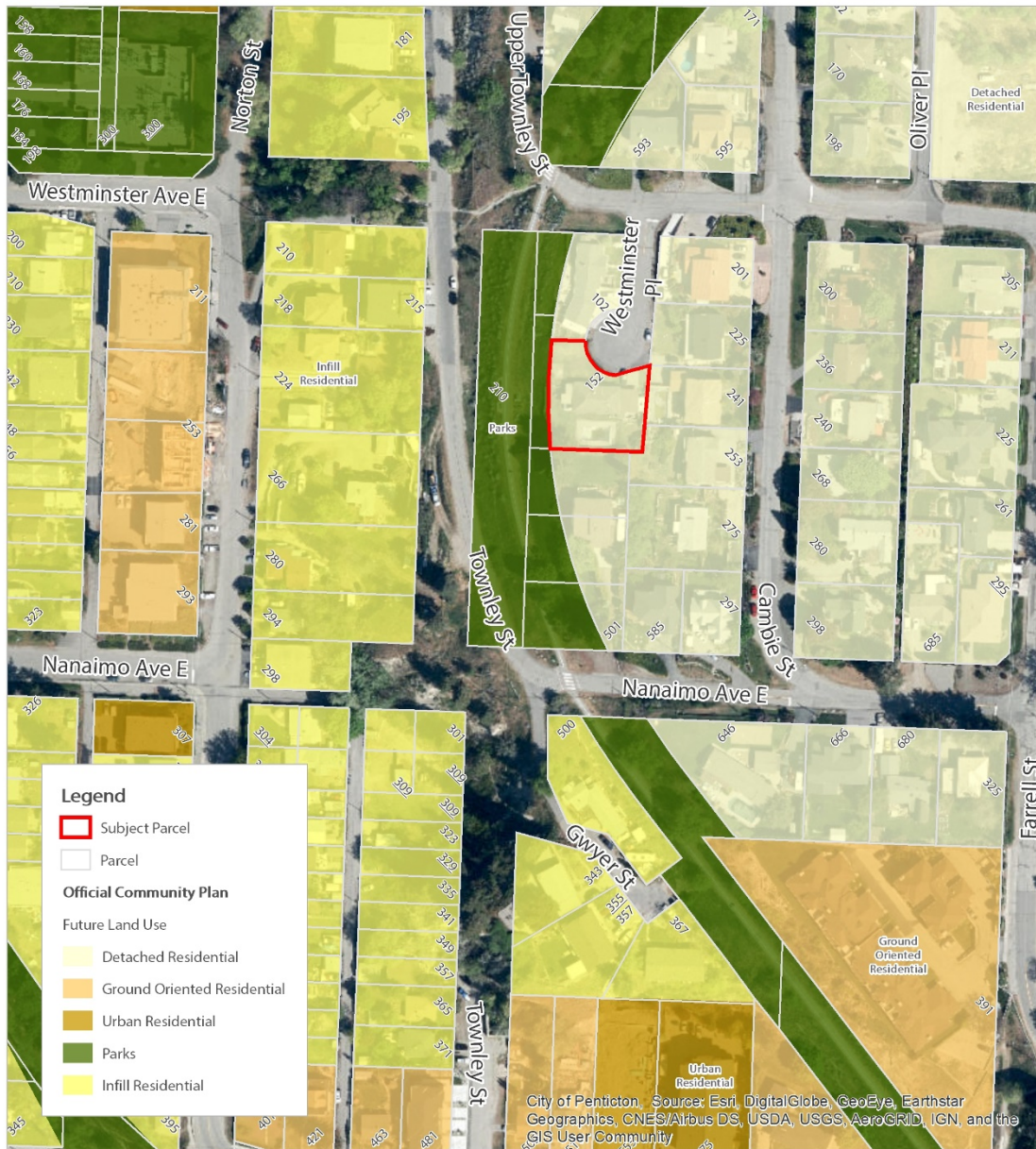
Thursday, February 3, 2022
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Attachment B – Official Community Plan Map

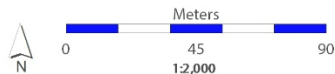


152 Westminster Place

Official Community Plan Map



Terms of Use: The City of Penticton is a depository of public information in both printed and digital form. The source, accuracy and completeness of this information varies. As a result, the City does not warrant in any way the mapping information including the accuracy or suitability thereof. The user of this information does so at their own risk and should not rely upon the information without independent verification as to the accuracy or suitability thereof.



Thursday, February 3, 2022
2:39:07 PM

Attachment C – Photos of Property



Looking south at the subject property from Westminster Place.



Looking southwest at the subject property from Westminster Place.



Proposed carriage house location

Subject Property:
152 Westminster Pl

Looking south at the subject property where the proposed carriage house will be built.

Attachment D – Letter of Intent

Letter of Intent
In Support of Request for Variance
152 Westminster Place, Penticton, BC V2A 4H1

This Letter of Intent is in support of our request for a variance to the City of Penticton Zoning Bylaw No. 2021-01, section 8.2.3.5. Our intention is to construct a two-story 2-car garage with a 587 square foot upper suite. The current zoning bylaw 2021-01 allows for a maximum height of 5.0 meters, or one story, unless such structure is built off an official city lane, or a dual frontage lot. We are requesting a variance to permit the construction of a two-story garage and suite combination on our lot with a City Statutory Right which acts very similarly to a city lane.

Our lot has a City Statutory Right of Way for the sewer main in our area that runs through the east side, and continues north through neighboring lots. Because of this, we are unable to build on the Right of Way itself, or the ten feet east of the Right of Way to the lot line, creating an unofficial lane that would be 30' wide. Due to this, we keep in line with the City's Official Community Plan creating a degree of separation between the structure and neighboring properties, maintaining emergency access to the suite, and ample parking that will not impact neighbors.

The design of the Carriage House was done specifically keeping our neighbors' privacy at the forefront. The structure was designed without south facing windows, and any east facing windows will either be frosted or high enough as to not allow view access to neighboring lots, or into our suite.

We have spoken to most of our immediate neighbors who have all expressed approval of the project and are willing to write to the City in support of our project.

Upon completion of this project, ideally, we would move into the suite while we tear down the existing house on the lot and rebuild. Once construction is complete on the main house, we would place the carriage house on the long-term rental market, all the while not taking from the current inventory during construction of the main structure. Further, the loss of the garage space, in the event we are not successful in our variance request, will have a detrimental impact on a local business that has been operating in the City of Penticton for 60 plus years as that business currently has part of its operations in our existing garage.

We thank you for your time and consideration.

Respectfully submitted,



Jaclyn Cunsolo



Aaron Cunsolo

Attachment E – Letters of Support from Neighbours

February 13, 2022

City of Penticton
171 Main Street
Penticton, BC V2A 5A9

Attn: Development and Planning

**Re: Variance Application and Development Permit
for 152 Westminster Place Penticton, BC**

As owner of the property adjacent to 152 Westminster Place, I am writing to express my support for the development and variance application proposed at 152 Westminster Place. I have viewed their plans and feel that this redevelopment would be an asset to our neighborhood.

Sincerely yours,



Ronald little
501 Nanaimo Ave East
Penticton BC. V2A 1M8



225 Cambie Street
Penticton, BC
V2A 4G9

February 12, 2022

Re: Variance Application and Development Permit for 152 Westminster Place Penticton, BC

City of Penticton
171 Main Street
Penticton, BC V2A 5A9

Attn: Development and Planning

We live at 225 Cambie Street, Penticton, BC. As property owners in the neighborhood, we are writing to inform the City of Penticton that we have no concerns regarding the proposed development and variance application for 152 Westminster Place. The owners of the property, Jaclyn and Aaron Cunsolo, have provided us with plans for the project. We fully support the city approving the development and variance application. Feel free to contact us if needed [REDACTED].

Sincerely,



Hilary March



Alexis Porte

>

From:
Francesco Cunsolo
241 Cambie Street
Penticton, BC V2A 4G9

February 14, 2022

To:
City of Penticton
171 Main Street
Penticton, BC V2A 5A9

Attn: Development and Planning

**Re: Variance Application and Development Permit for 152 Westminster Place
Penticton, BC**

As a property owner in the neighborhood, I am writing to express my support for the development and variance application proposed at 152 Westminster Place. In reviewing the proposal in great detail with the owners, Jaclyn and Aaron, it is clear that care has been taken to limit any obstruction of view from immediate neighbors. In addition, the design was strategic in addressing and limiting privacy concerns.

The development is a much welcomed addition to the neighborhood, and I look forward to seeing the completed project.

Sincerely,



Frank Cunsolo

From:
Stephen & Celeste Palmer
102 Westminster Place
Penticton, BC V2A 4H1

February 14, 2022

To:
City of Penticton
171 Main Street
Penticton, BC V2A 5A9

Attn: Development and Planning


**Re: Variance Application and Development Permit for 152 Westminster Place
Penticton, BC**

We are writing to express to you our support and approval for the above described variance and development application. We are owners of the adjacent property to the north and look forward to the completion of the project.

Sincerely,



Stephen Palmer



Celeste Palmer

Development Variance Permit

Permit Number: DVP PL2022-9252

Owner Name
Owner Address

Conditions of Permit

1. This permit is issued subject to compliance with all of the bylaws of the City, except as specifically varied or supplemented by this Permit.
2. This permit applies to:
 - Legal: Lot 5 District Lot 202 Similkameen Division Yale District Plan 13681
 - Civic: 152 Westminster Place
 - PID: 009-177-469
3. This permit has been issued in accordance with Section 498 of the *Local Government Act*, to vary the following sections of Zoning Bylaw 2021-01 to allow for the construction of a carriage house, as shown in the plans attached in Schedule 'A':
 - a. Section 8.2.3.5.ii: to increase the maximum carriage house building height in the R1 zone, where no lane exist from 5.0m and one floor to 6.5m and two floors.

General Conditions

4. In accordance with Section 501 of the *Local Government Act*, the lands subject to this permit shall be developed in general accordance with this permit and the plans attached as Schedule 'A'.
5. In accordance with Section 504 of the *Local Government Act*, if the holder of this permit does not commence the development authorized by this permit within 2 years of the date of this permit, this permit shall lapse.
6. **This permit is not a building permit. In order to proceed with this development, the holder of this permit must hold a valid building permit issued by the Building Inspection Department.**
7. This permit does not constitute any other municipal, provincial or federal approval. The holder of this permit is responsible to obtain any additional municipal, federal, or provincial approvals prior to commencing the development authorized by this permit.
8. This permit does not include off-site infrastructure costs that may be required at the building permit stage, such as Development Cost Charges (DCC's), road improvements and electrical servicing. There may be substantial infrastructure and servicing costs payable at a later date. For more information on servicing and infrastructure requirements please contact the Development Engineering Department at (250) 490-2501. For more information on electrical servicing costs, please contact the Electric Utility at (250) 490-2535.

Authorized by City Council, the 3rd day of May, 2022.

Issued this ____ day of May, 2022.

Angela Collison
Corporate Officer

DRAFT



Augmented 3D Design & Construction
210 Hastings Avenue
Penticton, BC

Designer:
Parallel 50 Construction
210 Hastings Avenue
Penticton, BC

OWNER:
Aaron and Jaclyn Cursolo
152 Westminster Pl
Penticton, BC

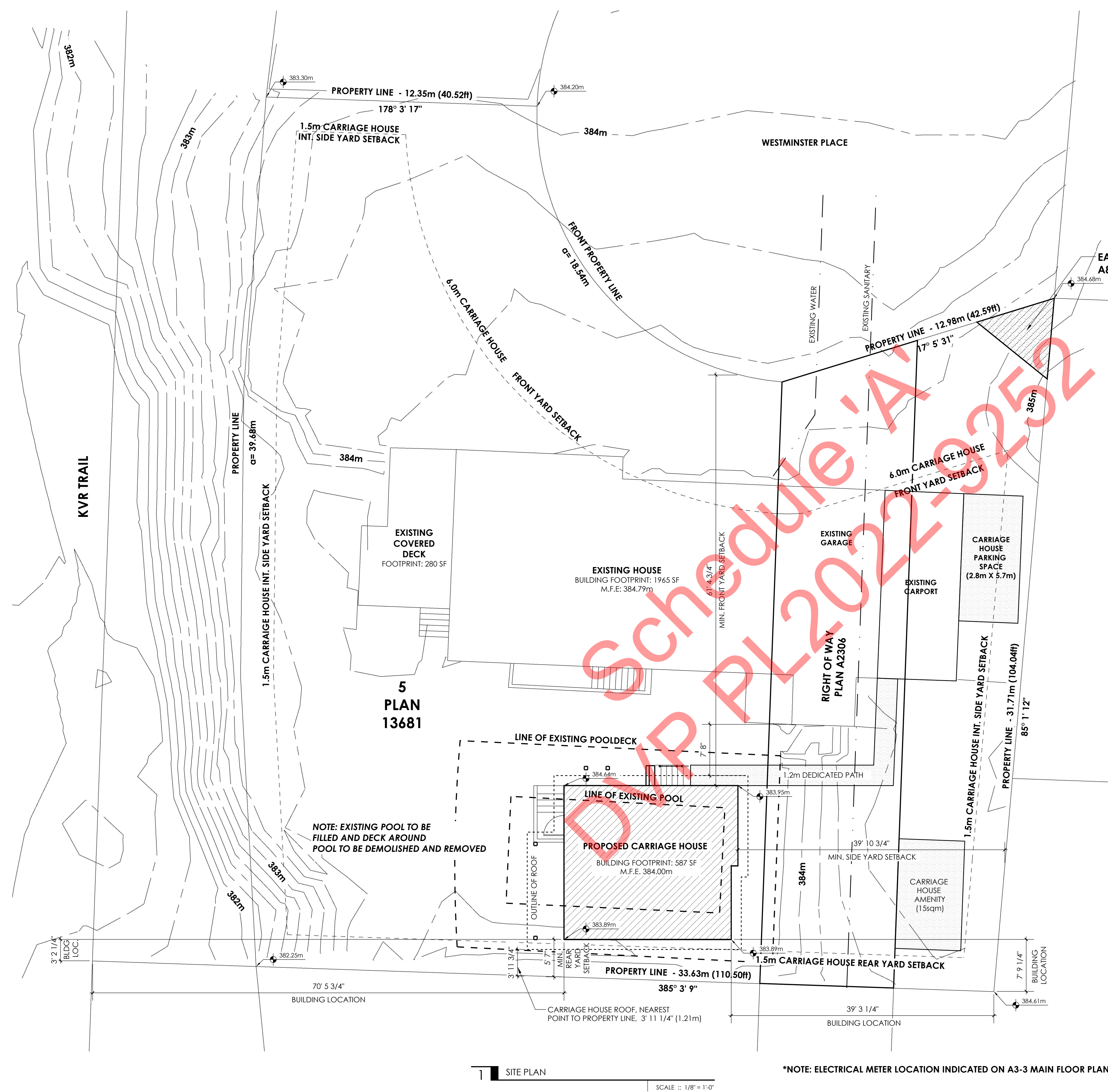
152 Westminster Pl. - Carriage House
152 Westminster Place, Penticton BC

DOCUMENT DATE:
March 10, 2022
SCALE:
AS NOTED

NO.	DATE:	ISSUE:
01	21.07.01	DESIGN FOR BP
02	21.08.20	PERMIT SET
03	22.03.10	REISSUE FOR PERMIT

A2

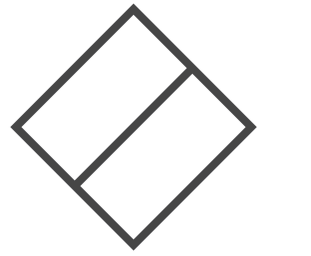
SITE PLAN



1 SITE PLAN
SCALE: 1/8" = 1'-0"

*NOTE: ELECTRICAL METER LOCATION INDICATED ON A3-3 MAIN FLOOR PLAN

ZONING LARGE LOT RESIDENTIAL R1 (ACCESSORY BUILDING/CARRIAGE HOUSE)		
	REQUIRED	PROVIDED ON PLANS
MINIMUM LOT WIDTH	16.0m (52.5ft)	33.63m (110.50ft)
MINIMUM LOT AREA	370 sqm (3982.65sqft)	1182.5sqm (12728.32sqft)
MAXIMUM LOT COVERAGE	40%	22.2%
MAXIMUM BUILDING FOOTPRINT	90 sqm (968 sqft)	54.5 sqm (587sqft)
MAXIMUM HEIGHT	5.0m (16.4ft)	6.58m (21.58ft)
MINIMUM AMENITY SPACE	15 sqm (161.5 sqft)	> 15 sqm (161.5 sqft)
MAXIMUM FLOOR AREA	135 sqm (1453 sqft)	109.1 sqm (1174 sqft)
SETBACKS:		
MINIMUM FRONT YARD	6.0m (19.7ft)	18.71m (61.40ft)
MINIMUM INTERIOR SIDE YARD	1.5m (4.92ft)	12.16m (39.90ft)
MINIMUM EXTERIOR SIDE YARD	1.5m (4.92ft)	N/A
MINIMUM REAR YARD	1.5m (4.92ft)	1.70m (5.58ft)



PARALLEL 50
CONSTRUCTION

Augmented 3D
Design & Construction

210 Hastings Avenue
Penticton, BC

152 Westminster Pl. - Carriage House

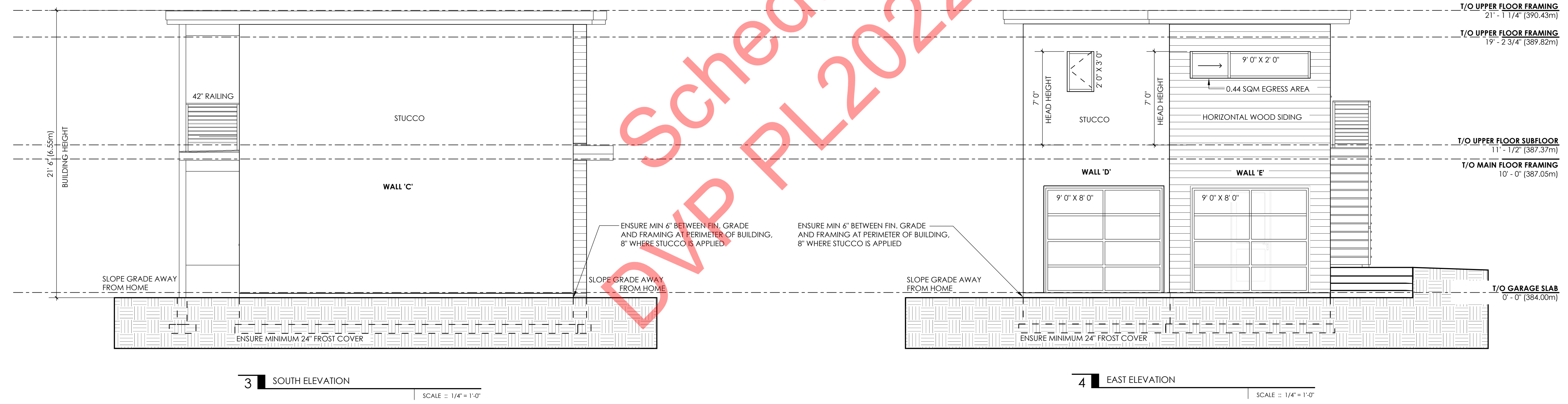
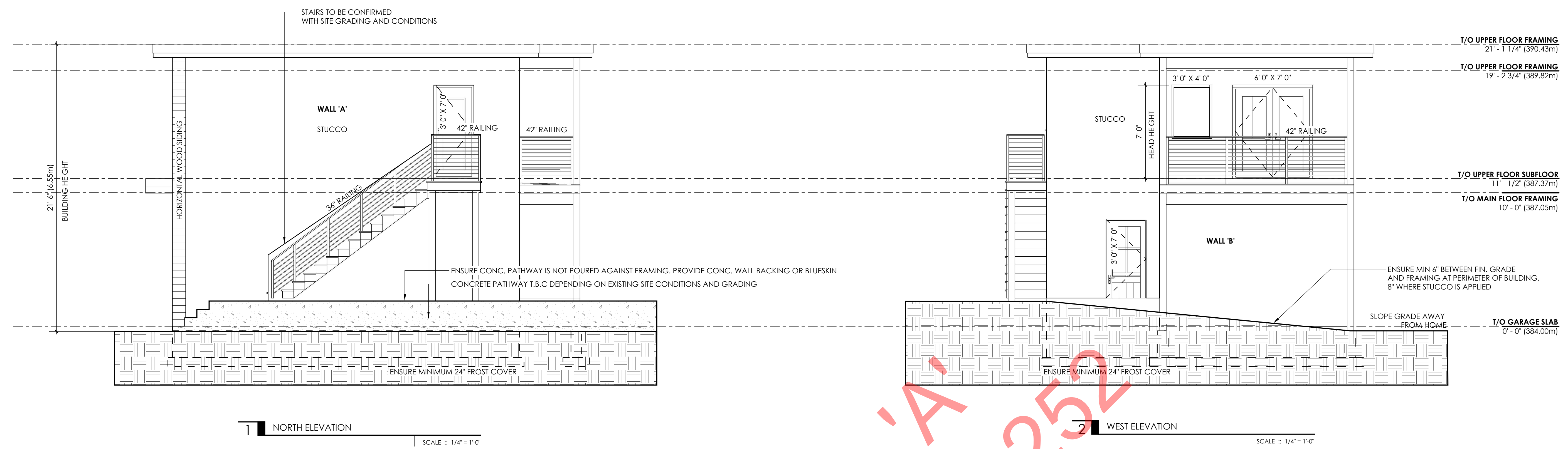
Designer:
Parallel 50 Construction
210 Hastings Avenue
Penticton, BC

OWNER:
Aaron and Jacyn Cursolo
152 Westminster Pl
Penticton, BC

152 Westminster Place, Penticton BC

DOCUMENT DATE:
March 10, 2022
SCALE:
AS NOTED

NO.	DATE:	ISSUE:
01	21.07.01	DESIGN FOR BP
02	21.08.20	PERMIT SET
03	22.03.10	REISSUE FOR PERMIT



ELEVATION MAX AREA UNPROTECTED OPENINGS 2018 BCBC TABLE 9.10.14.4.A

	AREA	LD
WALL 'A' AREA/LIMITING DISTANCE	41.3 sqm	1.21m
ALLOWABLE AREA OF UNPROTECTED OPENINGS	41.3 sqm x 7%	= 2.8 sqm
PROPOSED AREA OF UNPROTECTED OPENINGS	1.9 sqm	
WALL 'B' AREA/LIMITING DISTANCE	40.8 sqm	14.1m
ALLOWABLE AREA OF UNPROTECTED OPENINGS	40.8 sqm x 100%	= 40.8 sqm
PROPOSED AREA OF UNPROTECTED OPENINGS	7.2 sqm	

	AREA	LD
WALL 'C' AREA/LIMITING DISTANCE	44.3 sqm	1.7m
ALLOWABLE AREA OF UNPROTECTED OPENINGS	44.3 sqm x 8%	= 3.5 sqm
PROPOSED AREA OF UNPROTECTED OPENINGS	0.0 sqm	
WALL 'D' AREA/LIMITING DISTANCE	19.5 sqm	12.17m
ALLOWABLE AREA OF UNPROTECTED OPENINGS	19.5 sqm x 100%	= 19.5 sqm
PROPOSED AREA OF UNPROTECTED OPENINGS	7.2 sqm	

	AREA	LD
WALL 'E' AREA/LIMITING DISTANCE	21.3 sqm	12.16m
ALLOWABLE AREA OF UNPROTECTED OPENINGS	21.3 sqm x 100%	= 21.3 sqm
PROPOSED AREA OF UNPROTECTED OPENINGS	8.3 sqm	

NOTE: LIMITING DISTANCE FOR WALL 'A' (NORTH ELEVATION) HAS BEEN CALCULATED BASED ON A HALFWAY POINT BETWEEN THE CARRIAGE HOUSE AND THE PROPOSED PRINCIPAL DWELLINGHOUSE NOT SHOWN ON PLANS. DISTANCE BETWEEN CARRIAGE HOUSE AND PROPOSED PRINCIPAL DWELLING IS 8'1" (2.46M) THEREFORE LIMITING DISTANCE HAS BEEN TAKEN AS 1.22M (4'1")

From: Dawn Warrington
Sent: Wednesday, April 27, 2022 1:28 PM
To: corpadmin
Subject: DVP PL2022-9252; 152 Westminster Place

Dear Audrey Tanguay, regarding the public notice we received in the mail.

Concerning: property 152 Westminster Place, Penticton. We oppose if the carriage house 🏠 is two floors above ground.

If the carriage house is one level above ground, and a basement is to be one level below ground, we agree to that. There is an unused pool in the back yard of this property. Half of the work is already dug out for a basement, makes good sense to make good use of that.

Thank you,

Dawn Warrington and Roland Laplante of;
253 Cambie street, Penticton.

Sent from my iPad

LATE SUBMISSION FOR ITEM 13.2 -
152 WESTMINSTER PLACE

From: Jim Calvert
Sent: Friday, April 29, 2022 1:45 PM
To: corpadmin
Subject: Fwd:

Follow Up Flag: Follow up
Flag Status: Flagged

Caution! This message was sent from outside your organization.

[Allow sender](#) | [Block sender](#)

----- Forwarded message -----

From: Jim Calvert
Date: Fri, Apr 29, 2022 at 1:15 PM
Subject: Fwd:
To: <planning@penticton.ca>

----- Forwarded message -----

From: Jim Calvert
Date: Fri, Apr 29, 2022 at 1:02 PM
Subject:
To: <planning@penticton.ca>

DVP PL2022-9252; 152 Westminster Place

Please be advised that I am opposed to the proposed development at 152 Westminister Place. Raising the height of the building on 152 Westminister Place will eliminate the view from my property of the Okanagan lake. This will reduce the value of my property, for which I will hold the City of Penticton responsible. Accordingly I will request compensation from the City.

Jim Calvert
275 Cambie street
Penticton BC
V2A 4G9

**LATE SUBMISSION FOR ITEM 13.2 -
152 WESTMINSTER PLACE**

From: Dawn Warrington
Sent: Saturday, April 30, 2022 1:56 PM
To: corpadmin
Subject: DVP PL2022-9252; 152 Westminster Place

Follow Up Flag: Follow up
Flag Status: Flagged

This is Dawn Warrington at 253 Cambie Street, Penticton . Lot #4.

Our property is directly in line of the proposed carriage house. If the building was to be two floors above ground, it would impede our beautiful view as it is now. When we saw this house for sale in 2008, we knew we wanted to live here. We need our view not to change, it would also bring our resale price way down. Is our neighbour going to compensate us for our loss of our view?

When the old house is torn down and a new home erected in its place, it would be ok for it to be the same elevation as it is now, as we are used to the obstruction.

We still maintain that the proposed carriage house remain one story above ground. Both buildings can easily have a basement underground... If I were in the same situation I would definitely not want to impede any of my neighbours' view.

Sincerely, Dawn Warrington and Roland Laplante.

Sent from my iPad

LATE SUBMISSION FOR ITEM 13.2 -
152 WESTMINSTER PLACE

From: Dawn Warrington
Sent: Saturday, April 30, 2022 5:26 PM
To: corpadmin
Subject: DVP PL2022-9252; 152 Westminster Place

Follow Up Flag: Follow up
Flag Status: Flagged

There is another matter I would like to add to the other two letters I sent.
We are very proud of our beautiful neighborhood. My husband and I go for walks along the KVR and we pick up garbage . We enjoy what we have here, we would not like to see such a drastic change to our view. All our neighbours love the view we have off our deck. I know they enjoy their views from their homes too.
Dawn Warrington and Roland Laplante of 253 Cambie street.
Sent from my iPad

LATE SUBMISSION FOR ITEM 13.2 -
152 WESTMINSTER PLACE

201 Cambie Street
PENTICTON, BC
V2A 4G9

May 01, 2022

Attention: Corporate Officer
Development and Planning
City of Penticton
171 Main Street
Penticton, BC
V2A 5A9

Subject: DVP PL2022-9252; 152 Westminster Place

Dear Mayor and Council Members,

I am writing to express opposition to the Development Variance Permit for the property at 152 Westminster Place.

As members of the Uplands Community, we have concerns that granting this variance would be precedent setting, and will impact future building projects, ultimately changing the family community feel of our neighbourhood.

We request counsel to deny this application and maintain the existing zoning within this neighbourhood to preserve the values of our community.

Regards,

A handwritten signature in cursive script that reads "Mary Lee".

Mary Lee,
201 Cambie Street

LATE SUBMISSION FOR ITEM 13.2 -
152 WESTMINSTER PLACE

201 Cambie Street
PENTICTON, BC
V2A 4G9

May 01, 2022

Attention: Corporate Officer
Development and Planning
City of Penticton
171 Main Street
Penticton, BC
V2A 5A9

Subject: DVP PL2022-9252; 152 Westminster Place

Dear Mayor and Council Members,

I am writing to express opposition to the Development Variance Permit for the property at 152 Westminster Place.

As members of the Uplands Community, we have concerns that granting this variance would be precedent setting, and will impact future building projects, ultimately changing the family community feel of our neighbourhood.

We request counsel to deny this application and maintain the existing zoning within this neighbourhood to preserve the values of our community.

Regards,



Paul Wills,
201 Cambie Street

LATE SUBMISSION FOR ITEM 13.2 -
152 WESTMINSTER PLACE

240 Cambie Street
PENTICTON, BC
V2A 4G8

May 01, 2022

Attention: Corporate Officer
Development and Planning
City of Penticton
171 Main Street
Penticton, BC
V2A 5A9

Subject: DVP PL2022-9252; 152 Westminster Place

Dear Mayor and Council Members,

I am writing to express opposition to the Development Variance Permit for the property at 152 Westminster Place. I am located on the east side of Cambie Street, with line of sight, as you will note on the lot plan. Like a large group of members of our Uplands community, I fear that by approving a variance it will, a) promote others in front of my home to increase their elevation to recover their views in a domino effect, and b) set a precedent, resulting in rezoning approvals for higher single or multi-unit structures as we are seeing in some of the nearby locations.

1. Quality of Life

I moved my family four years ago to live and work in beautiful Penticton from another province (a lifelong dream) and chose the home that I did because of its spectacular view. The decision involved many trade-offs, including significantly lower wages for the same work, and a much higher cost of living. I paid a premium for my home, based on its view. After looking at many other lower priced homes in Penticton, the peace and serenity brought to me, day and night, by the view, was why I bought 240 Cambie Street, and continue to LOVE it, with plans to live out my life here. My purchase decision required conscious sacrifices in other areas, a trade-off I was happy to make for this dream view location.

In the four years I have lived here, I am grateful every day to those homeowners and neighbours across Cambie Street, that their homes are not built up to block the view. I fear that could occur if those homes lose their views by this and subsequent variance approvals.

2. Property Value

While I fully support the plan to enhance the property and am happy for those building in the beautiful location where the variance is requested, it will increase

the value of the property at 152 Westminster Pl. including the possibility of carriage house revenue, at the expense of property values for those of us behind it. It should be noted that based on the lot location, an increase in elevation is not needed at 152 Westminster Pl. to preserve the view as they are located on the escarpment with no buildings to the west, so flatter build options are feasible.

I request that counsel denies this application and maintains the existing zoning within this neighbourhood to preserve the family community, safeguard our peaceful views and maintain the property values for those, like me, who more recently chose to buy here – believing we would be getting what we paid for.

Regards,

A handwritten signature in black ink that reads "Joanne Standish". The signature is written in a cursive, flowing style.

Joanne Standish,
240 Cambie Street

**LATE SUBMISSION FOR ITEM 13.2 -
152 WESTMINSTER PLACE**

Attention: Corporate Officer, City Of Penticton (corpadmin@penticton.ca) May 1/22
171 Main Street Penticton V2A 5A9
Subject: DVP PL2022-9252; 152 Westminster Place

Mayor and Council Members

I am opposed to the request for a Development Variance Permit for the property at 152 Westminster Place.

We have owned this house for over fourteen years. There are many of us who are long time residents who have renovated and put time and money into their homes with the idea of staying. The unsightly development on Vancouver hill is an example of how an area can change though.

I had to ask, why city would approve this Variance and bring it to council for their stamp of approval.

And WHY would the carriage house need two parking spots, creating the need for it to be two stories. There is no lane, but there will be a driveway for the upcoming new house to be built. It is a sleepy little culdesac with neighbours parking on the road already.

According to the city they have :

“considered if the variance would cause a negative impact on neighbouring properties; and, if the variance request is reasonable.....”

Staff have reviewed the requested variance and are recommending support for the following reasons.

1. “The elevation difference between Cambie Street and Westminster Pl is significance enough that the neighbouring properties would be looking down on the carriage house.”

This is completely incorrect, the height of the two story carriage house will now have the view that will be blocked to neighbours on Nanaimo and Cambie Street.

2. “the design of the carriage house meets all other carriage house regulations.”

That should be a given fact. Should all carriage houses get a variance then?

Respectfully saying Setting the bar low on that one really!

3. “The applicant has provided letters of support from immediate neighbours, including those properties on Cambie St. and Nanaimo Ave....”

There were 4 letters of support, one of which is a direct relative living on Cambie St. These letters were dated Feb/22.

In the applicants letter he states “We have spoken to most of our immediate neighbours who have all expressed approval....” So four neighbours approve, one of which is immediate relative, one neighbour to the south with one upstairs window, the other two are north of the property.

The rest of the neighbours whom this will affect were all left out of the information sharing until the end of April. So this variance was kept quiet until less than 10 days before it goes to council.

With all of this in mind, I am requesting Council take a good look at the facts, visit our streets, view the many letters of opposition, and the over 30 names on the petition before approving this variance and consider the impact on those living around 152 Westminster.

Thank you in advance Emilie Clare, 236 Cambie Street Penticton BC

LATE SUBMISSION FOR ITEM 13.2 -
152 WESTMINSTER PLACE

268 Cambie St.
Penticton, B.C. V2A 4G8

Attention: Corporate Officer, City of Penticton
171 Main St., Penticton B.C. V2A 5A9

Subject: DVP PL2022-9252; 152 Westminster Place

Mayor and Council Members:

I am very much opposed to the request for a Development Variance Permit for the property at 152 Westminster Place.

This variance will allow a building that will impact the view of at least 5 immediate neighbours, and will set a dangerous precedent similar to what has happened in the Vancouver Hill neighbourhood. These variances, requested out of sheer greed with no consideration for existing residents, needs to stop. City Council was voted in by residents – your first priority should be to protect the majority of residents' rights.

I don't understand how any of the immediate residents could agree to this variance. I can only think they have had the wool pulled over their eyes and don't realize what a 2-storey high wall will do to their view and how a two-storey AirBnB will affect the peace and enjoyment of their home. It is fairly obvious the 'garage' in the carriage house will not be used as such – if a garage was needed one would have been built already. Besides, given the size of the lot, a garage could be adjacent to living quarters – there is no need to have it below living quarters. A one storey building is permitted by current zoning and that should be sufficient.

Additionally, I don't think the quote of Section 8.2.3.5.i in the Public Notice is correct. An additional 1.5m is not high enough for a second floor. I could not find the actual building code, but this needs to be investigated. A two-storey building is typically about 10m high, not 6.5m.

Please enforce existing zoning and do not allow the beginning of the end of our lovely neighbourhood.

Sincerely,



Lesley Chapman
Homeowner, 268 Cambie St.

LATE SUBMISSION FOR ITEM 13.2 -
152 WESTMINSTER PLACE

297 Cambie St
Penticton, BC V2A 4G9
May 2, 2022

Attention: Corporate Officer, City of Penticton
171 Main St, Penticton, BC V2A 5A9

Subject: DVP PL2022-9252; 152 Westminster Place

Mayor and Council Members,

I am opposed to the request for a Development Variance Permit for the property at 152 Westminster Place.

My wife and I moved into this neighbourhood over twenty years ago. We chose it because of the character homes and the unique views that each home has. When we renovated a few years back, we stayed within the zoning bylaws, as it was not our intention to deviate from the City plan for this neighbourhood. Even though we didn't need to, we spoke with surrounding neighbours, informed them of our plans, and made sure that our renovations would not interfere with their views or the look and feel of the neighbourhood. This has enabled us to enjoy our own view, while others continue to enjoy theirs as well. On top of that, we have maintained good relationships with our neighbours by maintaining dialogue. Other neighbours who have renovated have done the same.

Unfortunately, this application for a variance came to our knowledge only just recently and it has given us very little time to voice our opposition. A few select neighbours, who offered letters of support back in mid-February, obviously were privy to the plan, but none of us who might oppose the plan were approached or considered.

I have lived in this town, and in the vicinity of this neighbourhood, all of my life. I chose to purchase my own home in this neighbourhood, and to raise my children here, because of the character of this area. I am content to follow the existing zoning for this neighbourhood, and feel strongly that anyone living here should be asked to do the same. It sets a dangerous precedent if variances are permitted.

I understand that the plans for the property at 152 Westminster Place include a future renovation or rebuild. I do not believe the variance should be allowed, and would hope that a renovation or rebuild will consider the character of the neighbourhood and will preserve the views of all neighbours in the surrounding block.

Please vote to deny this zoning variance application.

Sincerely,



Craig Reigh
Homeowner, 297 Cambie St, Penticton, BC

LATE SUBMISSION FOR ITEM 13.2 -
152 WESTMINSTER PLACE

297 Cambie St
Penticton, BC V2A 4G9
May 2, 2022

Attention: Corporate Officer, City of Penticton
171 Main St, Penticton, BC V2A 5A9

Subject: DVP PL2022-9252; 152 Westminster Place

Mayor and Council Members,

I am opposed to the request for a Development Variance Permit for the property at 152 Westminster Place.

I, along with a number of other neighbours, would have my views directly affected were this permit to proceed. This would be most disappointing, as I have lived in this neighbourhood for over twenty years, and see no need to change the zoning for this area. I moved into this neighbourhood with the current zoning in place and the mix of character homes with lovely views is what makes this neighbourhood appealing.

We are one of the older neighbourhoods in the city, and while a number of neighbours have done renovations, we have maintained a neighbourhood of family homes with decent lot sizes and the houses are situated in such a way that most of us have lovely views. Any change to that would be most upsetting.

Also, I feel strongly that only in extreme circumstances should a variance be allowed. Zoning is put in place for good reasons, and individuals and families moving into areas should understand the zoning and be accepting of it. Allowing a variance once a neighbourhood is established undermines the quality and ambience of a neighbourhood, and alters it from what was originally intended, and from what people moving into the neighbourhood were expecting. If permits for variances are allowed, then what is stopping anyone from applying for one, which then is unfair to those who moved into a neighbourhood with the intent to live there with the current zoning in place.

I am puzzled as to why we have received notice of the request for a variance so close to the date that the City is to consider it. Letters of support written by four neighbours are dated mid-February, and yet we heard nothing until late April. Already, city staff have written up a notice recommending the City approve of the variance, and yet we as affected neighbours had no knowledge of the proceedings. My husband and I were not spoken to by the applicants, nor by anyone on City staff, who have already made a decision without consulting everyone affected.

The council report states "there will be minimal impacts on surrounding properties" but that is just not the case. No one has spoken to us about this variance on the plans. No one has come to our property to see the very visible impacts that it will have on us.

The report also states “When considering a variance to a City bylaw, staff encourage Council to consider whether approval of the variance would cause a negative impact on neighbouring properties.” Council Members, I urge you to hear from the letters and the petition you are receiving that there is a resounding “YES” there will be a negative impact—on our views, on our standards, and on our relationships as neighbours. We would welcome an opportunity to speak with you in person and have you visit our home to see for yourselves the negative impact that we are fearing.

The report also states that the “City of Penticton, guided by the Official Community Plan, will promote the economic wellbeing and vitality of the community.” These values will directly be targeted should this variance be allowed. Part of the wellbeing and vitality of our neighbourhood is that our lots consist of single-family dwellings, with decent-sized properties, and lovely views. Building directly in our view will affect our wellbeing as we greatly appreciate the view as it is now and if the variance is allowed, we will be looking right at the new building. We will not be looking “over” it as the report suggests. Please come visit us and sit on our deck if you wish to know how this is going to affect us. Also, the building is simply a modern box-style, not at all suitable to the character homes that dominate the neighbourhood.

The letter we received from the city also told only half the story. It did not state, as did the full report which had to be read online, that the original house was eventually to be torn down and rebuilt. We can only hope that if and when this happens that the homeowners and the City will conduct a full survey of the whole neighbourhood, and the impact that it will have on everyone here, not just on the select few that will either benefit from the rebuild or the limited few that that the homeowner knows will already show support.

I am not opposed to the renovation or complete reconstruction of the existing home, but I sincerely hope that the homeowner will consider the neighbours when designing a rebuild. My husband and I did an extensive renovation several years ago. We spoke with our surrounding neighbours and considered whether or not our plans were going to affect them or their views in a negative way, even though we were making plans that were within current zoning bylaws. This meant that we maintained ideal views for all in the neighbourhood, as well as gave consideration to surrounding neighbours and how it might impact them as the renos were designed. Through this process we also maintained good relationships with our neighbours.

Allowing this zoning variance will change our neighbourhood in a negative way and will set a dangerous and unwanted precedent. Please do not allow this variance to proceed.

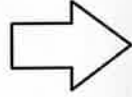
Sincerely,

A handwritten signature in cursive script that reads "Alison Reigh".

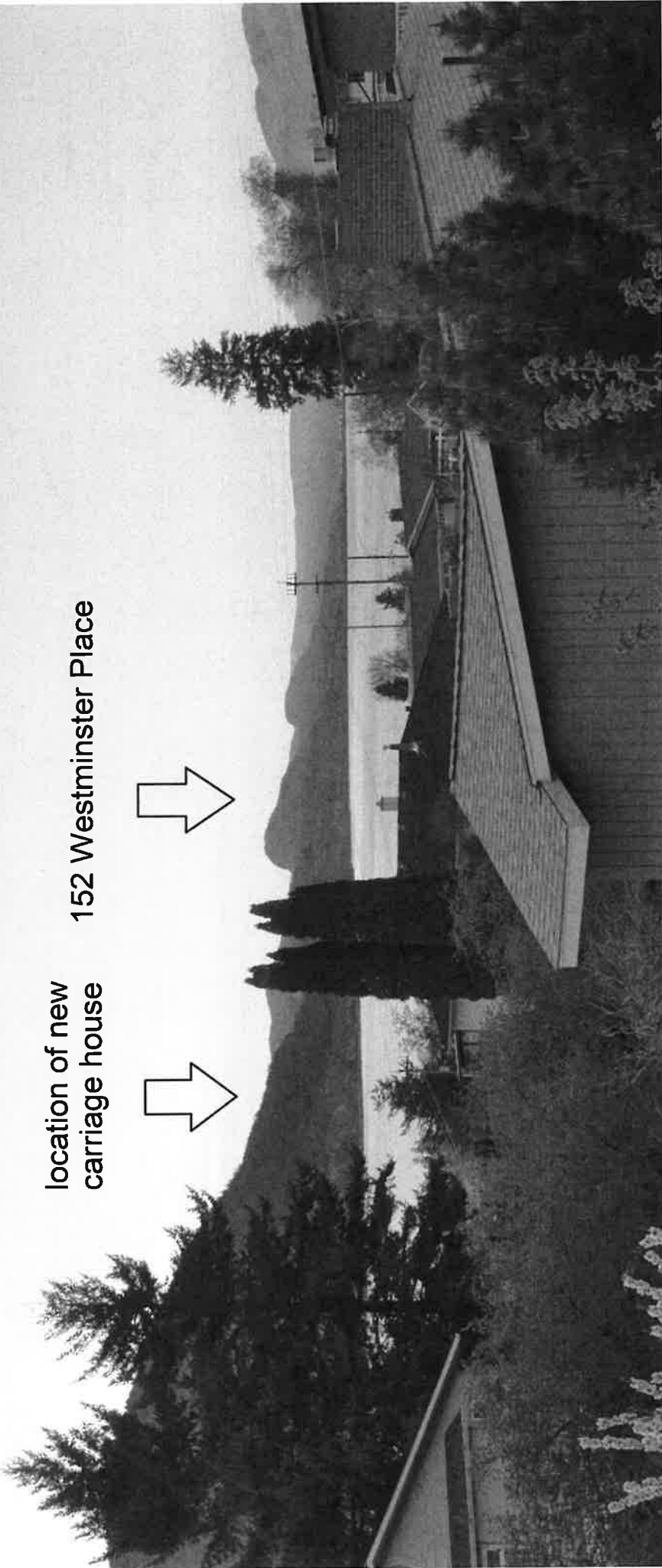
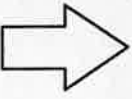
Alison Reigh
Homeowner, 297 Cambie St
Penticton, BC

Impact on view from
297 Cambie St

location of new
carriage house



152 Westminster Place



LATE SUBMISSION FOR ITEM 13.2 -
152 WESTMINSTER PLACE



To: Penticton City Council
Re: Development Variance Permit PL2022-9252
Date: April 29th 2022

Dear Council Members, with respect to Development Variance Permit PL2002-9252 I would like to register our **strongest objection** to this development being approved.

The area that encompasses Cambie St, Westminister Place, Cambie Place, and the surrounding streets is an area that has resisted subdivision, land and building development variances for many years. The area is single family homes occupied by a mix of families and older residents.

The streets are fronted by large boulevard's that are maintained by dedicated and house-proud owners. The single-family homes with larger lots lend to the appeal of this area, and in our opinion as 20+ year owners should be maintained as it currently is.

Areas like this are what drives the appeal of Penticton.

Many owners have renovated over the last 20+ years, ourselves included, but all owners have gone to great lengths to maintain the character of the area, with renovations that have been sympathetic to their neighbours, views and the look and feel of the area.

This variance goes against the feel of this area, it blocks many neighbours' views, and is absolutely not sympathetic to the area and its feel.

Additionally, it has been noted that some neighbours received notice of this development in mid-February, but we only received ours on April 22nd 2022.

It also seems that not all neighbours were consulted in a timely manner, with ourselves and the majority of affected neighbours not being informed of this until April 22nd.

It is my understanding that City Staff are recommending this request be approved. Without transparent and detailed consultation with ALL area neighbours I struggle to see City Staff could approve this request.

Again, please note our strongest objections to this request being approved by council. We trust that council will work with the residents of this well-established area to maintain its feel, appeal and strong community spirit.

Regards
Ian Wilson and family
200 Cambie St

**LATE SUBMISSION FOR ITEM 13.2 -
152 WESTMINSTER PLACE**

From: Virginia Bray
Sent: Tuesday, May 3, 2022 9:16 AM
To: corpadmin
Subject: DVP PL2022-9252;152 Westminster Place

Attn: Corporate Officer, City Of Penticton, Mayor, and Council members,

We are writing in opposition to the proposed Development Variance Permit for the property at 152 Westminster.

We received a notice on April 21st which hasn't given us a lot of time, and mentions only a carriage house rather than the complete plan for a new home etc. We have to wonder why we wouldn't have been made aware of the complete plan? The omission and short notice doesn't engender trust.

The surrounding properties, ours among them, have been assessed & taxes collected, based largely on our views and our established, close knit neighbourhood. Indeed, we all made investments in primary residences here based on the same attractive features. If council should decide to approve this bylaw change, which would compromise the view & neighbourhood that we've all remitted significant taxes for, how is that reasonable? It's no particular privilege to look into someone's garage, when we used to see the lake. It will impact the assessed value of our homes negatively. The city has our property taxes, and we get a view of a garage in return.

Further to that, there's no reason why the desired space can't be achieved with better design. The proposed box is unattractive and unnecessary. The owners could dig, thereby achieving the space they desire - which will ultimately likely be a source of income for them - without compromising the value of the many properties around them. We can't help but notice that the last name of the Cambie St. property directly behind (241) the proposed build is the same as the name of the (152) applicants; if this were otherwise, assuming they're family, could we reasonably expect that the owners of 241 wouldn't strongly object to such a development? We think it's doubtful.

Neighbourhoods are built on trust. We "regulate" ourselves as a result of that shared trust; we don't develop our properties, even though it might legally be allowed (which in this case it in fact isn't), in such a way that we break that trust. The purchase of a principal residence is, for most of us, the biggest single investment we make. It's also our greatest consideration in terms of legacy for our children and grandchildren. The bylaw restricting building height definitely either encouraged an initial investment in this area or supported a decision to remain here and improve an existing property. We did our due diligence, found that we were protected by this bylaw, and made serious investments based upon that sense of security.

I believe that development below the KVR is restricted in such a way that new builds can't block the view from the trail. Because the view is important. Why would the city think that everyone who's above the KVR trail, save those who are directly on it and have their views protected by this bylaw, wouldn't value their views? Why is it reasonable to allow insensitive site developments, when so many people, and indeed the neighbourhood, are negatively impacted? Why set this kind of precedent, especially in the face of unprecedented environmental stress? Why not demand more sustainable, site sensitive community development?

We have seen so many houses go up in the Cambie area - every one of them as big as it could possibly be, and insensitive to the site, the surrounding environment and the sense of community. Penticton seems to like this cash grab style of development, indiscriminate, incohesive, and usually ugly. We'd like to see the city set the bar higher. The next generations deserve better management from us.

There are lots of great architects locally, let's challenge them to create environmentally sustainable development that will survive, appreciate, and age beautifully so it doesn't end up a tear down. It's the city's responsibility to direct development in this way.

We oppose this change in bylaw. The rules are in place for a reason and we all knew them going in. Work smarter and more respectfully of each other, community, and the environment.

Yours,
Chad Gentes & Virginia Bray
Owners

280 Cambie St.
V2A 4G8
Penticton, B.C.

LATE SUBMISSION FOR ITEM 13.2 -
152 WESTMINSTER PLACE

585 Nanaimo Ave East
Penticton, B.C.
V2A 1E8

April 29, 2022

Attention: Corporate Officer
City of Penticton
171 Main Street
Penticton, B.C.
V2A 5A9

Subject: DVP PL2022-9252
152 Westminster Place

Dear Mayor and Council Members,

We are opposed to the request for a Development Variance Permit for the property at 152 Westminster Place.

The timeline in how this plan for meaningful consultation unfolded is rather confusing. A point made in the Council report dated May 3, 2022 has an opening line under the heading Staff recommendations is that Council approve the variance permit. The third reason cited in the report states that there is support from neighbours. Why weren't all neighbours contacted back in February when the letters of support were submitted? We received our Public Notice yesterday, on April 28, 2022. The letter was postmarked April 21 - more than two months from when letters of support were submitted to City Hall. If we had been away for a couple of days we would have missed an opportunity to voice our opposition to the variance proposal. It gives the impression that a decision has already tentatively been made without going through due process of informing all neighbours.

The neighbors directly to the north and south will not have their property affected, in fact, they stand to benefit from a newly built or renovated home with a design complementary to the area. A statement was made in the report that there would be 'minimal impacts on surrounding properties'. That statement is inaccurate. Many homeowners on Cambie would be negatively affected by the new height proposed in the variance, most definitely devaluing their property.

Purchasing a home, for most people, is by far the largest financial decision we'll make in our lifetime. Prior to purchasing, educating ourselves on various city bylaws is part of the process. If a bylaw can be varied so easily then we're left wondering about its purpose.

We ask that Council deny the requested variance and to build within zoning bylaw regulations.

Sincerely,



Chris and Cathy Terris (Homeowners)

585 Nanaimo Ave East
Penticton, B.C. V2A 1M8

1.

Petition to Deny Development Variance Permit for the property at: 152 Westminster Place, Penticton, B.C.











Petition summary:	DVP PL2022-9252 152 Westminster Place, Penticton, B.C.
Action petitioned for	We, the undersigned, are concerned citizens who urge council to deny the requested Development Variance Permit PL2022-9252 and require the resident to build within zoning bylaw regulations.

Printed Name	Signature	Address	Phone number	Date
Alison Raegh	<i>Alison Raegh</i>	297 Cambie St		22/04/30
Cathy Terris	<i>Cathy Terris</i>	585 Nanaimo Ave E		April 30/22
Craig Reigh	<i>Craig Reigh</i>	297 Cambie St		22/04/30
LESLEY CHAPMAN	<i>Lesley Chapman</i>	268 CAMBIE ST		22/04/30
Emilie Clare	<i>Emilie Clare</i>	286 CAMBIE ST		22/04/30
JIM CAWGER	<i>Jim Cawger</i>	275 CAMBIE ST		22/04/30
Dawn Warrington	<i>Dawn Warrington</i>	253 Cambie St		22/04/30
Rolly Lapante	<i>Rolly Lapante</i>	253 Cambie St		22/04/30
MARY LEE	<i>Mary Lee</i>	201 CAMBIE ST		APR 30/22

2





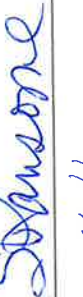





Petition to Deny Development Variance Permit for the property at: 152 Westminster Place, Penticton, B.C.

Petition summary:	DVP PL2022-9252 152 Westminster Place, Penticton, B.C.
Action petitioned for	We, the undersigned, are concerned citizens who urge council to deny the requested Development Variance Permit PL2022-9252 and require the resident to build within zoning bylaw regulations.

Printed Name	Signature	Address	Phone number	Date
Nithell Taylor		(Tenant) 595 Westminster Ave E		April 30
IAN WILSON		200 CAMBIE ST		APRIL 30
MEL BATHURST		200 CAMBIE ST		APRIL 30
Chad Gentes		280 Cambie St		April 30
Gini Bray		290 Cambie St		30/04/22
Gordon Houston		298 Cambie St		30/04/22
Lawrence Houston		298 Cambie St		29 30/4/22
CHRIS TERRIS		585 Nanaimo Ave East		April 30/2022
Emma Terris		585 Nanaimo Ave		May 1/22
Carmel Wolf		595 Westminster Ave E		May 1/22

Petition to Deny Development Variance Permit for the property at: 152 Westminster Place, Penticton, B.C.

Petition summary:	DVP PL2022-9252 152 Westminster Place, Penticton, B.C.
Action petitioned for	We, the undersigned, are concerned citizens who urge council to deny the requested Development Variance Permit PL2022-9252 and require the resident to build within zoning bylaw regulations.

Printed Name	Signature	Address	Phone number	Date
Maxwell Hawthorne		240 Cambie St		May 1/22
Emma Macey		184 Ash Pl		May 1/22
Jeanne Standish		240 Cambie St.		May 01/22
Andrew Clare		236 Cambie St		May 1/22
Sandy Hansome		205 Farnell St.		May 1/22
Mary Blair		220 Farnell St		May 1/22
Mark Baker		230 Farnell St		MAY 1/22
Clara Byde		300 Farnell St.		May 1/22
Jim Hanko		680 NANAIMO AVE		May 1/22
DALE WILSON		685 NANAIMO AVE		MAY 1/22

Council Report

penticton.ca

Date: May 3, 2022
To: Donny van Dyk, Chief Administrative Officer
From: Nicole Capewell, Planner II
Address: 145 Kinney Avenue

File No: RMS/145 Kinney Ave

**Subject: Zoning Amendment Bylaw No. 2022-20
Development Variance Permit PL2021-9239
Development Permit PL2021-9240**

Staff Recommendation

THAT Council give first reading to "Zoning Amendment Bylaw No. 2022-20", for Lot A District Lot 115 Similkameen Division Yale District Plan 8719, located at 145 Kinney Avenue, a bylaw to rezone the subject property from R1 (Large Lot Residential) to RM2 (Low Density Multiple Housing);

AND THAT Council forward "Zoning Amendment Bylaw No. 2022-20" to the May 17, 2022 Public Hearing;

AND THAT Council, subject to adoption of "Zoning Amendment Bylaw No. 2022-20", consider "Development Variance Permit PL2022-9239", for Lot A District Lot 115 Similkameen Division Yale District Plan 8719, located at 145 Kinney Avenue, a permit to vary the following section of Zoning Bylaw No. 2021-01:

1. Section 10.9.2.3: to increase the maximum lot coverage from 40% to 51%.

AND THAT Council, subject to approval of "Development Variance Permit PL2021-9239", approve "Development Permit PL2021-9240", for Lot A District Lot 115 Similkameen Division Yale District Plan 8719, located at 145 Kinney Avenue, a permit to allow for the construction of a 4-plex.

Strategic Priority Objective

Community Vitality: The City of Penticton, guided by the Official Community Plan, will promote the economic wellbeing and vitality of the community.

Proposal

The applicant is proposing to construct a two-storey (plus basement) development with four dwelling units on the subject property (Figure 1). In order to proceed with the proposed development, the applicant has requested to rezone the property from R1 (Large Lot Residential) to RM2 (Low Density Multiple Housing).

The applicant has also requested the following variances to Zoning Bylaw No. 2021-01 to facilitate the development:

1. Section 10.9.2.3: to increase the maximum lot coverage from 40% to 51%.

Further, the applicant requires Development Permit approval for the form and character of the building, which has been included for Council’s consideration.



Figure 1 - Conceptual Rendering of Proposed Development

Background

The subject property is currently zoned R1 (Large Lot Residential) and is designated as ‘Ground Oriented Residential’ (Figure 2) by the Official Community Plan (OCP). The subject property contains a single family home that was constructed in the 1940’s.

Land Use	Description	Building Type(s)	Uses	Height / Density	Zone(s)
Ground Oriented Residential 	Medium-density residential areas with multi-family developments where each unit has an exterior door and construction is primarily wood frame, or bareland stratas.	<ul style="list-style-type: none"> • Duplexes with suites • Cluster housing • Fourplexes higher-density rowhouses • Townhouses and stacked townhouses • Bareland strata developments 	<ul style="list-style-type: none"> • Residential • Limited Service/ Retail 	<ul style="list-style-type: none"> • Up to 3 ½ storeys 	<ul style="list-style-type: none"> • RM2 • RM5 • C2

Figure 2 - OCP Land Use Designation

The surrounding area is a mixture of uses, including some single family dwellings directly adjacent, high density apartment buildings, infill development, parks and commercial developments. The property's proximity to the variety of uses make it an ideal location for increased density. The property is within walking distance of Parkway Elementary School and Lions Park, providing ample greenspace for future tenants and residents. The property is also located within close proximity (100m) of Cherry Lane Shopping Centre, which contains a number of desirable shops and services. This area is also well serviced by pedestrian, cycling and transit networks.

Technical Review

This application was reviewed by the City's Technical Planning Committee. Typical servicing requirements have been identified for the Building Permit stage of the project, if the rezoning and variance permit applications are supported by Council. These items have been communicated to the applicant.



Figure 3 - Property Location Map

Development Statistics

The following table outlines the proposed development statistics on the plans submitted with the development application:

	RM2 Zone Requirement	Provided on Plans
Minimum Lot Width*:	18 m	22.86 m
Minimum Lot Area*:	540 m ²	836 m ²
Maximum Lot Coverage:	40%	51% Variance Requested
Maximum Density:	0.8 Floor Area Ratio (FAR)	0.74 Floor Area Ratio (FAR)
Vehicle Parking:	Total Required = 5 spaces 1 per unit plus 0.25 per unit for visitor	Total provided: 5 spaces
Required Setbacks		
Front Yard (Kinney Ave):	3.0 m	3.0 m
Interior Side Yard (east):	1.5 m	3.07 m
Interior Side Yard (west):	1.5 m	6.98 m
Rear Yard (north):	6.0 m	6.58 m
Maximum Building Height	12 m	7.95 m
Other Information:	*Lot width and lot area are only applicable for subdivision applications.	

Analysis

Zoning Amendment

The Official Community Plan (OCP) designation for the subject property is ‘Ground Oriented Residential’, which supports medium density residential areas with multi-family developments where each unit has an exterior door and construction is primarily wood frame, or bareland stratas (Figure 1). Duplexes with suites, cluster housing and fourplexes are some of the building types envisioned in this designation. The applicant is proposing to construct a four-unit townhouse on the property. The development and density proposed on the property are aligned with the vision of properties designated within the ‘Ground Oriented Residential’ designation.

In addition to alignment with the future land use designation, staff consider that the proposed zoning amendment will also allow for a development that is supported through the following OCP Goals and Policies:

- OCP Policy 4.1.1.1 Focus new residential development in or adjacent to existing developed areas.
- OCP Policy 4.1.3.1 Encourage more intensive “infill” residential development in areas close to the Downtown, to employment, services and shopping, through zoning amendments for housing types compatible with existing neighbourhood character, with form and character guided by Development Permit Area Guidelines.
- OCP Policy 4.1.3.5 Ensure through the use of zoning that more-intensive forms of residential development are located close to transit and amenities, such as parks, schools and shopping.
- OCP Policy 4.1.4.1 Work with the development community – architects, designers and buildings – to create new residential developments that are attractive, high-quality, energy efficient, appropriately scaled and respectful of their context.
- OCP Policy 4.1.5.1 Recognize that some traditionally single-family neighbourhoods will see intensification as the city grows, but ensure that new forms of residential development are compatible with the neighbourhood in scale and design, and are appropriately located (e.g., greater density closer to collector roads, services and amenities).
- OCP Policy 4.2.5.2 Encourage land use planning that results in neighbourhoods that can be easily serviced by transit.

Staff consider that the application proposes an appropriately scaled development in an area of the city that has been identified for increased residential density by the OCP. The proposed rezoning to RM2 to allow a total of 4 dwelling units on the property is consistent with the increased density and building forms envisioned by the ‘Ground Oriented Residential’ designation.

Given that there is adequate policy through the OCP to support the proposed development, staff recommend that Council give first reading to “Zoning Amendment Bylaw No. 2022-20”, and forward the bylaw to the May 17, 2022 Public Hearing to gather comments and feedback from the public.

Support Development Variance Permit

When considering a variance to a City bylaw, staff encourages Council to consider whether approval of the variance would cause a negative impact on neighbouring properties and if the variance request is reasonable. The applicant is requesting to increase the lot coverage on the property.

1. Section 10.9.2.3: to increase the maximum lot coverage from 40% to 51 %.
 - The request to increase the maximum lot coverage on the property is attributed to the decks/balcony features proposed on the property.
 - Decks and balconies are included in lot coverage when they exceed 0.6m (2ft.) above grade.
 - The applicant has indicated that the deck/balcony features not only provide outdoor amenity space, but also provides a covered parking space underneath.
 - The deck/balcony features proposed provide significant benefits to the development, by providing private outdoor areas for each individual unit.
 - Larger balcony areas are more livable, compared to smaller, less usable ones, which encourages residents to be outside.
 - OCP Policy 4.1.3.6 – “require amenity areas in all multifamily and mixed-use projects through regulations in the Zoning Bylaw.”
 - A Multifamily Residential Development Permit Area objective is to “ensure social spaces and support for active living (through provision of amenity spaces and indoor-outdoor relationships)”.
 - The deck/balcony areas are looking west towards a parking lot associated with the neighbouring apartment buildings. This design limits privacy impacts on the neighbouring residence to the east.

For the reasons listed above, staff consider that the requested variance is reasonable in this instance. The development proposes units that have adequate, private outdoor living spaces, and represents additional density in an area of the City identified for increased growth. Staff recommend that Council consider the Development Variance Permit subject to adoption of the rezoning.

Support Development Permit

The proposed development is considered within the Multifamily Residential Development Permit Area of the OCP, which is established to enhance neighbourhoods and create sensitive transitions in scale and density by addressing issues such as privacy, landscape retention and neighbourliness. The proposed development has been designed with the OCP design guidelines in mind. The development proposes a density that is aligned with the Ground Oriented Residential designation and provides a design that meets all Zoning Bylaw regulations for setbacks, parking and is well within the allowable building height.

Staff have completed a development permit analysis (Attachment 'D') that shows how the development conforms to the applicable design guidelines. The applicant has also provided an analysis within their letter of intent (Attachment 'E'), which outlines the project and its conformance to the OCP design guidelines.

As such, staff recommend that Council consider approving the Development Permit after adoption of the Zoning Amendment Bylaw and approval of the Development Variance Permit.

Alternate Recommendations

Council may consider that while the zoning amendment is aligned with the OCP by increasing density in a desirable area of the city, the development as proposed does not fit the character of the neighbourhood. If this is the case, Council may choose the alternate recommendation.

1. THAT Council deny first reading to “Zoning Amendment Bylaw No. 2022-20”.

Attachments

- Attachment A – Zoning Map
- Attachment B – Official Community Plan Map
- Attachment C – Photos of Property
- Attachment D – Development Permit Analysis (staff)
- Attachment E – Letter of Intent and Development Permit Analysis (applicant)
- Attachment F – Draft Development Variance Permit PL2022-9239
- Attachment G – Draft Development Permit PL2022-9240
- Attachment H – Zoning Amendment Bylaw No. 2022-20

Respectfully submitted,

Nicole Capewell, RPP, MCIP
Planner II

Concurrence

Director of Development Services <i>BL</i>	Acting Chief Administrative Officer KD
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Attachment A – Zoning Map



145 Kinney Ave

Zoning Map



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Wednesday, February 2, 2022
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Attachment B – Official Community Plan Map

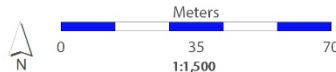


145 Kinney Ave

Official Community Plan Map



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Attachment C – Photos of Property



Looking east at subject property from laneway



Looking north at subject property from Kinney Avenue

Attachment D – Development Permit Analysis (staff)

Development Permit Analysis

The proposed development is located within the Multifamily Residential Development Permit Area. The following analysis demonstrates how the proposal is aligned with the applicable design guidelines.

Guideline G1 Applications shall include a comprehensive site plan – considering adjacent context for building and landscape architectural design and neighbourhood character analysis - to demonstrate that the development is sensitive to and integrated within its context and surrounding uses and neighbours.

- The applicant has labelled geodetic elevations on the site plan, to show they have reviewed the topography of the property, which is relatively flat.

Guideline G5 Siting of buildings should support strong street definition by minimizing front yard setbacks while sensitively transitioning to neighbouring building setbacks.

- The applicant has located the proposed building at the minimum required 3.0m front yard setback, which helps to maintain a connection with the street. They have proposed a front door on the unit closest to Kinney Avenue that faces the street to add a pedestrian scale to the development.

Guideline G7 All designs shall consider Crime Prevention Through Environmental Design (CPTED) principles and balance the reduction of crime and nuisance opportunities with other objectives to maximize the enjoyment of the built environment.

- The proposed front yard fencing is limited to 1.2m (4ft.) in height, which is aligned with the Zoning Bylaw requirements and also helps to retain ‘eyes on the street’ by keeping sightlines open from private property to the public streetscape.

Guideline G11 Barrier-free pedestrian walkways to primary building entrances must be provided from municipal sidewalks, parking areas, storage, garbage and amenity areas.

- The laneway on the west side of the development provides pedestrian access to the development.

Guideline G21 Orientation of buildings should face public spaces (e.g., street and lane) with a preference for ground-oriented types (e.g., a front door for everyone or every business).

- The proposed development provides each unit with a balcony that looks west towards the laneway. Across the laneway, there is a parking lot associated with Cherry Lane Towers. Having outdoor amenity areas overlooking parking lots helps to maintain security of these areas.

Guideline G29 Development should orient windows, porches, balconies and patios toward the public realm, allowing for casual overlook of parks, open spaces, and parking areas.

- As noted above, the proposed development has overlook from the unit closest to Kinney Avenue over the street, as well as overlook west and north due to the location and orientation of the outdoor balconies.

Guideline G33 Water Conservation and Plant Maintenance: Xeriscaping, Irrigation & Mulching

- The proposed development includes a landscaping plan that provides adequate and appropriate designs.
- The plans indicate a fully automatic underground irrigation system, which helps to reduce overwatering and utilizes a drip system.

Guideline G35 Tree planting...

- Trees and shrubs have been provided at the front of the property as well along the east property line.



People plus Space: Planning and Design
10124 Main Street
Summerland, BC V0H 1Z0
250-486-1481
heather@peopleplusspace.ca

April 4, 2022

City of Penticton - Planning Department
Attn: Ms. Audrey Tanguay
171 Main Street
Penticton, BC V2A 5A9

Re: Rezoning/Development Variance Permit letter for 145 Kinney Avenue Penticton

On behalf of the property owner of 145 Kinney Avenue, we are respectfully providing supporting documentation for rezoning of the subject property. In addition to the rezoning application we are providing an application for a Development Variance Permit and Development Permit.

As per the Official Community Plan (OCP), the subject property's future land use is for Infill Residential. The property is currently zoned R1, Large Lot Residential. The owner would like to rezone the property to RM2, Low Density Multiple Housing. In this application it would allow for four dwelling units on a single lot. The owner is proposing to construct a fourplex on the property.

The property has large multi family developments to the north and north west as well as a parking lot to the west. The two storey fourplex would be a step down from the large developments to the single and multi family developments in the surrounding area.

The supporting documents demonstrate the intent of the property and proposed layouts for the development. Regarding the zoning review, the fourplex would meet the requirements for property line setbacks, floor area ratio (FAR) and building height. The variance requested would be for the lot coverage. With the design of the fourplex, the owner would like to provide covered balconies and partially covered parking for each unit on the west side. As such, this would increase the lot coverage. We believe that the variance would be warranted given the covered balconies would act as a carport underneath, which will provide a partially covered off street parking space for each unit and act as a means to break up massing while promoting overlook and weather protection. The request is for variance from 40% lot coverage to 50.3% lot coverage.

Regarding the Development Permit, the site analysis is outlined below.

G1. Prior to site design, analysis shall be undertaken to identify significant on-site and off-site opportunities and constraints, including built and natural elements (e.g., structures, slopes and drainage, significant landscape features, etc.)

- The site topography is relatively flat which provides ease of development with a fourplex unit with partially covered parking off the Laneway.

G3. Private and semi-private open spaces should be designed to optimize solar access (see Figure G3).

G4. Views through to the mountains and the lakes should be carefully considered and incorporated into the design of new development.

- The site has exterior amenity space for the occupants on the ground floor as well as a second floor patio. Access is provided on the east and west of the property with covered amenity space.

G13. Entry to ground-level residential units should be no more than 1.8m (6.0 ft.) above the grade of adjacent public sidewalks and walkways (see Figure G14).

Development Variance Permit

Permit Number: DVP PL2022-9239

Owner Name

Owner Address

Conditions of Permit

1. This permit is issued subject to compliance with all of the bylaws of the City, except as specifically varied or supplemented by this Permit.
2. This permit applies to:
 - Legal: Lot A District Lot 115 Similkameen Division Yale District Plan 8719
 - Civic: 145 Kinney Avenue
 - PID: 009-792-732
3. This permit has been issued in accordance with Section 498 of the *Local Government Act*, to vary the following sections of Zoning Bylaw 2021-01 to allow for the construction of a four-unit development as shown in the plans attached in Schedule 'A':
 - a. 10.9.2.3: to increase the maximum lot coverage from 40% to 51%.

General Conditions

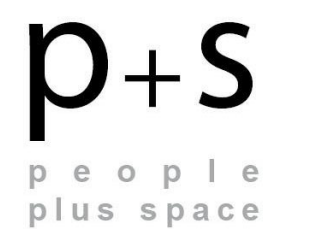
4. In accordance with Section 501 of the *Local Government Act*, the lands subject to this permit shall be developed in general accordance with this permit and the plans attached as Schedule 'A'.
5. In accordance with Section 504 of the *Local Government Act*, if the holder of this permit does not commence the development authorized by this permit within 2 years of the date of this permit, this permit shall lapse.
6. **This permit is not a building permit. In order to proceed with this development, the holder of this permit must hold a valid building permit issued by the Building Inspection Department.**
7. This permit does not constitute any other municipal, provincial or federal approval. The holder of this permit is responsible to obtain any additional municipal, federal, or provincial approvals prior to commencing the development authorized by this permit.
8. This permit does not include off-site infrastructure costs that may be required at the building permit stage, such as Development Cost Charges (DCC's), road improvements and electrical servicing. There may be substantial infrastructure and servicing costs payable at a later date. For more information on servicing and infrastructure requirements please contact the Development Engineering Department at (250) 490-2501. For more information on electrical servicing costs, please contact the Electric Utility at (250) 490-2535.

Authorized by City Council, the ____ day of _____, 2022.

Issued this ____ day of _____, 2022.

Angela Collison
Corporate Officer

DRAFT
DVP PL2022-9239



planning and design

People plus Space: Planning and Design
 10124 Main Street
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KINNEY AVENUE

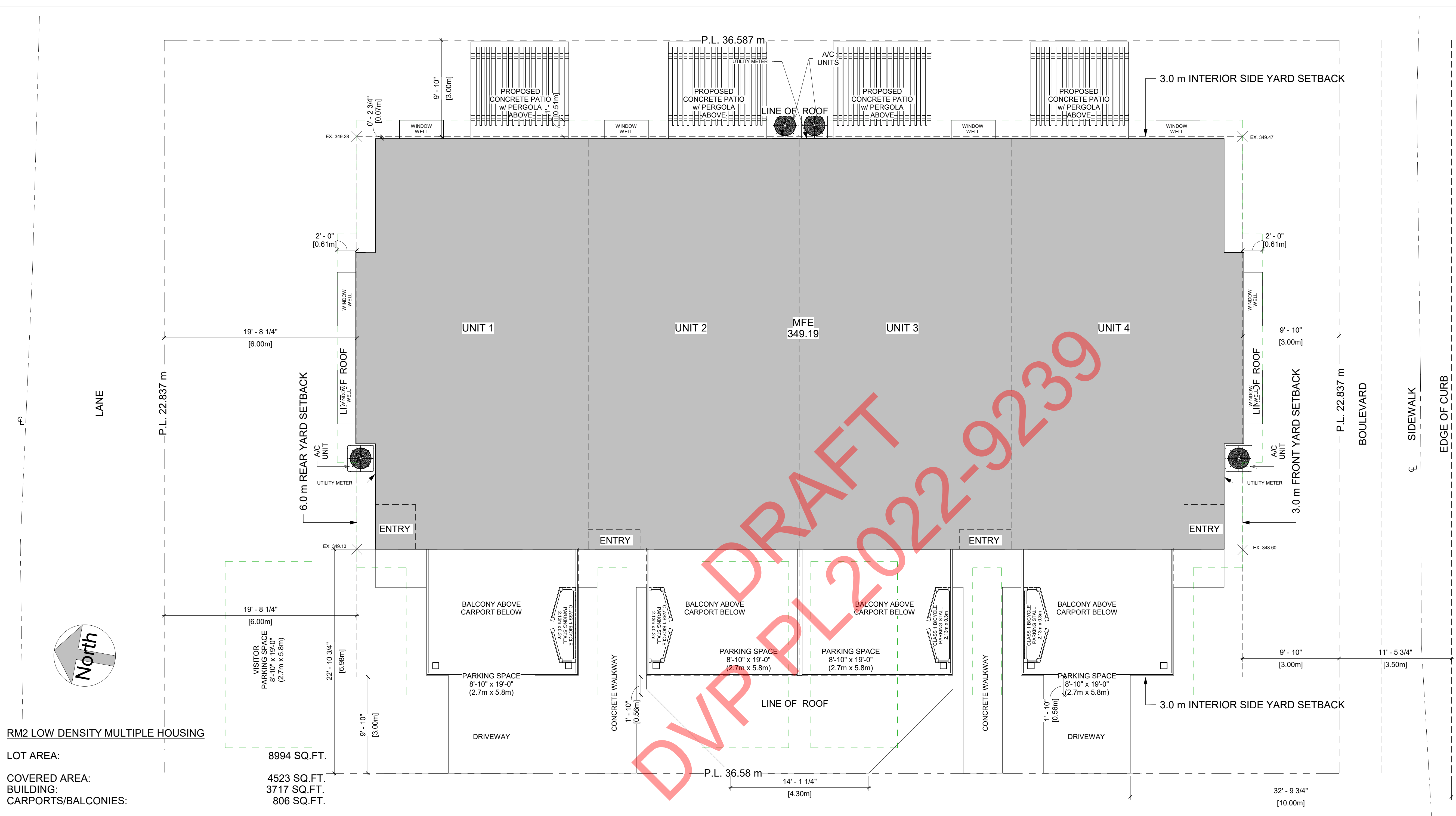
No.	Description	Date
1	ISSUED FOR REVIEW	2021-07-13
2	ISSUED FOR REVIEW	2021-09-03
3	ISSUED FOR REVIEW	2021-09-29
4	ISSUED FOR DP	2021-10-13
5	ISSUED FOR DP	2021-12-21
6	ISSUED FOR DP	2022-03-08
7	ISSUED FOR DP	2022-03-31

Townhouse Units
 145 KINNEY AVE, PENTICTON BC
SITE PLAN

Project number	21-011
Date	2021-12-17
Drawn by	J.P.F.

ID-101

Scale	3/16" = 1'-0"
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RM2 LOW DENSITY MULTIPLE HOUSING

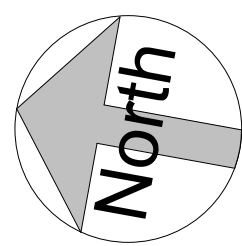
LOT AREA:	8994 SQ.FT.
COVERED AREA:	4523 SQ.FT.
BUILDING:	3717 SQ.FT.
CARPORTS/BALCONIES:	806 SQ.FT.
LIVING FLOOR AREA COMBINED:	6625 SQ.FT.
MAXIMUM LOT COVERAGE:	40 %
PROVIDED LOT COVERAGE:	50.3 %
MINIMUM FAR	0.8
PROVIDED FAR	0.74
MAXIMUM BUILDING HEIGHT:	12.0 m
PROPOSED BUILDING HEIGHT:	7.36 m
REQUIRED FRONT YARD SETBACK:	3.0 m
PROVIDED FRONT YARD SETBACK:	3.0 m
REQUIRED INTERIOR SIDE YARD SETBACK:	3.0 m
PROVIDED INTERIOR SIDE YARD SETBACK (WEST):	6.98 m
PROVIDED INTERIOR SIDE YARD SETBACK (EAST):	3.07 m
REQUIRED REAR YARD SETBACK:	6.0 m
PROVIDED REAR YARD SETBACK:	6.0 m

LOT COVERAGE BREAKDOWN:

BUILDING: 3,717 SQ.FT. = 345m ²
+ CARPORTS/BALCONIES: 806 SQ.FT. = 75m ²
LOT AREA: 8,994 SQ.FT. = 836m²
TOTAL LOT COVERAGE = 50.3%

FAR BREAKDOWN:

FIRST FLOOR AREA EXCLUDING STAIRS AND LIFTS: 3237 SQ.FT. = 301m ²
+ SECOND FLOOR AREA EXCLUDING STAIRS AND LIFTS: 3388 SQ.FT. = 315m ²
LOT AREA: 8,994 SQ.FT. = 836 m²
TOTAL FAR = 0.74



Site Plan
 3/16" = 1'-0"

- The main floor building elevation is 0.51m (1'-8")

G16. Site and building access must prioritize pedestrian movement, minimize conflict between various modes of transportation and optimize use of space: • Off-street parking and servicing access should be provided from the rear lane (where one exists) to free the street for uninterrupted pedestrian circulation and boulevard landscaping (see Figure 5-4).

G17. On-site parking location and design should minimize visual impact and provide safe connections for pedestrians:

- *Parking between the front of buildings and the street is not permitted.*
- *Parking should be located at the rear of buildings/sites.*
- *Shared parking (where varying uses have parking demands that peak at different times of the day) is encouraged to reduce parking requirements.*
- *Outdoor surface parking areas should incorporate pathways that provide safe, accessible and comfortable*
- All off street parking is provided off of the laneway to free the street for uninterrupted pedestrian circulation and boulevard landscaping.
- Parking off of the laneway optimizes land use and reduces impermeable surface coverage and sidewalk crossings.

G20. Designs should respond to Penticton's setting and climate through use of:

- *passive solar strategies;*
- *optimized placement of windows to maximize natural light;*
- *energy-efficient building design;*
- *passive solar principles;*
- *landscape design and plantings that provide cooling through shade in summer months;*
- *selecting roof materials to minimize heat loading and increase reflectivity.; and,*
- *strategies for cross-ventilation.*
- An Energy Advisor will be engaged on the project to provide documentation and advise on the construction of the fourplex.
- The landscape design includes plantings that are native to the Penticton climate; including, trees that will provide shade to the building.

G21. Orientation of buildings should face public spaces (e.g., street and lane) with a preference for ground-oriented types (e.g., a front door for everyone or every business).

- Each unit has their own ground-oriented private door that fronts the laneway.

G23. Articulation of building mass should include horizontal (minor) setbacks and stepbacks (along upper storeys) to provide visual interest and enrich the pedestrian experience. Balconies and/or cantilevered upper floors may be considered as a means to break up massing while promoting overlook and/or weather protection.

G24. Street-facing units should utilize a layering of elements – including but not limited to street-facing entries, stairs, stoops, porches, patios and landscape elements – to create transitions between the public (e.g., street, sidewalk), semi-public (e.g., walkway, ramp, stair), semi-private (e.g., stoop, balcony) and private areas.

G28. Entries should be visible and clearly identifiable from the fronting public street.

- Each unit in the building has a cantilevered front balcony with a setback front door. Additionally the exterior wall faces (at the front and rear setbacks) have a second floor cantilever in order to break up the massing while promoting overlook and enrich the pedestrian experience.
- Pergolas at the rear of the building provide visual interest on the east facade. This also promotes ground floor use of outdoor space and no balconies off the second floor to maintain privacy for adjacent neighbours.

G35. Tree planting

p + s people plus space
planning and design

- *All development fronting a public street shall plant a landscaped area fronting the public road with regularly spaced street trees no further than 10 metres apart, and at least 2.5 meters tall at the time of planting.*
- As noted on the landscape plan there are two trees planted in the front yard as well as an additional two trees planted in the rear yard.

If you have any questions or require additional information, please contact my office.

Regards,

A handwritten signature in dark ink, appearing to read "H. Shedden".

Heather Shedden
MPI, BAAID

Development Permit

Permit Number: DP PL2022-9240

Owner Name
Owner Address

Conditions of Permit

1. This permit is issued subject to compliance with all of the bylaws of the City, except as specifically varied or supplemented by this Permit.
2. This permit applies to:
 - Legal: Lot A District Lot 115 Similkameen Division Yale District Plan 8719
 - Civic: 145 Kinney Avenue
 - PID: 009-792-732
3. This permit has been issued in accordance with Section 489 of the *Local Government Act*, to permit the construction of a four-unit development as shown in the plans attached in Schedule 'A'.
4. In accordance with Section 502 of the *Local Government Act* a deposit or irrevocable letter of credit, in the amount of \$_____ must be deposited prior to, or in conjunction with, an application for a building permit for the development authorized by this permit. The City may apply all or part of the above-noted security in accordance with Section 502 of the *Local Government Act*, to undertake works or other activities required to:
 - a. correct an unsafe condition that has resulted from a contravention of this permit,
 - b. satisfy the landscaping requirements of this permit as shown in Schedule 'A' or otherwise required by this permit, or
 - c. repair damage to the natural environment that has resulted from a contravention of this permit.
5. The holder of this permit shall be eligible for a refund of the security described under Condition 4 only if:
 - a. The permit has lapsed as described under Condition 8, or
 - b. A completion certificate has been issued by the Building Inspection Department and the Director of Development Services is satisfied that the conditions of this permit have been met.
6. Upon completion of the development authorized by this permit, an application for release of securities (Landscape Inspection & Refund Request) must be submitted to the Planning Department. Staff may carry out inspections of the development to ensure the conditions of this permit have been met. Inspection fees may be withheld from the security in accordance with the City of Penticton Fees and Charges Bylaw (as amended from time to time).

General Conditions

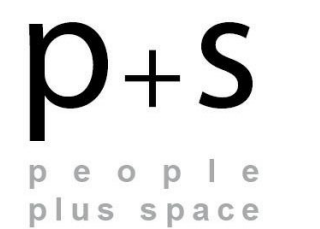
7. In accordance with Section 501(2) of the *Local Government Act*, the lands subject to this permit shall be developed in general accordance with this permit and the plans attached as Schedule 'A'.
8. In accordance with Section 504 of the *Local Government Act*, if the holder of this permit does not commence the development authorized by this permit within 2 years of the date of this permit, this permit shall lapse.
9. **This permit is not a building permit. In order to proceed with this development, the holder of this permit must hold a valid building permit issued by the Building Inspection Department.**
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Authorized by City Council, the _____ day of _____, 2022.

Issued this _____ day of _____, 2022.

Angela Collison
Corporate Officer

DP PL2022-0149
DRAFT



planning and design

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heather@peopleplusspace.ca

KINNEY AVENUE

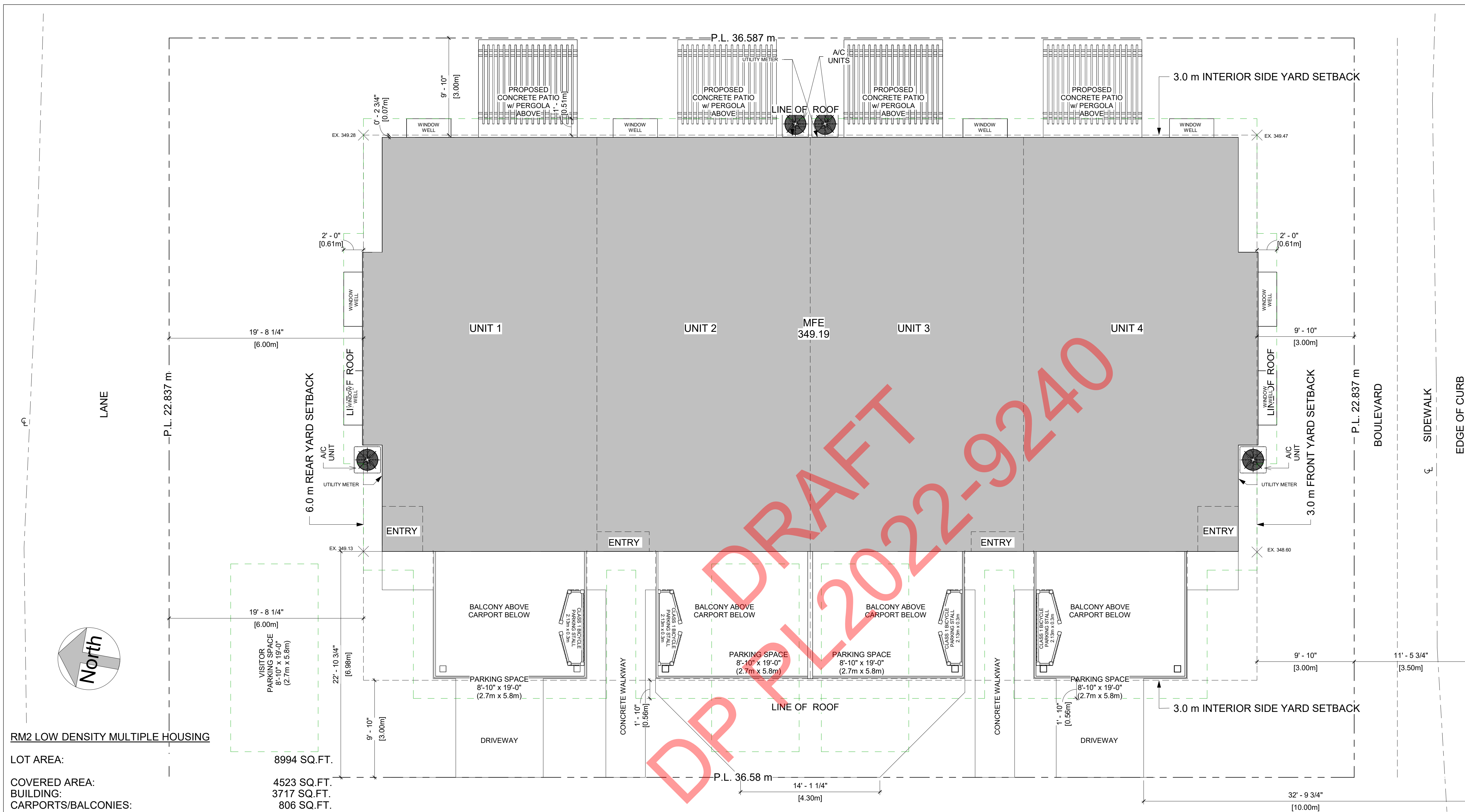
No.	Description	Date
1	ISSUED FOR REVIEW	2021-07-13
2	ISSUED FOR REVIEW	2021-09-03
3	ISSUED FOR REVIEW	2021-09-29
4	ISSUED FOR DP	2021-10-13
5	ISSUED FOR DP	2021-12-21
6	ISSUED FOR DP	2022-03-08
7	ISSUED FOR DP	2022-03-31

Townhouse Units
145 KINNEY AVE, PENTICTON BC
SITE PLAN

Project number	21-011
Date	2021-12-17
Drawn by	J.P.F.

ID-101

Scale 3/16" = 1'-0"



RM2 LOW DENSITY MULTIPLE HOUSING

LOT AREA:	8994 SQ.FT.
COVERED AREA:	4523 SQ.FT.
BUILDING:	3717 SQ.FT.
CARPORTS/BALCONIES:	806 SQ.FT.
LIVING FLOOR AREA COMBINED:	6625 SQ.FT.
MAXIMUM LOT COVERAGE:	40 %
PROVIDED LOT COVERAGE:	50.3 %
MINIMUM FAR	0.8
PROVIDED FAR	0.74
MAXIMUM BUILDING HEIGHT:	12.0 m
PROPOSED BUILDING HEIGHT:	7.36 m
REQUIRED FRONT YARD SETBACK:	3.0 m
PROVIDED FRONT YARD SETBACK:	3.0 m
REQUIRED INTERIOR SIDE YARD SETBACK:	3.0 m
PROVIDED INTERIOR SIDE YARD SETBACK (WEST):	6.98 m
PROVIDED INTERIOR SIDE YARD SETBACK (EAST):	3.07 m
REQUIRED REAR YARD SETBACK:	6.0 m
PROVIDED REAR YARD SETBACK:	6.0 m

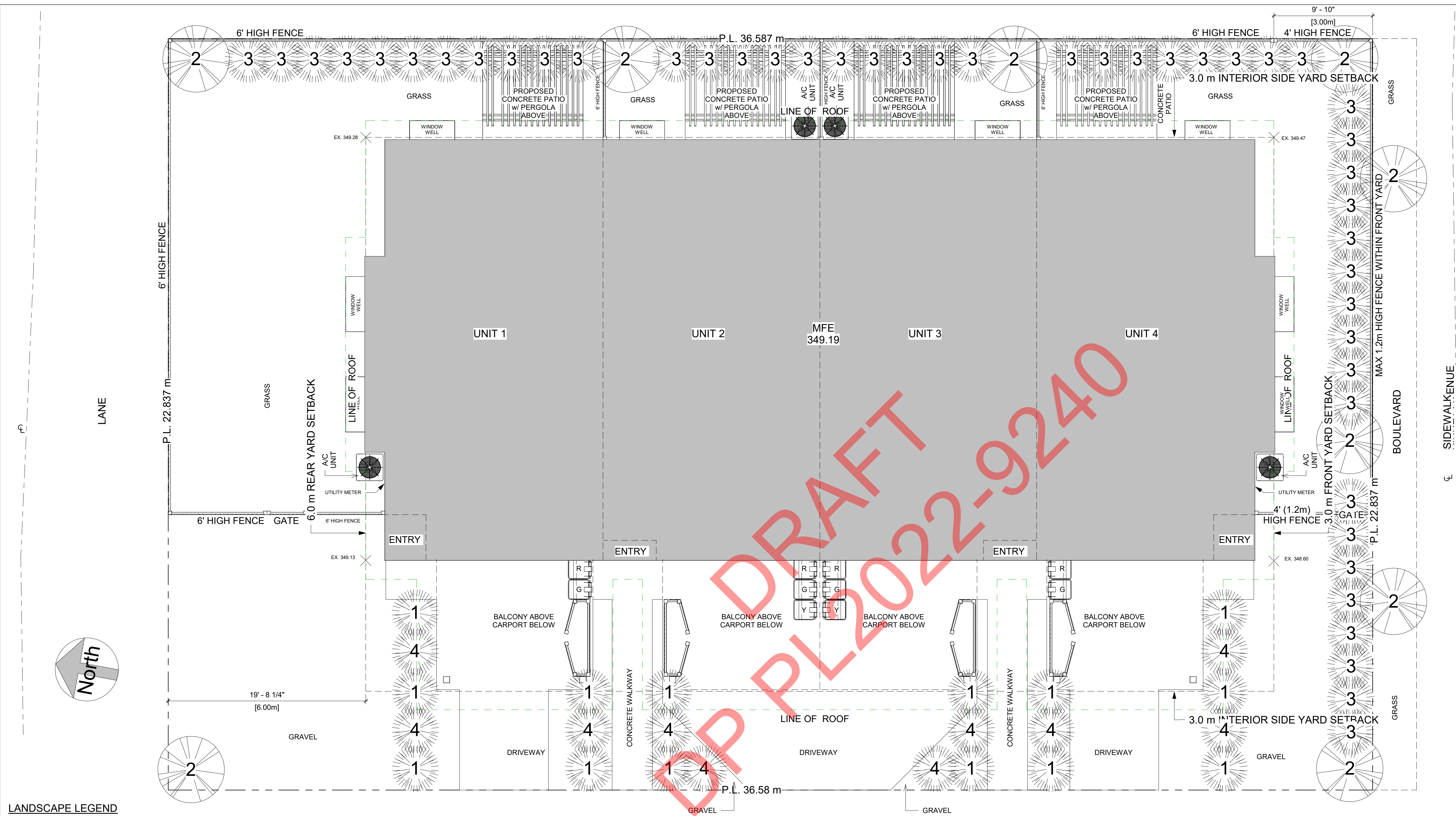
LOT COVERAGE BREAKDOWN:

BUILDING: 3,717 SQ.FT. = 345m ²
+ CARPORTS/BALCONIES: 806 SQ.FT. = 75m ²
LOT AREA: 8,994 SQ.FT. = 836m²
TOTAL LOT COVERAGE = 50.3%

FAR BREAKDOWN:

FIRST FLOOR AREA EXCLUDING STAIRS AND LIFTS: 3237 SQ.FT. = 301m ²
+ SECOND FLOOR AREA EXCLUDING STAIRS AND LIFTS: 3388 SQ.FT. = 315m ²
LOT AREA: 8,994 SQ.FT. = 836 m²
TOTAL FAR = 0.74

Site Plan
3/16" = 1'-0"



LANDSCAPE LEGEND

ITEM NO.	DESCRIPTION:	QUANTITY
01	GOLD JAPANESE FOREST GRASS	14
02	AMUR MAPLE	9
03	KARL FORESTER	47
04	LAVANDER	10

LANDSCAPE NOTES:

- ALL LANDSCAPED AREAS TO HAVE UNDERGROUND IRRIGATION C/W WATER SENSORS AND TIMER.
- COVER PLANTER BEDS WITH LANDSCAPE FABRIC AND MULCH
- LANDSCAPE FABRIC UNDER RIVER ROCK
- Trees in front shall be either a deciduous tree with a minimum caliper of 60mm and a clear stem height of 1.5m or a coniferous tree with a minimum height of 2.5m.

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People plus Space: Planning and Design
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heather@peopleplusspace.ca

KINNEY AVENUE

No.	Description	Date
1	ISSUED FOR REVIEW	2021-07-13
2	ISSUED FOR REVIEW	2021-09-03
3	ISSUED FOR REVIEW	2021-09-29
4	ISSUED FOR DP	2021-10-13
5	ISSUED FOR DP	2021-12-21
6	ISSUED FOR DP	2022-03-08
7	ISSUED FOR DP	2022-03-31

Townhouse Units
145 KINNEY AVE, PENTICTON BC

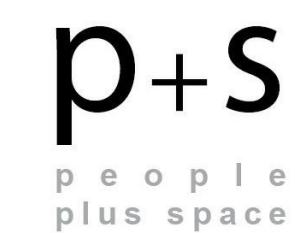
LANDSCAPE PLAN

Project number 21-011
Date 2021-12-17
Drawn by J.P.F.

ID-102

Scale 3/16" = 1'-0"

1 Landscape plan
3/16" = 1'-0"



planning and design

People plus Space: Planning and Design
10124 Main Street
Summerland BC V0H 1Z0
250-468-1481
heather@peopleplusspace.ca

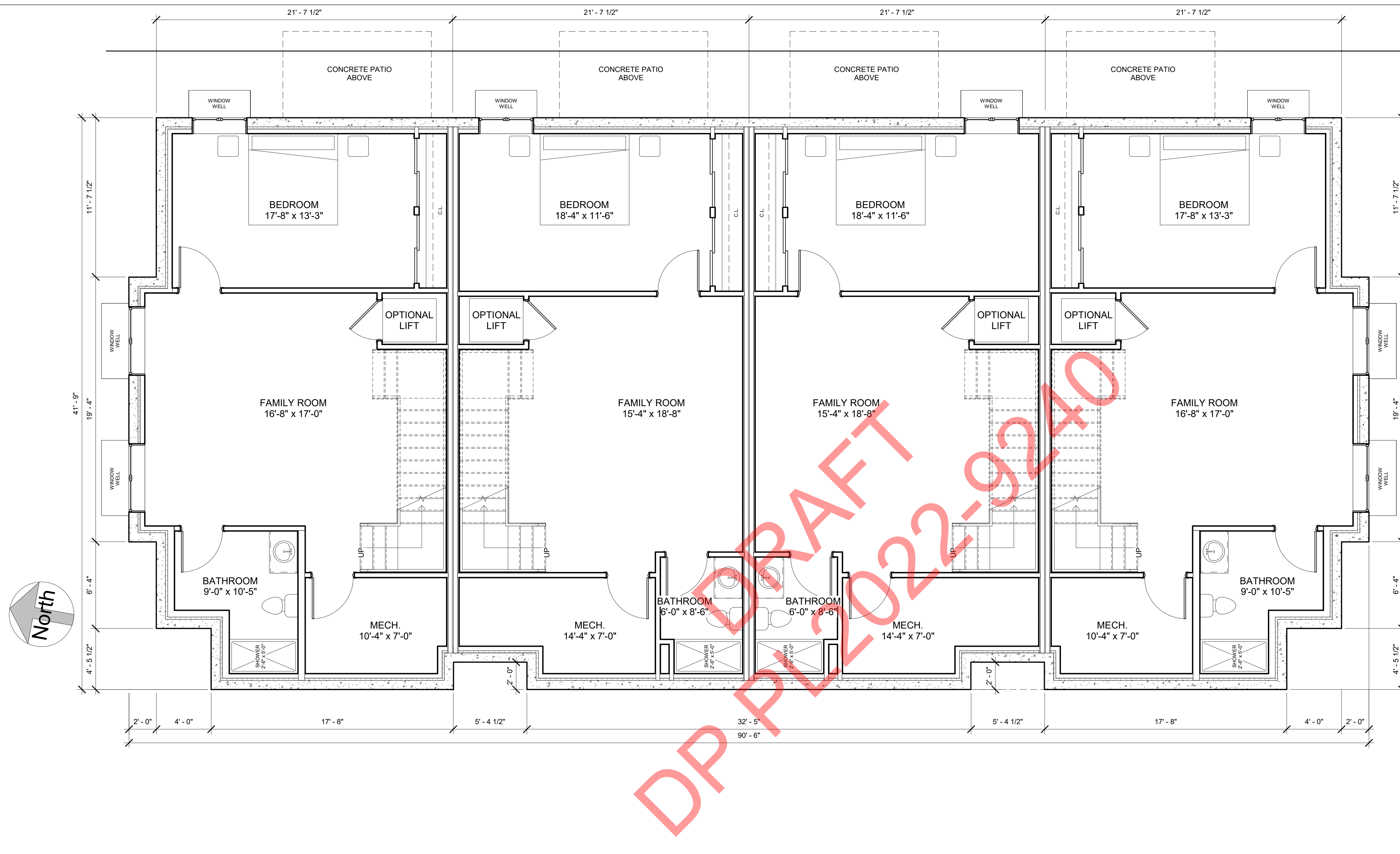
No.	Description	Date
1	ISSUED FOR REVIEW	2021-07-13
2	ISSUED FOR REVIEW	2021-09-03
3	ISSUED FOR REVIEW	2021-09-29
4	ISSUED FOR DP	2021-10-13
5	ISSUED FOR DP	2021-12-21
6	ISSUED FOR DP	2022-03-08
7	ISSUED FOR DP	2022-03-31

Townhouse Units
145 KINNEY AVE, PENTICTON BC
BASEMENT PLAN

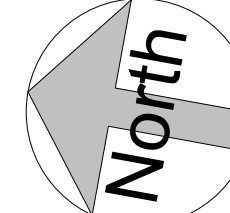
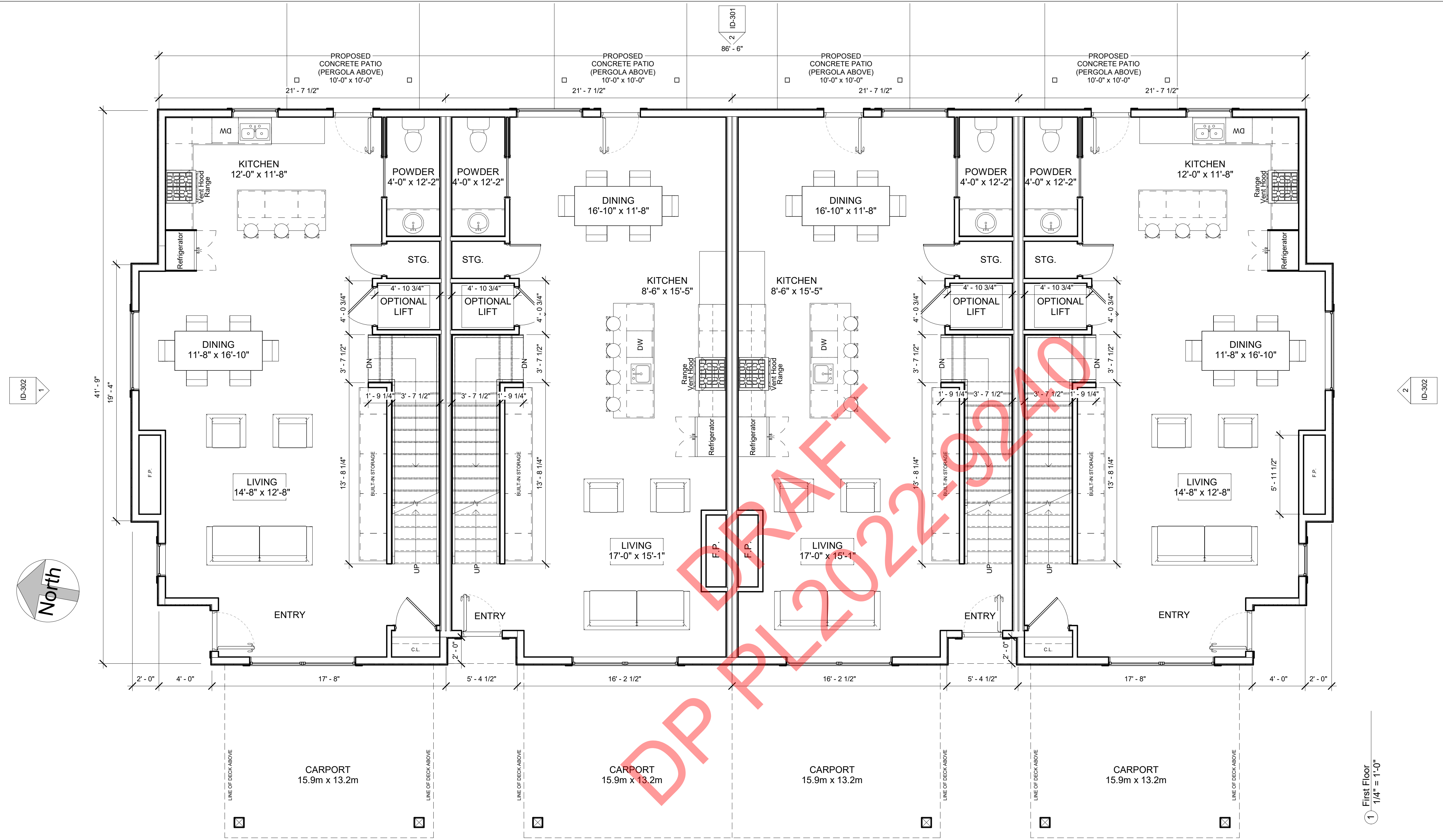
Project number 21-011
Date 2021-12-17
Drawn by J.P.F.

ID-200

Scale 1/4" = 1'-0"



1 Basement
1/4" = 1'-0"



TOTAL MAIN FLOOR AREA:	3,237 SQ.FT.
UNITS 1 & 4:	824 SQ.FT.
UNITS 2 & 3:	791 SQ.FT.
STAIRS & LIFTS PER UNIT:	198 SQ.FT.
TOTAL SECOND FLOOR AREA:	3,388 SQ.FT.
UNITS 1 & 4:	867 SQ.FT.
UNITS 2 & 3:	827 SQ.FT.
STAIRS & LIFTS PER UNIT:	151 SQ.FT.

No.	Description	Date
1	ISSUED FOR REVIEW	2021-07-13
2	ISSUED FOR REVIEW	2021-09-03
3	ISSUED FOR REVIEW	2021-09-29
4	ISSUED FOR DP	2021-10-13
5	ISSUED FOR DP	2021-12-21
6	ISSUED FOR DP	2022-03-08
7	ISSUED FOR DP	2022-03-31

Townhouse Units
145 KINNEY AVE, PENTICTON BC
MAIN FLOOR PLAN

Project number	21-011
Date	2021-12-17
Drawn by	J.P.F.

ID-201

Scale 1/4" = 1'-0"

1 First Floor
1/4" = 1'-0"

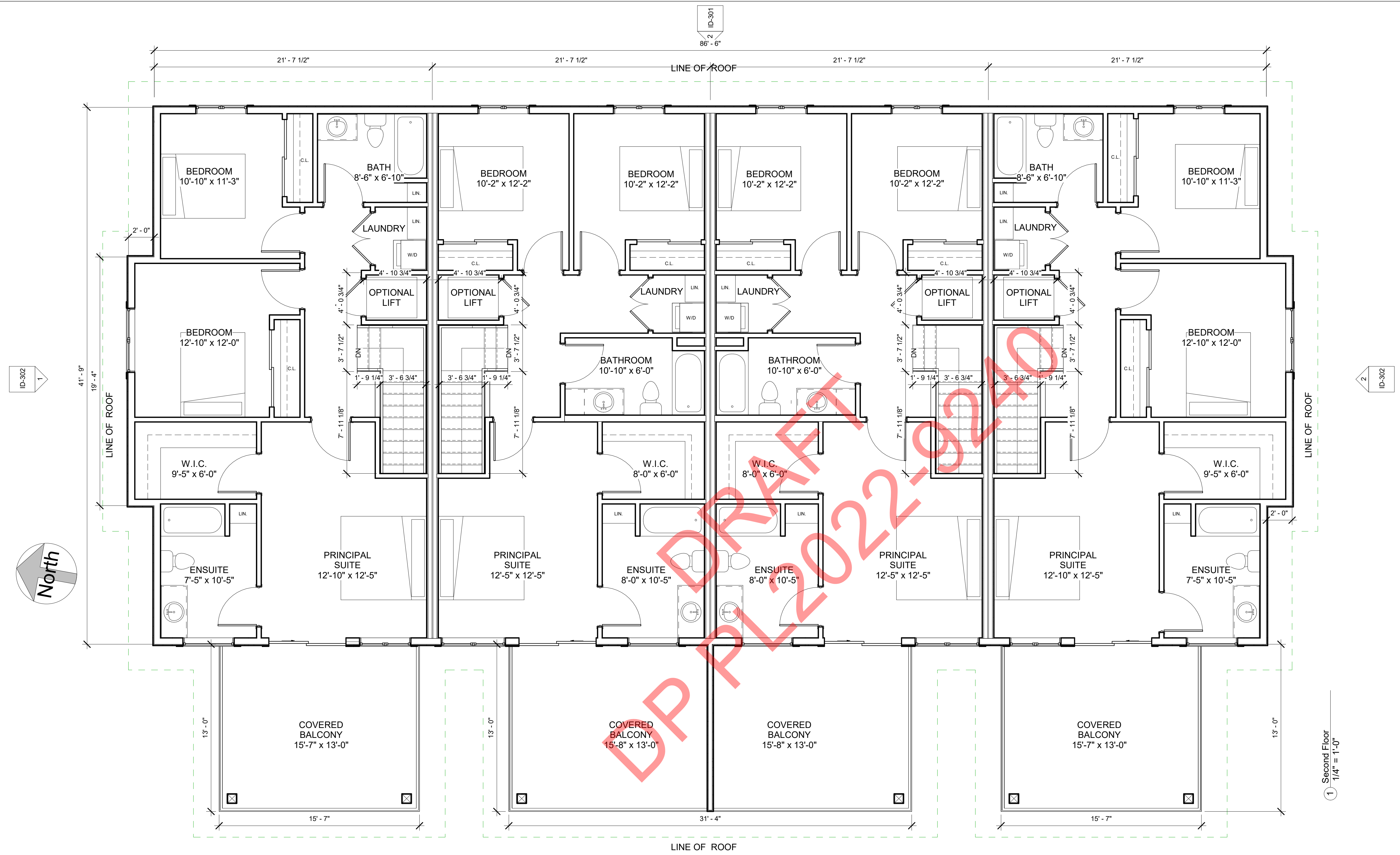
No.	Description	Date
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3	ISSUED FOR REVIEW	2021-09-29
4	ISSUED FOR DP	2021-10-13
5	ISSUED FOR DP	2021-12-21
6	ISSUED FOR DP	2022-03-08
7	ISSUED FOR DP	2022-03-31

Townhouse Units
145 KINNEY AVE, PENTICTON BC
SECOND FLOOR PLAN

Project number	21-011
Date	2021-12-17
Drawn by	J.P.F.

ID-202

Scale	1/4" = 1'-0"
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TOTAL MAIN FLOOR AREA: 3,237 SQ.FT.
UNITS 1 & 4: 824 SQ.FT.
UNITS 2 & 3: 791 SQ.FT.
STAIRS & LIFTS PER UNIT: 198 SQ.FT.

TOTAL SECOND FLOOR AREA: 3,388 SQ.FT.
UNITS 1 & 4: 867 SQ.FT.
UNITS 2 & 3: 827 SQ.FT.
STAIRS & LIFTS PER UNIT: 151 SQ.FT.

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and design

People plus Space: Planning and Design
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250-468-1481
heather@peopleplusspace.ca

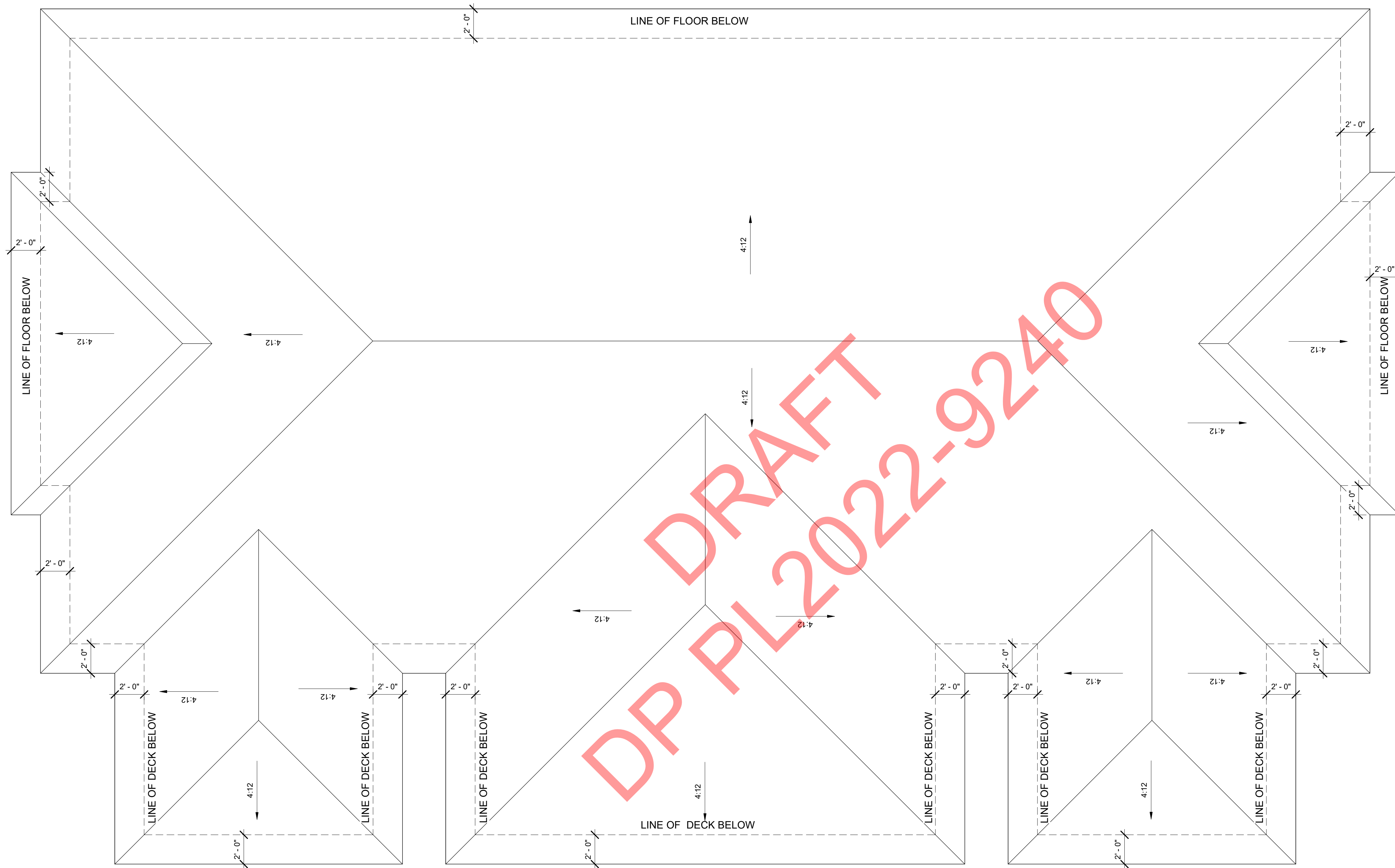
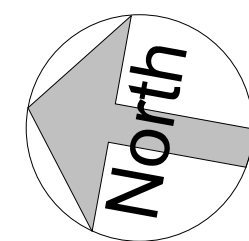
No.	Description	Date
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4	ISSUED FOR DP	2021-10-13
5	ISSUED FOR DP	2021-12-21
6	ISSUED FOR DP	2022-03-08
7	ISSUED FOR DP	2022-03-31

Townhouse Units
145 KINNEY AVE, PENTICTON BC
ROOF PLAN

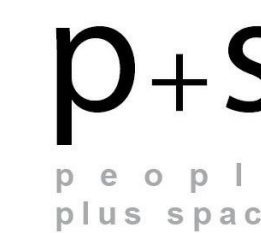
Project number 21-011
Date 2021-12-17
Drawn by J.P.F.

ID-203

Scale 1/4" = 1'-0"



1 Roof Plan
1/4" = 1'-0"



planning and design

People plus Space: Planning and Design
 10124 Main Street
 Summerland BC V0H 1Z0
 250-488-1481
 heather@peopleplusspace.ca

UNPROTECTED OPENING CALCS
 BUILDING FACE: 157.1 SQ.M.
 UNPROTECTED OPENINGS: 43.3 SQ.M.
 LIMITING DISTANCE: 10.75 M
 MAXIMUM PERCENTAGE: 40 %
 ACTUAL PERCENTAGE: 27.6 %

UNPROTECTED OPENING CALCS
 BUILDING FACE: 169 SQ.M.
 UNPROTECTED OPENINGS: 16.1 SQ.M.
 LIMITING DISTANCE: 3.0 M
 MAXIMUM PERCENTAGE: 10 %
 ACTUAL PERCENTAGE: 9.5 %

No.	Description	Date
1	ISSUED FOR REVIEW	2021-07-13
2	ISSUED FOR REVIEW	2021-09-03
3	ISSUED FOR REVIEW	2021-09-29
4	ISSUED FOR DP	2021-10-13
5	ISSUED FOR DP	2021-12-21
6	ISSUED FOR DP	2022-03-08
7	ISSUED FOR DP	2022-03-31

Townhouse Units
 145 KINNEY AVE, PENTICTON BC
EXTERIOR ELEVATIONS

Project number 21-011
 Date 2021-12-17
 Drawn by J.P.F.

ID-301

Scale 1/4" = 1'-0"



① West
 1/4" = 1'-0"

② East
 1/4" = 1'-0"

DRAFT
 DP PL 2022-9240

The Corporation of the City of Penticton

Bylaw No. 2022-20

A Bylaw to Amend Zoning Bylaw 2021-01

WHEREAS the Council of the City of Penticton has adopted a Zoning Bylaw pursuant the Local Government Act;

AND WHEREAS the Council of the City of Penticton wishes to amend Zoning Bylaw No. 2021-01;

NOW THEREFORE BE IT RESOLVED that the Municipal Council of the City of Penticton, in open meeting assembled, hereby ENACTS AS FOLLOWS:

1. Title:

This bylaw may be cited for all purposes as "Zoning Amendment Bylaw No. 2022-20".

2. Amendment:

2.1 Zoning Bylaw No. 2021-01 is hereby amended as follows:

Rezone Lot A District Lot 115 Similkameen Division Yale District Plan 8719, located at 145 Kinney Avenue, from R1 (Large Lot Residential) to RM2 (Low Density Multiple Housing).

2.2 Schedule 'A' attached hereto forms part of this bylaw.

READ A FIRST time this day of , 2022
A PUBLIC HEARING was held this day of , 2022
READ A SECOND time this day of , 2022
READ A THIRD time this day of , 2022
RECEIVED the approval of the day of , 2022
Ministry of Transportation on the
ADOPTED this day of , 2022

Notice of intention to proceed with this bylaw was published on the ___ day of ___, 2022 and the ___ day of ___, 2022 in the Penticton Herald newspaper, pursuant to Section 94 of the Community Charter.

Approved pursuant to section 52(3)(a) of the Transportation Act
this ___ day of ___, 2022
for Minister of Transportation & Infrastructure

John Vassilaki, Mayor

Angie Collison, Corporate Officer



Schedule A: Zoning Amendment Bylaw 2022-20

Date:

Corporate Officer:

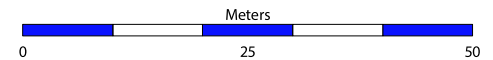


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1:840

April 27, 2022 9:13:25 AM



Coordinate System: NAD 1983 CSRS UTM Zone 11N

Council Report

penticton.ca

Date: May 3, 2022
To: Donny van Dyk, Chief Administrative Officer
From: Nicole Capewell, Planner II
Address: 813, 825, and 877 Westminster Avenue West

File No: RMS/877 Westminster Ave W

Subject: Zoning Amendment Bylaw No. 2022-21

Staff Recommendation

THAT Council give first reading to "Zoning Amendment Bylaw No. 2022-21", for:

1. Lot 1 District Lot 2 Group 7 Similkameen Division Yale (Formerly Yale-Lytton) District Plan 13891;
2. Lot 2 District Lot 2 Group 7 Similkameen Division Yale (Formerly Yale-Lytton) District Plan 13891; and
3. Lot 1 District Lot 2 Group 7 Similkameen (Formerly Yale-Lytton) Division Yale District Plan 15658,

Located at 813, 825 and 877 Westminster Avenue West, a bylaw to rezone the subject properties from CT1 (Tourist Commercial), C7 (Service Commercial), and C8 (Vehicle Service Station) to CD9 – Comprehensive Development Zone (877 Westminster Avenue West),

AND THAT Council forward "Zoning Amendment Bylaw No. 2022-21" to the May 17, 2022 Public Hearing;

AND THAT Council, prior to adoption of "Zoning Amendment Bylaw No. 2022-21", require the following conditions be met:

1. A 2.5m wide road dedication along the eastern property line (Power Street) be registered with the Land Title Office;
2. A 8.5m x 8.5m southeast corner cut at the intersection of Westminster Avenue West and Power Street is registered with the Land Title Office; and
3. A Section 219 Covenant, to ensure the long-term protection and viability of the City-owned boulevard trees prior to, during and after construction, along the Westminster Avenue West frontage of the subject properties, is registered with the Land Title Office.

AND THAT Council requires a higher standard for the Westminster Avenue West and Power Street frontages than the current Subdivision and Development Bylaw requires, to be constructed at the developers cost prior to building occupancy, to be designed in alignment with the vision of the North Gateway Redevelopment and Investment Strategy, including the installation of a treed walkway along Power Street.

Strategic Priority Objective

Vision: A vibrant, innovative, healthy waterfront city focused on sustainability, community and economic opportunity.

Community Vitality: The City of Penticton, guided by the Official Community Plan, will promote the economic wellbeing and vitality of the community.

Proposal

The applicants are proposing a mixed-use (commercial and residential) development on the properties at 813, 825 and 877 Westminster Ave W. The development consists of five, six-storey apartment buildings, and one, six-storey mixed-use building with a total of 305 residential units and 2,000 sq. ft. (186 m²) of commercial retail space (Figure 1). To facilitate this development, the applicant is requesting to rezone the properties from CT1 (Tourist Commercial), C7 (Service Commercial), and C8 (Vehicle Service Station) to CD9 – Comprehensive Development Zone (877 Westminister Avenue West), a zone developed specifically for the proposed development on the subject properties.

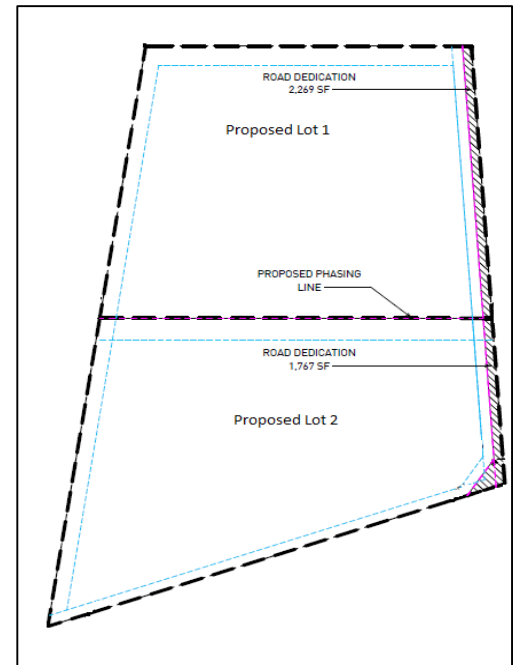


Figure 1 - Proposed Subdivision Plan



Figure 2 - Conceptual Rendering of Proposed Development - Corner of Westminster Ave W and Power Street

The applicants intend to apply for Development Permit and Subdivision applications (Figure 2) following consideration of the Zoning Amendment Bylaw. Given the size of the development, the Development Permit will require Council consideration for issuance.

Background

Property Information

The subject site consists of three separate properties; 813, 825 and 877 Westminster Ave West (referred to as 877 Westminster Ave W or the subject site) - totaling approximately 4.8 acres (1.9 ha) in size (Figure 3). The lands are currently zoned CT1 (Tourist Commercial), C7 (Service Commercial) and C8 (Vehicle Service Station) and are designated by the City’s Official Community Plan as ‘Urban Residential’. The lands currently contain the El Rancho Motor Hotel as well as a car rental business and a hair salon.

The site is prominently located at the intersection of Westminster Ave West and Power Street, within walking distance of Okanagan Lake Beach, Lakawanna Park, the Trade and Convention Centre, Community Centre, and Riverside Plaza. The surrounding neighbourhood contains a diverse mix of zones including commercial uses in the nearby Riverside Plaza, motor vehicle sales and service along the Westminster Ave corridor, and several parks and public assembly uses. The mix of residential zones in the area ranges from R2 (Small Lot Residential) to RM4 (High Density Multiple Housing), including single-family homes, carriage homes, duplexes, fourplexes, apartments and townhouses.

Previous Applications

In 2021, an OCP Amendment application was received for the subject properties that provided a simplified site plan for the proposed development. The application proposed to amend the OCP future land use designation on the properties from ‘Tourist Commercial’ to ‘Urban Residential’. This application was adopted by Council in August 2021 to support the long term vision of the subject property for residential development. The current proposal is in-line with the vision outlined in that OCP amendment.

North Gateway Redevelopment and Investment Strategy

To ensure an orderly, strategic and investment ready environment within this area of the City, the ‘North Gateway Redevelopment and Investment Strategy’ ensures a coordinated approach will be taken to land use, infrastructure needs and economic investment opportunities. The process is currently underway and the emerging vision that the community has identified is one that seeks to create the North Gateway as a welcoming and attractive neighbourhood, supportive of increased varieties of residential densities, tourist accommodation and commercial activity.

While the draft plan is still under development, the concepts created so far through the process seek additional residential density of approximately 2,000 residential units, approximately 30,000 sq. ft. of new commercial/retail space and the addition of approximately 350 new hotel rooms.



Figure 3 - Property Location Map

The areas of policy that are being drafted focus around Land Use and Density, Experience & Atmosphere and Mobility and Connections. Based on the proposal submitted, staff have provided a response to each of these focus areas and how the proposal aligns with the emerging North Gateway vision:

- *Land Use & Density:* The proposal for a mixed-use development, consisting of six, six-storey buildings is supported and within the desired height and density for the area. The proposal would provide just over 300 residential units to the area, and 2,000 sq. ft. of commercial/retail space.
- *The Experience:* The building design and site layout provides for an active façade and appearance along Westminster Ave W and Power St.
- *Mobility & Connections:* The development will provide improvements along the Power Street frontage, including a multi-use pathway that will connect to Lakeshore Drive, which will help to activate and prioritize pedestrian movement through the area.

The future of the Westminster Ave W corridor is also a major focus of the North Gateway Plan, and the proposal will support the vision of a more active mobility corridor, while ensuring the protection of existing boulevard trees.

Financial Implication

The City is responsible for the surveyor and legal fees associated with the recommended road dedications. There is a 2.5m road dedication identified along Power Street and an 8.5m by 8.5m corner cut at the intersection of Power Street and Westminster Ave W. As a condition of zoning, the road dedications will be required to be registered with the Land Title Office.

Technical Review

This application was reviewed by the City's Technical Planning Committee. Servicing and building code requirements have been identified to the applicant and will be addressed as part of the building permit processes. It is the property owner's responsibility to provide services and/or upgrade existing services as required. High level comments have been provided, and several departments continue to have ongoing discussions with the applicant, as they work to prepare subsequent development application packages.

It is staff's understanding that the subject property currently provides long-term, affordable market housing to a number of individuals. Should this application and development proceed forward, the availability of these long-term units would likely, at some point in time, be terminated. The City does not have a formal process, policy or legislated requirement to require housing for every tenant being displaced. The legislative requirements between landlords and tenants are regulated by the *Residential Tenancy Act*, and the Residential Tenancy Branch., Despite not having a relocation policy in effect, City staff will provide support to the owner/applicant, BC Housing and service providers, where possible, to assist in providing rehousing solutions.



Figure 4 - Map Indicating Road Dedication Locations (shown in red)

Boulevard trees

There are 4 large American Elm boulevard trees fronting the subject property along Westminster Ave W (Figure 4). Given that these four trees are listed on Penticton's Heritage/Significant Trees list within the Municipal Properties Tree Bylaw No. 2001-26, the City has obtained an arborist report to review the current condition, assess building location and make recommendations on how development can occur, while respecting the existing trees. The arborist report has been included as Attachment 'F'. While it is expected that development can occur while respecting the trees, staff consider that further measures of protection should be included as a condition of zoning in an effort to ensure the protection and long term viability of the trees throughout and after construction. Staff consider a covenant as the most effective means of legal protection for the mature and significant boulevard trees.



Figure 5 - Boulevard Trees Fronting Subject Property along Westminster Ave W

As such, city staff have recommended, as a condition of the zoning amendment, that the applicant be required to register a conservation covenant on the titles of the properties for the purpose of protecting and conserving the boulevard trees along Westminster Ave W. The scope of the covenant would be around the protection zone of the trees, which crosses onto private property at this location, and may prohibit excavation or construction activities to ensure protection and long-term viability of the trees. It is possible that the site plan will require revisions to ensure the protection of the boulevard trees (e.g., parkade and building locations).

Section 219 covenants can protect trees or sensitive ecosystems on developing properties, impose maintenance or restoration requirements and restrict actions that could damage the protected features. Covenants can help to provide clarity around what is protected on a site; both to the municipality as the site moves through the development process, and to future owners so that they know what is protected on their property. Covenants can be amended or discharged and do not have to be perpetual agreements. As staff are recommending that Council require the covenant as a condition of the zoning amendment, Council has the ability and authority to amend or remove the covenant in the future, if required.

Street Frontage Improvements

Included, as a condition of the zoning amendment, is a requirement for the developer to make improvements to both the Power St and Westminster Ave W frontages. These improvements will include the construction of a multi-purpose walkway along Power St. These improvements are currently a higher standard than the requirements set out in the Subdivision and Development Bylaw, however, they are aligned with the vision for this area being established within the North Gateway Redevelopment and Investment Strategy. The intent of adding this condition to the zoning amendment is that the applicant will

contribute and construct to the standard that is envisioned by the North Gateway Redevelopment and Investment Strategy (which has not yet been adopted by Council). Once the North Gateway Redevelopment and Investment Strategy has been finalized, it is expected that amendments to pertinent bylaws will occur, including the Official Community Plan (OCP) and the Subdivision and Development Bylaw.

Next Steps/Required Applications

The proposal is to allow for mixed-use development on the subject property. The following table outlines the planning applications that are required for the proposed development to proceed (prior to any building permits being issued):

Application Required	Description	Approval Authority
Zoning Amendment Bylaw	To amend the zoning on the subject property from CT1 (Tourist Commercial), C7 (Service Commercial), and C8 (Vehicle Service Station) to CD9 – Comprehensive Development Zone (877 Westminster Avenue West)	Council Public Hearing required.
Subdivision	To realign the property lines across the three properties existing	Approving Officer – staff
Development Permit	To approve the form and character of the multi-family residential development	Council

Development Statistics

The following table outlines the proposed development statistics on the plans submitted with the development application:

	CD9 Zone Requirement	Proposed Lot 1 (A)	Proposed Lot 2 (B)
Minimum Lot Width*:	43 m	84.324 m	43.629 m
Minimum Lot Area*:	8,200 m ²	8,232 m ²	8,404 m ²
Maximum Lot Coverage:	40%	38%	37%
Total Units Proposed		156 dwelling units	149 dwelling units 2,000 sq. ft. commercial
Maximum Density:	2.1 Floor Area Ratio (FAR)	2.07 FAR	2.02 FAR
Vehicle Parking: Residential:	1 space per residential dwelling unit 0.25 spaces per unit	156 units proposed Required: 195 spaces Provided: 195 spaces	149 units proposed Required: 186 spaces Provided: 185 spaces **
Commercial Parking:	No spaces required	No spaces required	No spaces required
Required Setbacks			
Front Yard:	3.0 m	3.0 m	3.0 m
Interior Side Yard:	4.5 m	5.99 m (north)	6.6 m (north)

Interior Side Yard:	4.5 m	13.82 m (south)	n/a
Exterior Side Yard	3.0 m	n/a	3.0 m (south)
Rear Yard:	4.5 m	4.5 m (west)	4.5 m (west)
Maximum Building Height	21 m	20.83 m	20.88 m
Other Information:	*Lot width and lot area are only applicable at the time of subdivision. ** Zoning Bylaw Section 6.1.2: 5 additional Class 1 bicycle spaces provided in lieu of 1 vehicle space.		

Analysis

Zoning Amendment

The OCP designation for the subject properties is 'Urban Residential', which supports 3 to 6 storey apartment buildings in higher-amenity areas. The proposed development is consistent with the OCP vision for the property. To achieve the desired OCP land use, the applicant has applied for a rezoning to a comprehensive development zone. Comprehensive development zones give the ability to look at a site on a 'site-specific' level and construct a zone that is reflective of the best way to develop that particular property.

Staff consider that the creation of a Comprehensive Development (CD) zone is suitable for the proposed development. Due to the uniqueness of the subject properties and the opportunity to improve the pedestrian experience and streetscape through the development, a CD zone was selected to be utilized. This property is also located at the prominent corner of Westminster Ave W and Power Street, and as such, the CD zone has been drafted to include a variety of small commercial uses that could utilize the proposed 2,000 sq. ft. of commercial space located at the corner of the property.

- | | |
|------------|--|
| OCP Goal | Managing Residential Growth |
| 4.1.1 | Ensure that Penticton retains its compact 'footprint' to help protect natural areas and environmental values and agricultural lands, avoid excessive infrastructure costs and hazard lands, and help create conditions that support transit and active modes of transportation. <ul style="list-style-type: none"> • The proposed development represents brownfield development and utilizes a large site within the existing footprint of the City. The proposal would utilize existing infrastructure and not require the extension of any City services to allow for the units to be constructed. • The proposed development is also in an area of the City that is conducive to active transportation methods and encourage occupants and visitors to utilize alternative modes of transportation to get around. |
| OCP Policy | Focus new residential development in or adjacent to existing developed areas. |
| 4.1.1.1 | <ul style="list-style-type: none"> • The proposed development represents brownfield development and utilizes a large site within the existing footprint of the City. The proposal would utilize existing infrastructure and not require the extension of any City services to allow for the units to be constructed. |
| OCP Policy | Avoid development in environmentally-sensitive areas, geological hazard and flood hazard areas, on steep slopes, in agricultural areas and in areas not readily served by transit. |
| 4.1.1.2 | |

- The subject property is within the existing footprint of the City and does not impose on environmentally-sensitive areas.
- The property is located near Okanagan Lake, where the water table has been known to be higher. The applicants and their agents are aware of this and have planned accordingly in designing the parkade structure. They anticipate further explorations works to be required as the project progresses.

OCP Goal
4.1.2 Housing Affordability
Increase the availability of affordable housing across the housing spectrum, from subsidized social housing to home-ownership options.

- The proposed development provides opportunities for a variety of unit types to be available, which increases the availability of housing in the community.

OCP Goal
4.1.3 Housing Diversity
Ensure a range of housing types, sizes, tenures and forms exist throughout the city to provide housing options for all ages, household types and incomes.

- The proposed development provides a variety of unit sizes that would be available for different ages, and households.

OCP Policy
4.1.3.1 Encourage more intensive ‘infill’ residential development in areas close to the Downtown, to employment, services and shopping, through zoning amendments for housing types compatible with existing neighbourhood character, with form and character guided by Development Permit Area Guidelines.

- The subject property is located within an existing area of the City, in proximity of the downtown, and shops and services. The property is considered a large infill lot that is currently underutilized in a desirable location of the City.

OCP Policy
4.1.3.6 Require amenity areas in all multifamily and mixed-use projects through regulations in the Zoning Bylaw

- The proposed development has provided ample amenity space, through private balconies for residential units, and shared at-grade amenity areas within the development. Large areas are identified for amenity space, and specific details on what amenities will be provided will be included in the future Development Permit application.
- An amenity building is also proposed on the north property.

OCP Policy
4.2.3.8 Require adequate levels of secure bike parking in new multi-family, mixed-use and commercial development.

- The proposed development has provided adequate bicycle parking in compliance with the Zoning Bylaw, which includes secure bike parking for users of the property.

OCP Goal
4.3.1 Strategic Investment Areas
Focus economic development priorities and infrastructure investment in strategic areas to support existing public infrastructure and assets, and to encourage private investment.

OCP Policy
4.3.1.1 Target Civic Investment in: The Northern Gateway to intensify development around the SOEC/Community Centre/Memorial Arena campus and City parkland/beaches, to enhance the entryway to the city and the Downtown, to support the established

Lakeshore/Riverside tourist commercial precinct and to create opportunities for walking and cycling.

- The proposed development is located at a prominent corner within the North Gateway area. The City has prioritized this area for investment by undergoing a strategic planning initiative.
- This development represents significant investment on a key property in this area, providing new residential and commercial space. This development also has the opportunity to liven and activate the corner at Westminster Ave W and Power St further, to encourage more pedestrian traffic and activity.

OCP Policy
4.3.6.3

Recognize that business growth is reliant on adequate housing availability, and work to develop policies that encourage housing development.

- The proposed development would add residential dwelling units to an area of the City where employment exists. This could provide employees with opportunities for housing near their employment.

Further to these OCP Goals and Policies, the OCP outlines a growth plan for the City which places a great emphasis on strategic and sensitive use of our limited land base. It recognizes that we must make the most efficient use of the land and infrastructure that we have available, and also protect the natural environment that many of our resident’s value. Penticton’s Growth Plan (OCP, Page 43) indicates 4 key methods to achieve this growth plan:

1. Intensification of existing urban areas,
2. Maximizing the use of existing assets and infrastructure,
3. Creating complete and accessible communities, and
4. Minimizing negative impacts on natural areas.

The proposed development demonstrates strong conformance with the City’s OCP Goals, Policies and growth plan. Staff consider that the proposed development is a strong application in a desired area of the community that has been identified for higher density within the City’s OCP.

Given that there is adequate policy through the OCP to support the proposal to rezone the subject property from CT1 (Tourist Commercial), C7 (Service Commercial), and C8 (Vehicle Service Station) to CD9 – Comprehensive Development Zone (877 Westminster Avenue West), staff recommend that Council give first reading to “Zoning Amendment Bylaw No. 2022-21”, and forward the bylaw to the May 17, 2022 Public Hearing to gather comments and feedback from the public.

Alternate Recommendations

Council may consider that the proposed development could be supported if minor adjustments were made.

Council may consider that a Comprehensive Development zone is not appropriate for the subject properties, or that the development is not suitable for the area. If this is the case, Council may wish to not proceed with the Zoning Amendment as proposed and select alternative recommendation #1. Staff are not recommending this option, as in staff’s opinion, the proposed development is well-aligned with the OCP designation that exists on the properties, and is a significant development opportunity in a desired location of the City.

1. THAT Council deny first reading of "Zoning Amendment Bylaw No. 2022-21".

Attachments

- Attachment A – Zoning Map
- Attachment B – Official Community Plan Map
- Attachment C – Photos of Property
- Attachment D – Letter of Intent
- Attachment E – Proposed Plans
- Attachment F – Arborist Report
- Attachment G – Draft CD9 Zoning Regulations
- Attachment H – Zoning Amendment Bylaw No. 2022-21

Respectfully submitted,

Nicole Capewell, RPP, MCIP
Planner II

Concurrence

Director of Development Services <i>BL</i>	General Manager of Infrastructure <i>KD</i>	General Manager of Community Services <i>SH</i>	Acting Chief Administrative Officer KD
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Attachment A – Zoning Map



Attachment B – Official Community Plan Map



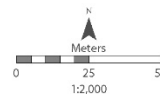
813, 825, 877 Westminster Ave

Official Community Plan Map



Legend

- Subject Parcel
- Future Land Use
- Ground Oriented Residential
- Tourist Commercial
- Institutional and Civic
- Urban Residential
- Mixed Use



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Thursday, Apr 01, 2022 9:19:35 AM

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Attachment C – Photos of Property



Looking north at subject properties from Westminster Ave W



Looking north at subject properties from Westminster Ave W



Looking west at subject properties from Power Street



January 10, 2022

City of Penticton

Planning and Land Use Department

Attn: Blake Laven

171 Main Street

Penticton, BC, V2A 5A9

RE: LETTER OF INTENT | 877 (825, 813) Westminster Avenue

The site located at 877 Westminster Avenue (currently operating as the El Rancho Motel – a 74 unit motel originally built in the 1960s), is comprised of three separate parcels. The properties are currently zoned CT1 (Tourist Commercial), C7 (Service Commercial) and C8 (Vehicle Service Station) and designated as Tourist Commercial by the Official Community Plan’s Future Land Use Map.

The design anticipates to develop the site in two phases: Phase 1 - North, Phase 2 - South. The intent of this application is to rezone the site to allow for Mixed Use Multiple Housing Commercial.

The retail component proposed will align with the City’s emerging vision for the new “North Gateway Plan” in the area bordered by Riverside Drive to the west, Highway 97 and the Penticton Golf and Country Club to the south, Power Street and Veas Drive to the east and Churchill Avenue and Lakeshore Drive to the north.

The North Gateway area is home to many community assets including, the South Okanagan Event Centre, the Penticton Trade & Convention Centre, the Community / Aquatic Centre, the Okanagan Hockey School, the Cleland Theatre and the Gateway Casino, as well as many current and planned commercial, residential and business developments.

The retail component will attract shoppers and tourists from the City’s Convention Centre and hotel complex from this upcoming vibrant neighbourhood.

The retail component will be tourist themed and may include a spa, bistro, wine bar, resort clothing and gift store, tour operators and other tourism services.

The proposal aligns with the OCP Goals and policies, providing a range of housing types for all ages, household types, and incomes, sensitively designed to create a sense of place and character for this new development.



PHASE 1 - NORTH

The north parcel, adjacent to Riverside Drive to the north and Power Street to the East, anticipates the construction of three wood frame six story residential structures, above one level of parkade.

This portion of the development consists of 196,684 SF of Gross floor area, providing 156 single level residential units, with a mix of 1 bedroom, 2 bedroom, and 3 bedroom units.

A common private courtyard separates the three buildings, providing private outdoor amenity in association with 1,800 SF of internal amenity space supplied by a one level stand-alone building located in the center of the courtyard.

The three lobbies open onto the common courtyard, with primary connection to Power Street, through a common, double oriented Lobby on Building 2.

The parkade is located 4 ft below the sidewalk and setback from the property line to allow for berming and perimeter landscaping. This will ensure that the parking structure is completely hidden from view and provide a gentle transition from the top of the structure to the sidewalk.

The ground level units have private patios that face the interior courtyard and the public realm, positively contributing to the pedestrian experience, within the project and in the public realm.

PHASE 2 - SOUTH

The south parcel, adjacent to Westminster Avenue, anticipates the construction of three wood frame six story residential structures, above one level of parkade.

This mixed-use portion of the development consists of 198,197 SF including a 8,600 SF retail podium along Westminster Avenue and providing 148 single level Residential units, with a mix of 2 bedroom, and 3 bedroom units.

A common courtyard separates the three buildings, providing private outdoor amenity in association with 1,892 SF of internal amenity space.

The three lobbies open onto the common courtyard, with primary connection to Westminster Avenue, through accessible ramps and stairs.



The parkade is located 4 ft below the sidewalk and completely concealed by berming and perimeter landscaping, providing a gentle transition to grade.

Along Westminster Avenue a retail podium on Building 6 activates the public realm with grade entrances, signage and tourist-oriented uses. A dedicated elevator at grade level connects to shared visitor and commercial parking.

The ground level units have private patios that face the interior courtyard and the public realm, positively contributing to the pedestrian experience, within the project and in the public realm.

The attached architectural plans illustrate the extent of this development, including floor plans, sections, shadow studies, elevations and preliminary massing views.

The intent is to propose a development that harmonizes with the site location & marketplace, for best present and future utilization.

Please contact me should you require any further information regarding this application.

Best regards,

Paul Goodwin, Architect AIBC

GBL Architects Inc.

Attachment E - Proposed Plans



City of Penticton
Planning and Land Use Department
Attn: Blake Laven
171 Main Street
Penticton, BC, V2A 5A9

RE: LETTER OF INTENT | 877 (825, 813) Westminster Avenue

The site located at 877 Westminister Avenue (currently operating as the El Rancho Motel – a 74 unit motel originally built in the 1960s), is comprised of three separate parcels. The properties are currently zoned CT1 (Tourist Commercial), C7 (Service Commercial) and C8 (Vehicle Service Station) and designated as Tourist Commercial by the Official Community Plan’s Future Land Use Map.

The design anticipates to develop the site in two phases: Phase 1 - North, Phase 2 - South. The intent of this application is to rezone the site to allow for Mixed Use Multiple Housing Commercial.

The retail component proposed will align with the City’s emerging vision for the new “North Gateway Plan” in the area bordered by Riverside Drive to the west, Highway 97 and the Penticton Golf and Country Club to the south, Power Street and Veas Drive to the east and Churchill Avenue and Lakeshore Drive to the north.

The North Gateway area is home to many community assets including, the South Okanagan Event Centre, the Penticton Trade & Convention Centre, the Community / Aquatic Centre, the Okanagan Hockey School, the Cleland Theatre and the Gateway Casino, as well as many current and planned commercial, residential and business developments.

The retail component will attract shoppers and tourists from the City’s Convention Centre and hotel complex from this upcoming vibrant neighbourhood. The retail component will be tourist themed and may include a spa, bistro, wine bar, resort clothing and gift store, tour operators and other tourism services.

The proposal aligns with the OCP Goals and policies, providing a range of housing types for all ages, household types, and incomes, sensitively designed to create a sense of place and character for this new development.

PHASE 1 - NORTH

The north parcel, adjacent to Riverside Drive to the north and Power Street to the East, anticipates the construction of three wood frame six story residential structures, above one level of parkade.

This portion of the development consists of 196,674 SF of Gross floor area, providing 156 single level residential units, with a mix of 1 bedroom, 2 bedroom, and 3 bedroom units.

A common private courtyard separates the three buildings, providing private outdoor amenity in association with 1,800 SF of internal amenity space supplied by a one level stand-alone building located in the center of the courtyard.

The three lobbies open onto the street and lane, with the lobby of Building 3 opening to an interior street at the southern edge of the lot, providing access for Fire Fighters and visitors.

The parkade is located 5 ft below the sidewalk and setback from the property line to allow for berming and perimeter landscaping. This will ensure that the parking structure is completely hidden from view and provide a gentle transition from the top of the structure to the sidewalk.

The ground level units have private patios that face the interior courtyard and the public realm, positively contributing to the pedestrian experience, within the project and in the public realm.

PHASE 2 - SOUTH

The south parcel, adjacent to Westminister Avenue, anticipates the construction of three wood frame six story residential, structures above one level of parkade.

This mixed-use portion of the development consists of 195,730 SF including a 2,000 SF retail podium at the corner between Power street and Westminister Avenue and providing 149 single level Residential units, with a mix of 2 bedroom, and 3 bedroom units. A common courtyard separates the three buildings, providing private outdoor amenity in association with 3,162 SF of internal amenity space.

The three lobbies open onto the streets, with the lobby of Building 4 opening to an interior street at the southern edge of the lot, providing access for Fire Fighters and visitors.

The parkade is located 5 ft below the sidewalk and completely concealed by berming and perimeter landscaping, providing a gentle transition to grade.

At the corner between Power street and Westminister Avenue a retail podium on Building 5 activates the public realm with grade entrances, signage and tourist oriented uses. A generous setback along Power Street creates a Plaza that activates the prominent corner and provides opportunities for outdoor patios for the retail spaces. A dedicated elevator at grade level connects to shared visitor and commercial parking.

The ground level units have private patios that face the interior courtyard and the public realm, positively contributing to the pedestrian experience, within the project and in the public realm.

The attached architectural plans illustrate the extent of this development, including floor plans, sections, shadow studies, elevations and preliminary massing views.

The intent is to propose a development that harmonizes with the site location & marketplace, for best present and future utilization.

Please contact me should you require any further information regarding this application.

Best regards,

Paul Goodwin, Architect AIBC
GBL Architects Inc.



■ GBL ARCHITECTS INC.
139 EAST 8TH AVENUE TEL 604 736 1156
VANCOUVER, BC CANADA V5T 1R8 FAX 604 731 5277

NOTES

REVISIONS

No.	Date	Description
01	2020-05-27	OCP Amendment bylaw No. 2020-35
02	2022-01-12	ISSUED FOR RZ
03	2022-03-14	RE-ISSUED FOR RZ

CIVIC ADDRESS: 877 WESTMINSTER AVE, PENTICTON

LEGAL ADDRESS: LOT 1, DL 2, GP 7, SDYD, PLAN 15658
LOT 1, DL 2, GP 7, SDYD, PLAN 13891
LOT 2, DL 2, GP 7, SDYD, PLAN 13891

CURRENT ZONING: CT1 Tourist Commercial



North Gateway Redevelopment & Investment Strategy Area



877 WESTMINSTER AVE - PENTICTON

REZONING APPLICATION

SITE LOCATION

DATE 3/14/2022 4:40:15 PM
DRAWN BY BI
CHECKED BY PG
SCALE

JOB NUMBER 1603

A-0.02



■ GBL ARCHITECTS INC.
139 EAST 8TH AVENUE TEL 604 736 1156
VANCOUVER, BC CANADA V5T 1R8 FAX 604 731 5279

NOTES

REVISIONS

No.	Date	Description
01	2020-05-27	OCP Amendment bylaw No. 2020-35
02	2022-01-12	ISSUED FOR RZ
03	2022-03-14	RE-ISSUED FOR RZ

877 WESTMINSTER AVE - PENTICTON
REZONING APPLICATION

SURVEY

DATE 3/14/2022 4:40:16 PM
DRAWN BY BI
CHECKED BY PG
SCALE

JOB NUMBER 1603

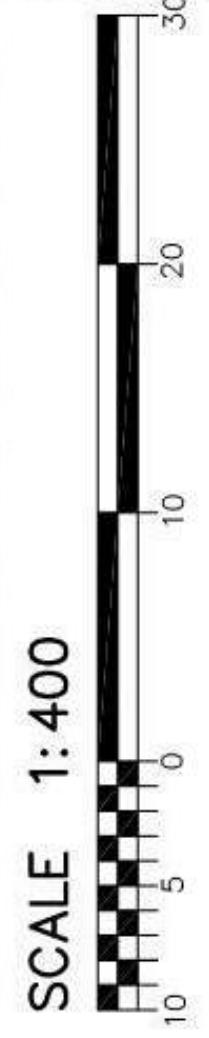
A-0.03



SITE PLAN SHOWING CERTAIN FEATURES AND PROPOSED SUBDIVISION OF:

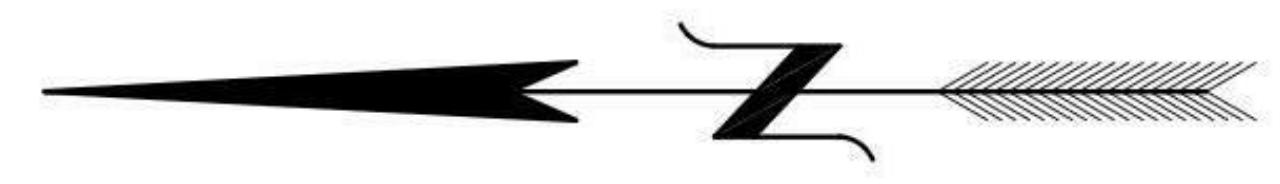
- 1) LOT 1, DL 2, Gp 7, SDYD, PLAN 15658
- 2) LOT 1, DL 2, Gp 7, SDYD, PLAN 13891
- 3) LOT 2, DL 2, Gp 7, SDYD, PLAN 13891

CIVIC ADDRESS: 877 WESTMINSTER AVE, PENTICTON
PID: 008-754-314, 009-140-263, 009-140-280



SCALE 1:400

A PLAN 28399



- LEGEND**
- WATER VALVE
 - MANHOLE
 - CATCH BASIN
 - FIRE HYDRANT
 - CLEAN-OUT
 - LAMP STANDARD
 - GAS
 - ROAD SIGN
 - FENCE
 - CEDAR TREE
 - TREE WITH TRUNK DIAMETER AND CANOPY SPREAD

MANDEVILLE LAND SURVEYING INC.
PROFESSIONAL B.C. AND CANADA LAND SURVEYORS
582 MARTIN STREET, PENTICTON, B.C.
PH. 250-488-6377 WEB: MSURVEYING.COM
FILE: 21-319 DWG: 21-319

NOTE: OTHER SERVICES MAY EXIST
NOTE: OTHER SERVICES MAY EXIST
THIS PLAN IS BASED ON AVAILABLE TITLE AND FIELD SURVEY
UNREGISTERED INTERESTS HAVE NOT BEEN CONSIDERED.
FIELD SURVEY COMPLETED THIS 19th DAY OF NOVEMBER, 2021.
ELEVATIONS ARE GEODETIC (ORTHOMETRIC HTV2.0) DERIVED FROM
GNSS OBSERVATION AND PRECISE POINT POSITIONING (PPP)
ALL DIMENSIONS ARE IN METRES AND DECIMALS THEREOF
UNLESS OTHERWISE NOTED
NOTE: SUBJECT TO THE NON-FINANCIAL
CHARGES AND INTERESTS WHICH MAY
AFFECT THE PROPERTY TITLE AND RELATED
CHARGE DOCUMENTS FOR CONFIRMATION
UNAUTHORIZED USE.

LAND SURVEYING COMPANY AND SURVEYOR ACCEPT NO RESPONSIBILITY
FOR AND HEREBY DISCLAIM ALL OBLIGATIONS AND LIABILITIES FOR DAMAGES
INCLUDING, BUT NOT LIMITED TO, DIRECT, INDIRECT, SPECIAL, AND CONSEQUENTIAL
DAMAGES ARISING OUT OF OR IN CONNECTION WITH ANY DIRECT OR INDIRECT USE
THIS PLAN IS PREPARED SOLELY FOR A LIMITED
CONTRACTUAL USE BETWEEN MANDEVILLE LAND SURVEYING
AND OUR CLIENT. IT IS NOT TO BE USED FOR THE LOCATION
OF PROPERTY LINES. WE ACCEPT NO RESPONSIBILITY FOR ANY
UNAUTHORIZED USE.

SITE AREA: 183,126 SF (4.2 acres)
 PROPOSED PHASE 1(North): 90,886 SF (2.1 acres)
 PROPOSED PHASE 2(South): 92,235 SF (2.1 acres)
 ROAD DEDICATION: 4,036 SF (2,269 SF PHASE 1 - 1,767 SF PHASE 2)
 NOTE: All density calculation use Gross site area (including road dedication).

NET SITE AREA (North): 88,617 SF
 NET SITE AREA (South): 90,468 SF

PROPOSED USES: Mixed Use

TOTAL HORIZONTAL AREA	
PHASE	AREA
PHASE 1 - NORTH	34,036.0 SF
PHASE 2 - SOUTH	33,216.9 SF
TOTAL	67,252.9 SF

Refer to A-1.01 for area breakdown
 Excludes parking structure area

LOT COVERAGE (BUILDINGS)

LOT A - NORTH: 38%
 LOT B - SOUTH: 37%
 TOTAL: 37.5%

LOT COVERAGE CALCULATION:
 HORIZ. AREA / NET SITE AREA

LOT COVERAGE (HARD SURFACING)

LOT A - NORTH: 91%
 LOT B - SOUTH: 91%
 TOTAL: 91%

LOT COVERAGE CALCULATION:
 HARD SURFACING/ NET SITE AREA
 Includes parking structure, walkways, building, patios, driveways.

HARD SURFACING

LOT A - NORTH: 80,834 SF
 LOT B - SOUTH: 82,700 SF
 TOTAL: 163,534 SF

Includes parking structure, walkways, building, patios, driveways.

SETBACKS

Front yard:
 a)
 b)
 Interior side yard: Lane
 Rear yard:

Westminster Ave.: min 9'-10" (3m)
 Power street: min 9'-10" (3m)
 min 14'-9" (4.5m)
 Residential: min 14'-9" (4.5m)
 Parking: min 9'-10" (3m) - bermed

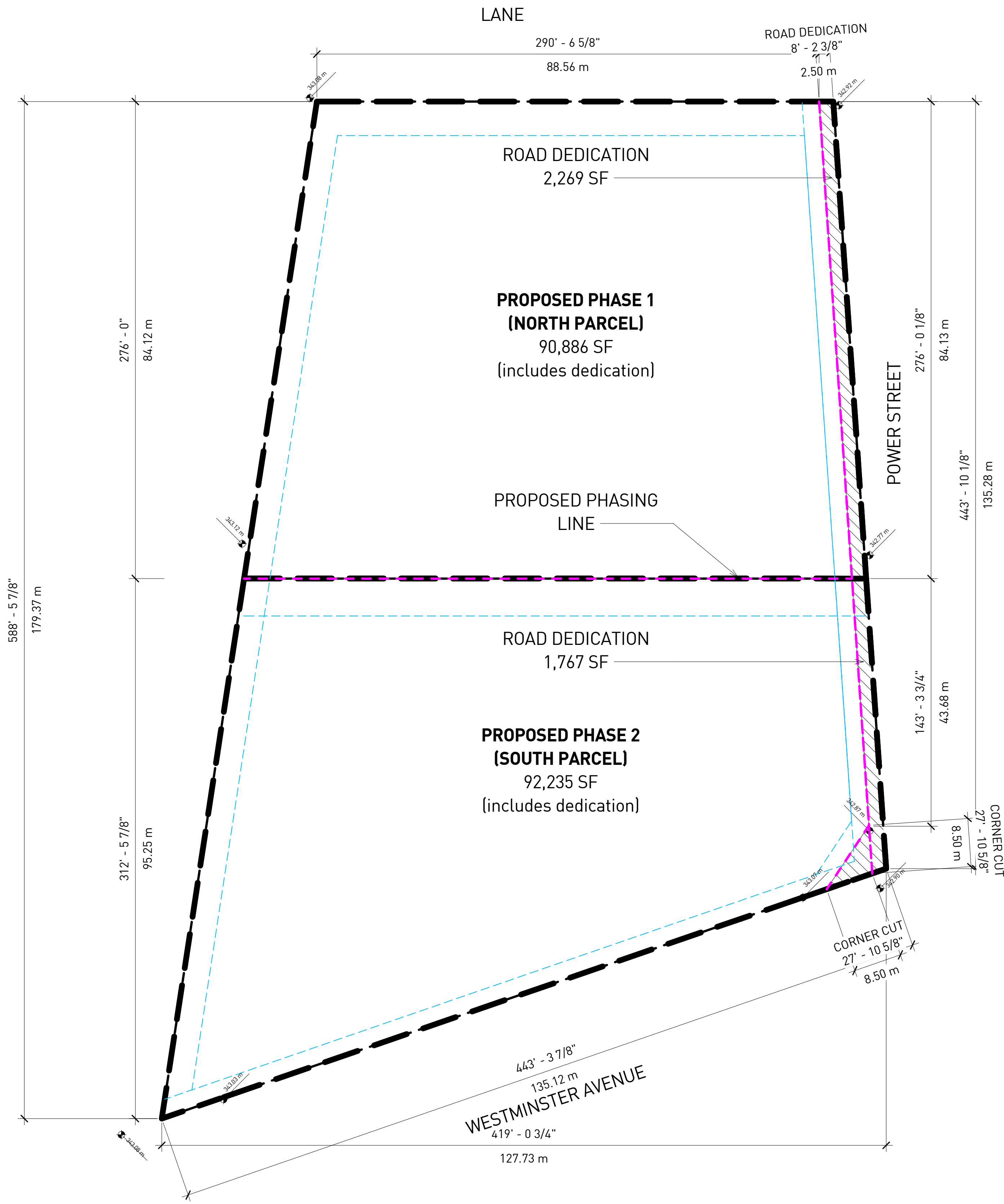


■ GBL ARCHITECTS INC.
 139 EAST 8TH AVENUE VANCOUVER, BC CANADA V5T 1R8
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NOTES

REVISIONS

No.	Date	Description
01	2020-05-27	OCP Amendment bylaw No. 2020-35
02	2022-01-12	ISSUED FOR RZ
03	2022-03-14	RE-ISSUED FOR RZ



SITE DATA
 1" = 40'-0"



SEATING DIAGRAM
 1" = 40'-0"

- HARD SURFACING
- PARKING OUTLINE
- SETBACK
- DEDICATION

877 WESTMINSTER AVE - PENTICTON
 REZONING APPLICATION

SITE DATA

DATE 3/14/2022 4:40:17 PM
 DRAWN BY BI
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 SCALE 1" = 40'-0"

JOB NUMBER 1603

A-0.04

NOTES

REVISIONS

No.	Date	Description
01	2020-05-27	OCP Amendment bylaw No. 2020-35
02	2022-01-12	ISSUED FOR RZ
03	2022-03-14	RE-ISSUED FOR RZ

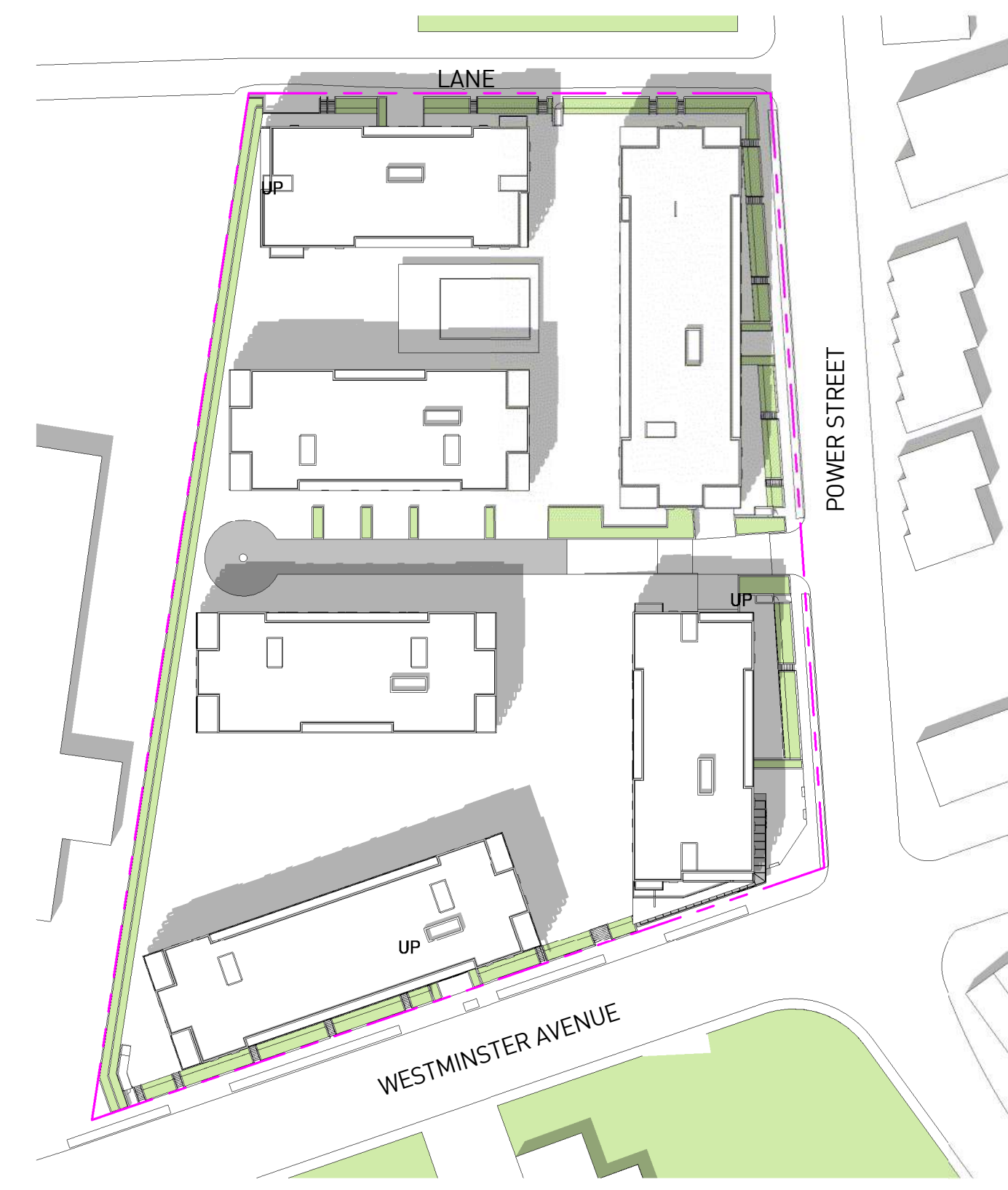
SUMMER SOLSTICE



SHADOW STUDY - SUMMER SOLSTICE - 10AM
1" = 80'-0"



SHADOW STUDY - SUMMER SOLSTICE - 12PM
1" = 80'-0"



SHADOW STUDY - SUMMER SOLSTICE - 2PM
1" = 80'-0"

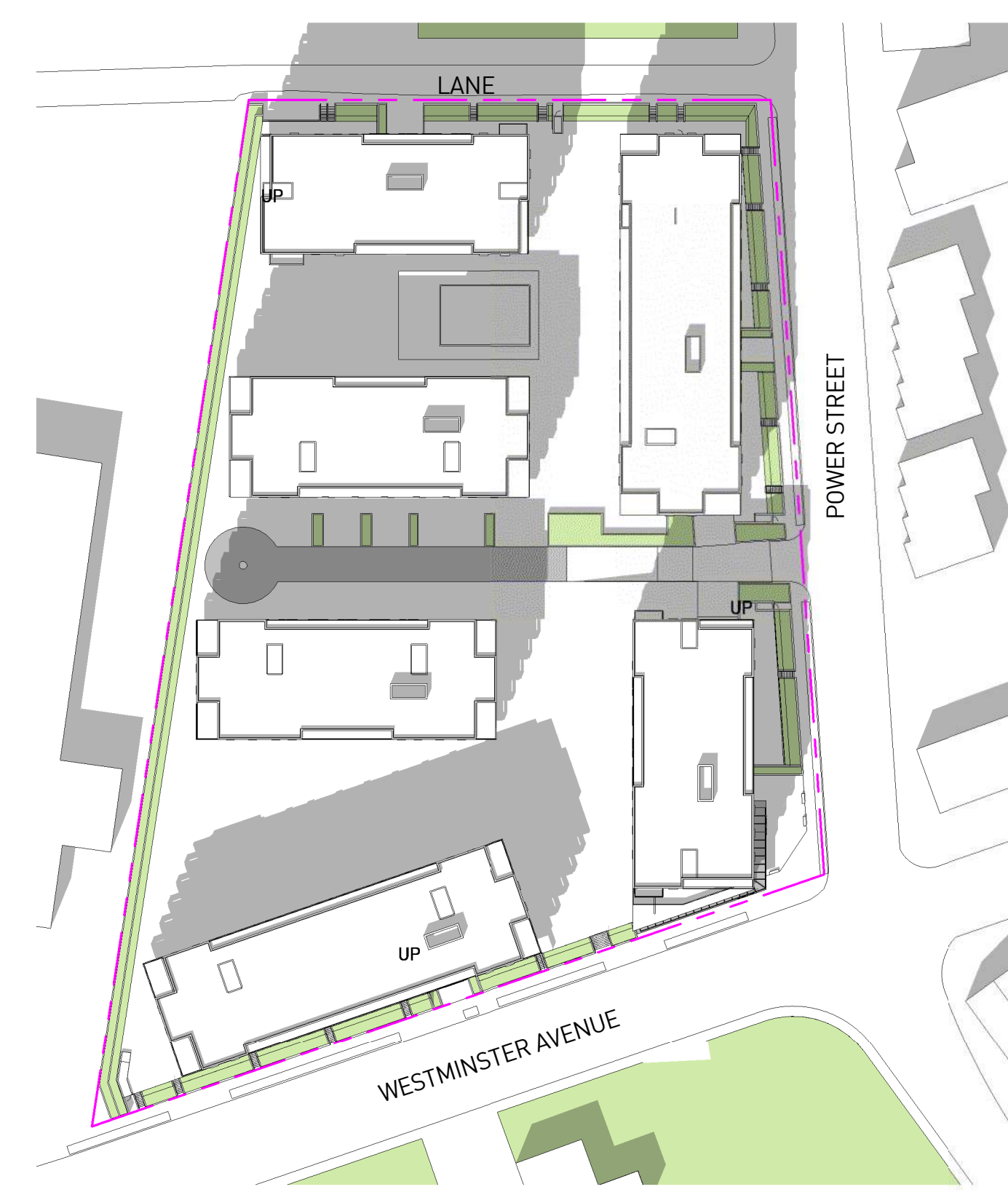
VERNAL EQUINOX



SHADOW STUDY - VERNAL EQUINOX - 10AM
1" = 80'-0"



SHADOW STUDY - VERNAL EQUINOX - 12PM
1" = 80'-0"



SHADOW STUDY - VERNAL EQUINOX - 2PM
1" = 80'-0"

877 WESTMINSTER
AVE - PENTICTON
REZONING APPLICATION

SHADOW STUDY

DATE 3/14/2022 4:42:34 PM
DRAWN BY BI
CHECKED BY PG
SCALE 1" = 80'-0"
JOB NUMBER 1603

A-0.05



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 NOTES

STATISTICS - FULL SITE

FLOOR AREA

GROSS FLOOR AREA - FULL SITE	
TYPE	AREA
PHASE 1 - NORTH	
ELEV/STAIR SHAFT	8,992.3 SF
RESIDENTIAL AMENITY	1,820.0 SF
RESIDENTIAL CIRCULATION	14,799.1 SF
RESIDENTIAL UNIT	171,063.1 SF
	196,674.5 SF
PHASE 2 - SOUTH	
ELEV/STAIR SHAFT	9,713.0 SF
RESIDENTIAL AMENITY	3,162.7 SF
RESIDENTIAL CIRCULATION	15,057.0 SF
RESIDENTIAL UNIT	165,793.9 SF
RETAIL	2,003.5 SF
	195,730.1 SF
TOTAL	392,404.6 SF

FAR - FULL SITE			
TYPE	NFA AREA	FAR	
PHASE 1 - NORTH			
RESIDENTIAL AMENITY	1,820.0 SF	0.0	
RESIDENTIAL CIRCULATION	14,799.1 SF	0.1	
RESIDENTIAL UNIT	171,063.1 SF	0.9	
	187,682.2 SF	1.0	
PHASE 2 - SOUTH			
RESIDENTIAL AMENITY	3,162.7 SF	0.0	
RESIDENTIAL CIRCULATION	15,057.0 SF	0.1	
RESIDENTIAL UNIT	165,793.9 SF	0.9	
RETAIL	2,003.5 SF	0.0	
	186,017.1 SF	1.0	
TOTAL	373,699.3 SF	2.0	

UNIT MIX

UNIT MIX - CONDO			
TYPE	AREA	COUNT	%
PHASE 1 - NORTH			
1BR	592.2 SF ... 692.7 SF	2	1%
2BR	734.4 SF ... 1,183.5 SF	109	42%
3BR	1,154.4 SF ... 1,339.9 SF	45	17%
		156	
PHASE 2 - SOUTH			
2BR	847.9 SF ... 1,345.8 SF	103	27%
3BR	1,052.7 SF ... 1,345.8 SF	46	13%
		149	
TOTAL		305	

PARKING

As per PZBL 2017-08 6.5

Parking Required - Residential apartments - 1 per unit plus 0.25 spaces/unit for visitors

PHASE 1 NORTH - PARKING REQ'D	
UNITS	STALLS REQUIRED
156	156

PHASE 1 NORTH - VISITOR PARKING REQ'D	
UNITS	VISITOR STALLS REQUIRED
156	39

TOTAL PARCEL NORTH PARKING REQ'D: 195

PHASE 1 NORTH - PARKING PROVIDED		
USE	COUNT	
RESIDENTIAL - NORTH		156
VISITOR - NORTH		39
		195

PHASE 2 SOUTH - PARKING REQ'D	
CONDO UNITS	STALLS REQUIRED
149	149

PHASE 2 SOUTH - VISITOR PARKING REQ'D	
UNITS	VISITOR STALLS REQUIRED
149	37.25

TOTAL PARCEL SOUTH PARKING REQ'D: 187

PHASE 2 SOUTH - PARKING PROVIDED		
USE	COUNT	
RESIDENTIAL - SOUTH		147
VISITOR - SOUTH		38
		185

* 10 additional bikes provided in lieu of 2 parking spaces, as per PZBL 2017-08 6.1.2.1

CLASS 1 BIKES

As per PZBL 2017-08 6.4.3

Class 1 Bikes Required - 0.5 per unit

PHASE 1 NORTH - CLASS 1 BIKES REQ'D	
UNITS	0.5 BIKE PER UNIT
156	78

PHASE 1 NORTH - CLASS 1 BIKES PROVIDED		
TYPE	COUNT	
Bicycle - Horizontal		30
Bicycle - Vertical		48
		78

PHASE 2 SOUTH - BIKES REQ'D	
UNITS	CLASS 1 BIKES REQUIRED
149	74.5

PHASE 2 SOUTH - CLASS 1 BIKES PROVIDED		
TYPE	COUNT	
Bicycle - Horizontal		40
Bicycle - Vertical		48
		88

PHASE 1 SOUTH - RETAIL PARKING REQ'D		
RETAIL AREA	AREA (m2)	1 PER 30m2
2,003.5 SF	186.13 m ²	6.2

RETAIL PARKING SHARED WITH VISITOR

CLASS 2 BIKES

As per PZBL 2017-08 6.4.3

RESIDENTIAL - Class 2 Bikes Required - 0.1 per unit
 RETAIL - Class 2 Bikes Required - Minimum of 2, plus one for every 125 m2 over 250 m2

PHASE 2 SOUTH- CLASS 2 BIKES REQ'D	
UNITS	CLASS 2 BIKES REQUIRED
149	14.9

PHASE 1 NORTH - CLASS 2 BIKES REQ'D	
UNITS	0.1 BIKE PER UNIT
156	15.6

RETAIL - Class 2 Bikes Required - 2 RACKS

REVISIONS

No.	Date	Description
01	2020-05-27	OCP Amendment bylaw No. 2020-35
02	2022-01-12	ISSUED FOR RZ
03	2022-03-14	RE-ISSUED FOR RZ



GFA BY LEVEL	
LEVEL	AREA
PHASE 1 - NORTH	
L1	34,036.0 SF
L2	32,527.7 SF
L3	32,527.7 SF
L4	32,527.7 SF
L5	32,527.7 SF
L6	32,527.7 SF
	196,674.5 SF
PHASE 2 - SOUTH	
L1	33,216.9 SF
L2	32,502.6 SF
L3	32,502.6 SF
L4	32,502.6 SF
L5	32,502.6 SF
L6	32,502.6 SF
	195,730.1 SF
TOTAL	392,404.6 SF

AMENITY SPACE

Amenity space shall be provided at the rate of 20 m2 (215.35SF) for each dwelling unit. 25% of the required amenity space must be provided at the ground floor level.

PHASE 1 NORTH - AMENITY REQ'D		
UNITS	REQ'D AMENITY (SF)	REQ'D AMENITY (m2)
156	33,586.80	3,120 m ²

PHASE 2 SOUTH - OUTDOOR AMENITY REQ'D		
UNITS	REQ'D AMENITY (SF)	REQ'D AMENITY (m2)
149	32,079.70	2,980 m ²

AMENITIES PROVIDED - BY PHASE		
TYPE	AREA	AREA (m2)
PHASE 1 - NORTH		
BALCONY/PATIO	36,185.9 SF	3,361.8 m ²
OUTDOOR AMENITY	9,966.7 SF	925.9 m ²
RESIDENTIAL AMENITY	1,820.0 SF	169.1 m ²
	47,972.7 SF	4,456.8 m ²
PHASE 2 - SOUTH		
BALCONY/PATIO	37,008.9 SF	3,438.2 m ²
OUTDOOR AMENITY	17,416.6 SF	1,618.1 m ²
RESIDENTIAL AMENITY	3,162.7 SF	293.8 m ²
	57,588.2 SF	5,350.1 m ²
TOTAL	105,560.9 SF	9,806.9 m ²

877 WESTMINSTER AVE - PENTICTON
 REZONING APPLICATION

STATISTICS

DATE	3/14/2022 4:55:19 PM
DRAWN BY	BI
CHECKED BY	PG
SCALE	1" = 80'-0"
JOB NUMBER	1603

A-0.06

STATS - L1 FULL
 1" = 80'-0"

STATS - L2 FULL
 1" = 80'-0"



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 VANCOUVER, BC CANADA V5T 1R8 FAX 604 731 5279
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NOTES

REVISIONS

No.	Date	Description
01	2020-05-27	OCF Amendment bylaw No. 2020-35
02	2022-01-12	ISSUED FOR RZ
03	2022-03-14	RE-ISSUED FOR RZ

STATISTICS PHASE 1 - NORTH PARCEL

SITE AREA - PHASE 1: 90,886 SF (2.1 acres)
ROAD DEDICATION: 2,269 SF
 NOTE: All density calculation use Gross site area (including road dedication).

GROSS FLOOR AREA

GROSS FLOOR AREA - PHASE 1 NORTH	
TYPE	AREA
ELEV/STAIR SHAFT	8,992.3 SF
RESIDENTIAL AMENITY	1,820.0 SF
RESIDENTIAL CIRCULATION	14,799.1 SF
RESIDENTIAL UNIT	171,063.1 SF
TOTAL	196,674.5 SF

FLOOR AREA RATIO

FAR - PHASE 1 NORTH			
TYPE	NFA AREA	FAR	
RESIDENTIAL AMENITY	1,820.0 SF	0.02	
RESIDENTIAL CIRCULATION	14,799.1 SF	0.16	
RESIDENTIAL UNIT	171,063.1 SF	1.88	
TOTAL	187,682.2 SF	2.07	

EXCLUSION - PHASE 1 NORTH	
TYPE	AREA
ELEV/STAIR SHAFT	8,992.3 SF
TOTAL	8,992.3 SF

VEHICLE PARKING

As per PZBL 2017-08 6.5
 Parking Required - Residential apartments - 1 per unit plus 0.25 spaces/unit for visitors

PHASE 1 NORTH - PARKING REQ'D		
UNITS	STALLS REQUIRED	
156		156

PHASE 1 NORTH - VISITOR PARKING REQ'D		
UNITS	VISITOR STALLS REQUIRED	
156		39

TOTAL PARCEL NORTH PARKING REQ'D: 195

PHASE 1 NORTH - PARKING PROVIDED		
USE	COUNT	
RESIDENTIAL - NORTH		156
VISITOR - NORTH		39
TOTAL		195

11 VISITOR PARKINGS provided on L1

CLASS 1 BIKES

As per PZBL 2017-08 6.4.3
 Class 1 Bikes Required - 0.5 per unit

PHASE 1 NORTH - CLASS 1 BIKES REQ'D	
UNITS	0.5 BIKE PER UNIT
156	78

PHASE 1 NORTH - CLASS 1 BIKES PROVIDED	
TYPE	COUNT
Bicycle - Horizontal	30
Bicycle - Vertical	48
TOTAL	78

CLASS 2 BIKES

As per PZBL 2017-08 6.4.3
 RESIDENTIAL - Class 2 Bikes Required - 0.1 per unit

PHASE 1 NORTH - CLASS 2 BIKES REQ'D		
UNITS	0.1 BIKE PER UNIT	
156		15.6

UNIT MIX

UNIT MIX - PHASE 1 NORTH				
TYPE	AREA	COUNT	%	
1BR	592.2 SF ... 692.7 SF	2	1%	
2BR	734.4 SF ... 1,183.5 SF	109	70%	
3BR	1,154.4 SF ... 1,339.9 SF	45	29%	
TOTAL		156		

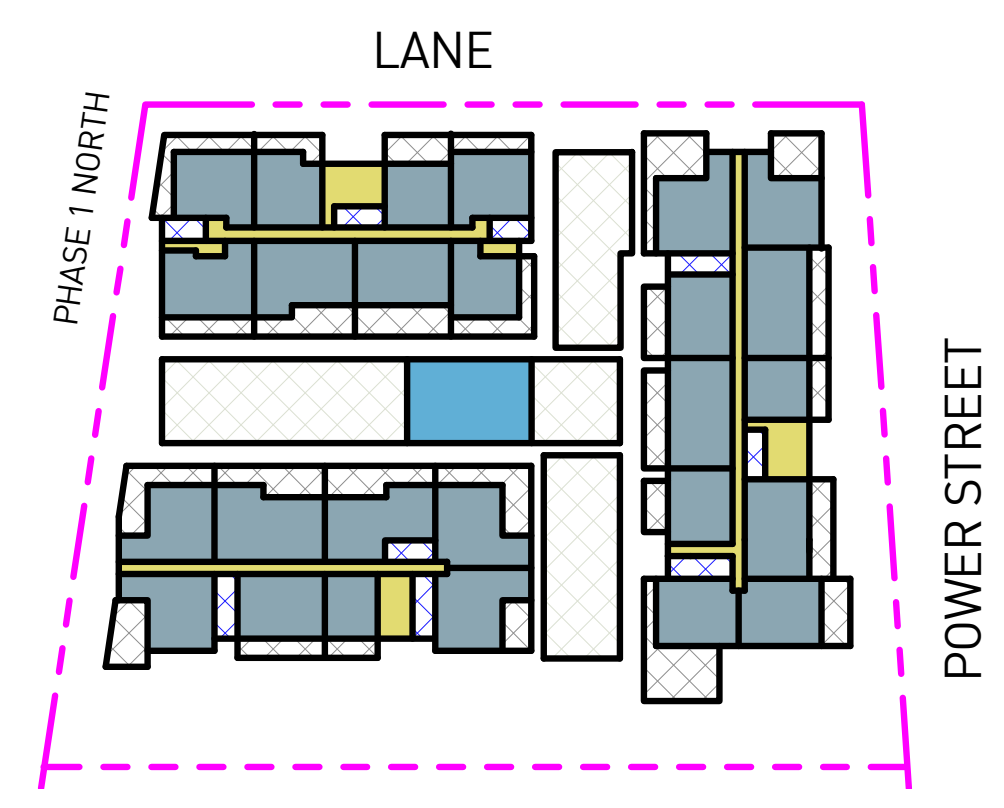
AMENITY SPACE

Amenity space shall be provided at the rate of 10 m² (107.6 SF) for each dwelling unit. 25% of the required amenity space must be provided at the ground floor level.

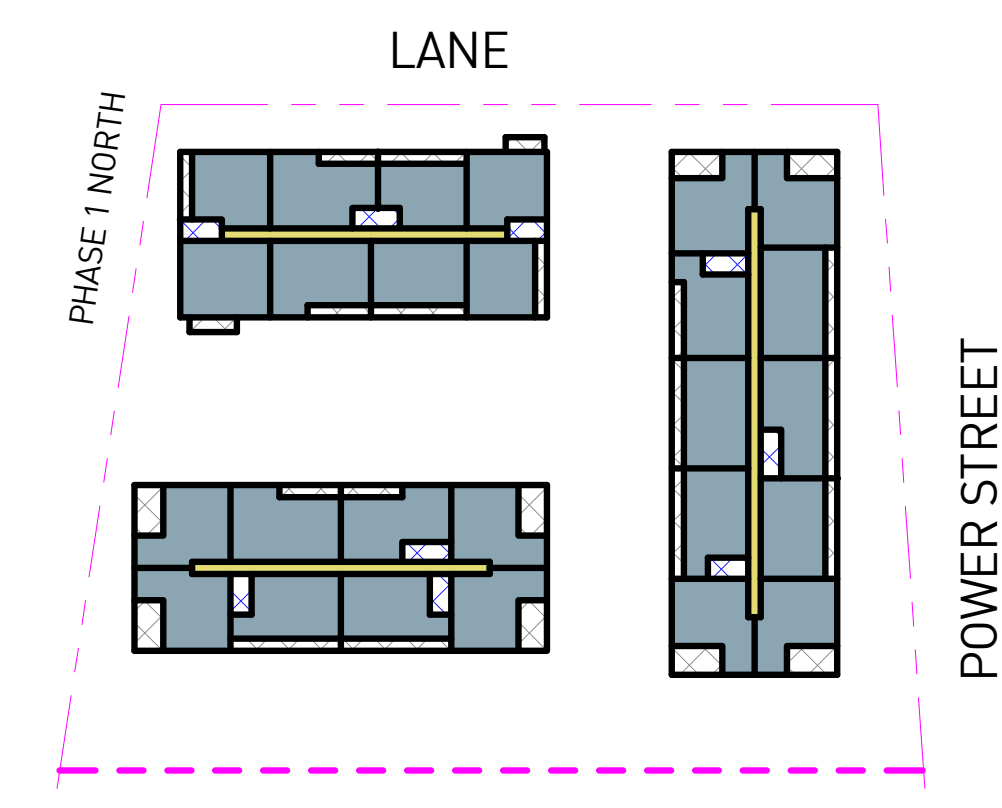
PHASE 1 NORTH - AMENITY REQ'D		
UNITS	REQ'D AMENITY (SF)	REQ'D AMENITY (m ²)
156	33,586.80	3,120 m ²

AMENITIES PROVIDED - NORTH PARCEL		
TYPE	AREA	AREA (m ²)
PHASE 1 - NORTH		
BALCONY/PATIO	36,185.9 SF	3,361.8 m ²
OUTDOOR AMENITY	9,966.7 SF	925.9 m ²
RESIDENTIAL AMENITY	1,820.0 SF	169.1 m ²
TOTAL	47,972.7 SF	4,456.8 m²

AREA DIAGRAMS



STATS - L1
 1" = 80'-0"



STATS - L2
 1" = 80'-0"

- FAR AREA PLAN
- BALCONY/PATIO
 - ELEV/STAIR SHAFT
 - OUTDOOR AMENITY
 - RESIDENTIAL AMENITY
 - RESIDENTIAL CIRCULATION
 - RESIDENTIAL UNIT
 - RETAIL

GFA BY LEVEL - PHASE 1 NORTH	
TYPE	AREA
PHASE 1 - NORTH	
L1	
ELEV/STAIR SHAFT	1,890.8 SF
RESIDENTIAL AMENITY	1,820.0 SF
RESIDENTIAL CIRCULATION	4,129.9 SF
RESIDENTIAL UNIT	26,195.4 SF
	34,036.0 SF
L2	
ELEV/STAIR SHAFT	1,420.3 SF
RESIDENTIAL CIRCULATION	2,133.8 SF
RESIDENTIAL UNIT	28,973.5 SF
	32,527.7 SF
L3	
ELEV/STAIR SHAFT	1,420.3 SF
RESIDENTIAL CIRCULATION	2,133.8 SF
RESIDENTIAL UNIT	28,973.5 SF
	32,527.7 SF

GFA BY LEVEL - PHASE 1 NORTH	
TYPE	AREA
L4	
ELEV/STAIR SHAFT	1,420.3 SF
RESIDENTIAL CIRCULATION	2,133.8 SF
RESIDENTIAL UNIT	28,973.5 SF
	32,527.7 SF
L5	
ELEV/STAIR SHAFT	1,420.3 SF
RESIDENTIAL CIRCULATION	2,133.8 SF
RESIDENTIAL UNIT	28,973.5 SF
	32,527.7 SF
L6	
ELEV/STAIR SHAFT	1,420.3 SF
RESIDENTIAL CIRCULATION	2,133.8 SF
RESIDENTIAL UNIT	28,973.5 SF
	32,527.7 SF
TOTAL	196,674.5 SF

877 WESTMINSTER AVE - PENTICTON

REZONING APPLICATION

STATISTICS - PHASE 1 NORTH

DATE 3/14/2022 4:55:19 PM
 DRAWN BY BI
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 SCALE 1" = 80'-0"

JOB NUMBER 1603

A-0.07



GBL ARCHITECTS INC.
 139 EAST 8TH AVENUE VANCOUVER, BC CANADA V5T 1R8
 TEL: 604.738.1156 FAX: 604.731.5279

NOTES

REVISIONS

No.	Date	Description
01	2020-05-27	DCP Amendment bylaw No. 2020-35
02	2022-01-12	ISSUED FOR R2
03	2022-03-14	RE-ISSUED FOR R2

PARKING REQ'D

As per PZBL 2017-08 6.5

Parking Required - Residential apartments -
 1 per unit plus 0.25 spaces/unit for visitors

PHASE 1 NORTH - PARKING REQ'D	
UNITS	STALLS REQUIRED
156	156

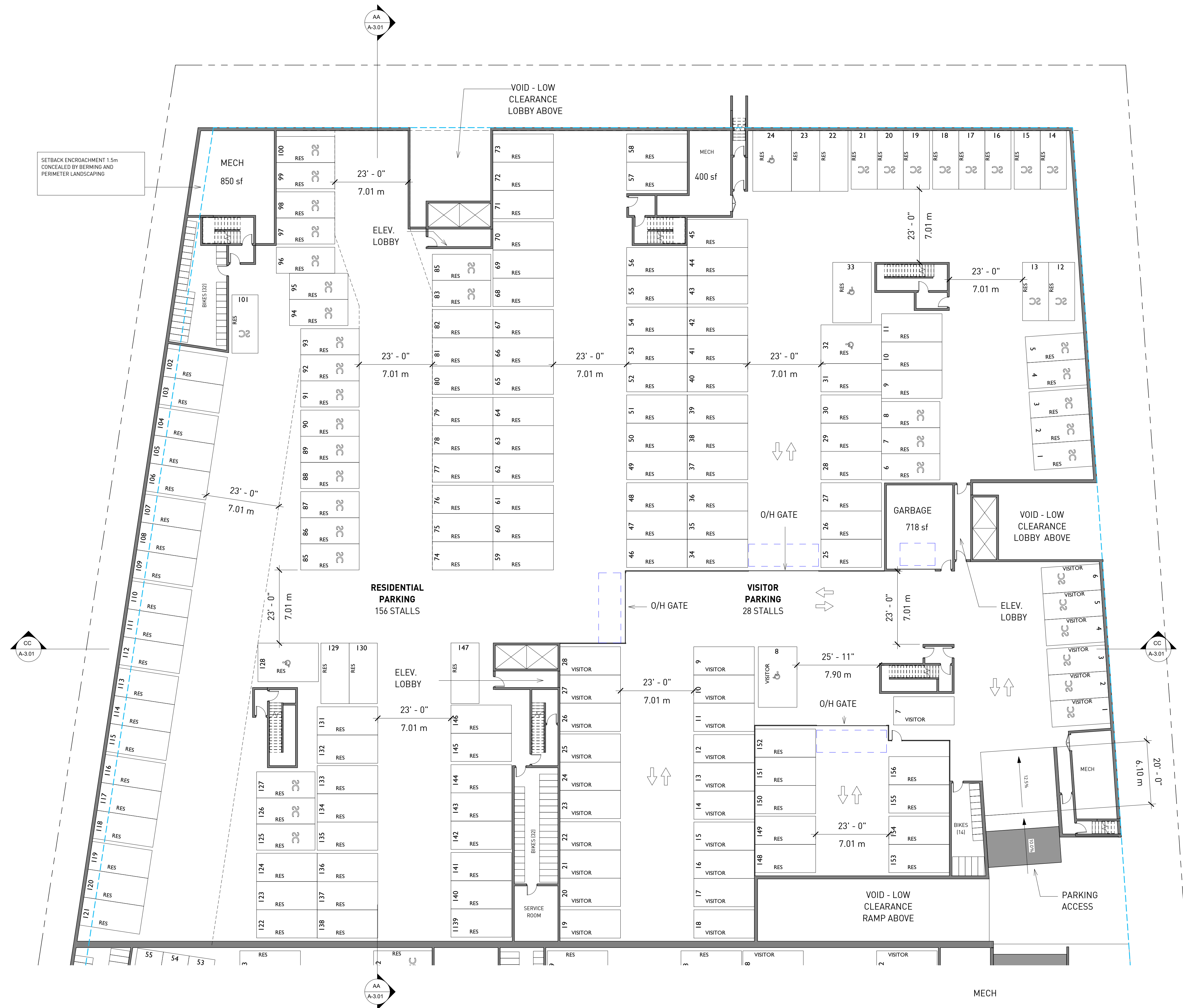
PHASE 1 NORTH - VISITOR PARKING REQ'D	
UNITS	VISITOR STALLS REQUIRED
156	39

TOTAL PARCEL NORTH PARKING REQ'D: 195

PARCEL NORTH - PARKING PROVIDED	
TYPE	COUNT
P1 RESIDENTIAL - NORTH	
HC	4
Small	40
Standard	112
	156
VISITOR - NORTH	
HC	1
Small	6
Standard	21
	28
L1 VISITOR - NORTH	
HC	1
Standard	10
	11
TOTAL	195

PHASE 1 NORTH - CLASS 1 BIKES REQ'D	
UNITS	0.5 BIKE PER UNIT
156	78

PARCEL NORTH - BIKE PROVIDED - P1	
TYPE	COUNT
BIKE	
Bicycle - Horizontal	30
Bicycle - Vertical	48
	78



877 WESTMINSTER AVE - PENTICTON

REZONING APPLICATION

P1 - PHASE 1

DATE 3/14/2022 11:43:57 PM
 DRAWN BY BI
 CHECKED BY PG
 SCALE 1/16" = 1'-0"
 JOB NUMBER 1603

A-1.00



GBL ARCHITECTS INC.
139 EAST 8TH AVENUE
VANCOUVER, BC CANADA V5T 1R8
TEL 604 731 1156
FAX 604 731 5279

NOTES

REVISIONS

No.	Date	Description
01	2020-05-27	DCP Amendment bylaw No. 2020-35
02	2022-01-12	ISSUED FOR RZ
03	2022-03-14	RE-ISSUED FOR RZ

GFA - L1 NORTH		
NAME	AREA	m2
BALCONY/PATIO		
PATIO	865.2 SF	80.38 m ²
PATIO	336.0 SF	31.22 m ²
PATIO	414.6 SF	38.52 m ²
PATIO	295.9 SF	19.13 m ²
PATIO	368.0 SF	34.19 m ²
PATIO	392.0 SF	36.42 m ²
PATIO	642.2 SF	59.66 m ²
PATIO	297.9 SF	27.68 m ²
PATIO	408.3 SF	37.94 m ²
PATIO	213.3 SF	19.82 m ²
PATIO	234.5 SF	21.79 m ²
PATIO	331.0 SF	30.75 m ²
PATIO	238.7 SF	22.18 m ²
PATIO	464.1 SF	43.12 m ²
PATIO	467.7 SF	43.45 m ²
PATIO	520.0 SF	48.31 m ²
PATIO	435.2 SF	40.43 m ²
PATIO	308.0 SF	28.61 m ²
PATIO	537.9 SF	49.97 m ²
PATIO	496.2 SF	46.10 m ²
PATIO	496.2 SF	46.10 m ²
PATIO	572.0 SF	53.14 m ²
PATIO	252.0 SF	23.41 m ²
PATIO	176.0 SF	16.35 m ²
PATIO	292.0 SF	27.13 m ²
PATIO	425.6 SF	39.54 m ²
PATIO	10,390.7 SF	965.33 m ²
ELEV/STAIR SHAFT		
ELEV/STAIR SHAFT	185.5 SF	17.23 m ²
ELEV/STAIR SHAFT	255.7 SF	23.76 m ²
ELEV/STAIR SHAFT	255.7 SF	23.76 m ²
ELEV/STAIR SHAFT	185.9 SF	17.27 m ²
ELEV/STAIR SHAFT	255.7 SF	23.76 m ²
ELEV/STAIR SHAFT	237.8 SF	22.09 m ²
ELEV/STAIR SHAFT	164.7 SF	15.30 m ²
ELEV/STAIR SHAFT	174.2 SF	16.18 m ²
ELEV/STAIR SHAFT	175.7 SF	16.32 m ²
ELEV/STAIR SHAFT	1,890.8 SF	175.66 m ²
OUTDOOR AMENITY		
OUTDOOR AMENITY	2,405.6 SF	223.49 m ²
OUTDOOR AMENITY	1,288.0 SF	119.66 m ²
OUTDOOR AMENITY	3,577.0 SF	332.32 m ²
OUTDOOR AMENITY	2,696.1 SF	250.48 m ²
OUTDOOR AMENITY	9,966.7 SF	925.94 m ²
RESIDENTIAL AMENITY		
AMENITY	1,820.0 SF	169.08 m ²
AMENITY	1,820.0 SF	169.08 m ²
RESIDENTIAL CIRCULATION		
CIRCULATION	707.8 SF	65.76 m ²
CIRCULATION	713.5 SF	66.29 m ²
CIRCULATION	1,080.1 SF	100.34 m ²
CIRCULATION	105.2 SF	9.78 m ²
CIRCULATION	135.8 SF	12.61 m ²
LOBBY	491.9 SF	45.70 m ²
LOBBY	390.3 SF	36.26 m ²
LOBBY	505.3 SF	46.94 m ²
LOBBY	4,129.9 SF	383.68 m ²
RESIDENTIAL UNIT		
A	592.2 SF	55.01 m ²
A	692.7 SF	64.36 m ²
B	1,115.1 SF	103.59 m ²
B	1,115.1 SF	103.59 m ²
B	1,024.7 SF	95.19 m ²
B	1,024.7 SF	95.19 m ²
B	982.5 SF	91.27 m ²
B	856.1 SF	79.53 m ²
B	804.4 SF	74.73 m ²
B	960.0 SF	89.19 m ²
B	734.4 SF	68.22 m ²
B	1,076.7 SF	100.03 m ²
B	1,093.0 SF	101.55 m ²
B	970.7 SF	90.18 m ²
B	953.1 SF	88.54 m ²
B	953.1 SF	88.54 m ²
B	1,045.7 SF	97.15 m ²
B	1,121.5 SF	104.19 m ²
B	1,116.0 SF	103.68 m ²
B	847.9 SF	78.77 m ²
B	936.5 SF	87.00 m ²
C	1,339.9 SF	124.48 m ²
C	1,154.4 SF	107.25 m ²
C	1,208.8 SF	112.30 m ²
C	1,238.2 SF	115.03 m ²
C	1,238.2 SF	115.03 m ²
TOTAL	26,195.4 SF	2,433.63 m ²
TOTAL	54,393.4 SF	5,053.32 m ²



877 WESTMINSTER AVE - PENTICTON

REZONING APPLICATION

GFA - L1 - PHASE 1

DATE	3/14/2022 11:43:59 PM
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SCALE	1/16" = 1'-0"
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A-1.01



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NOTES

REVISIONS

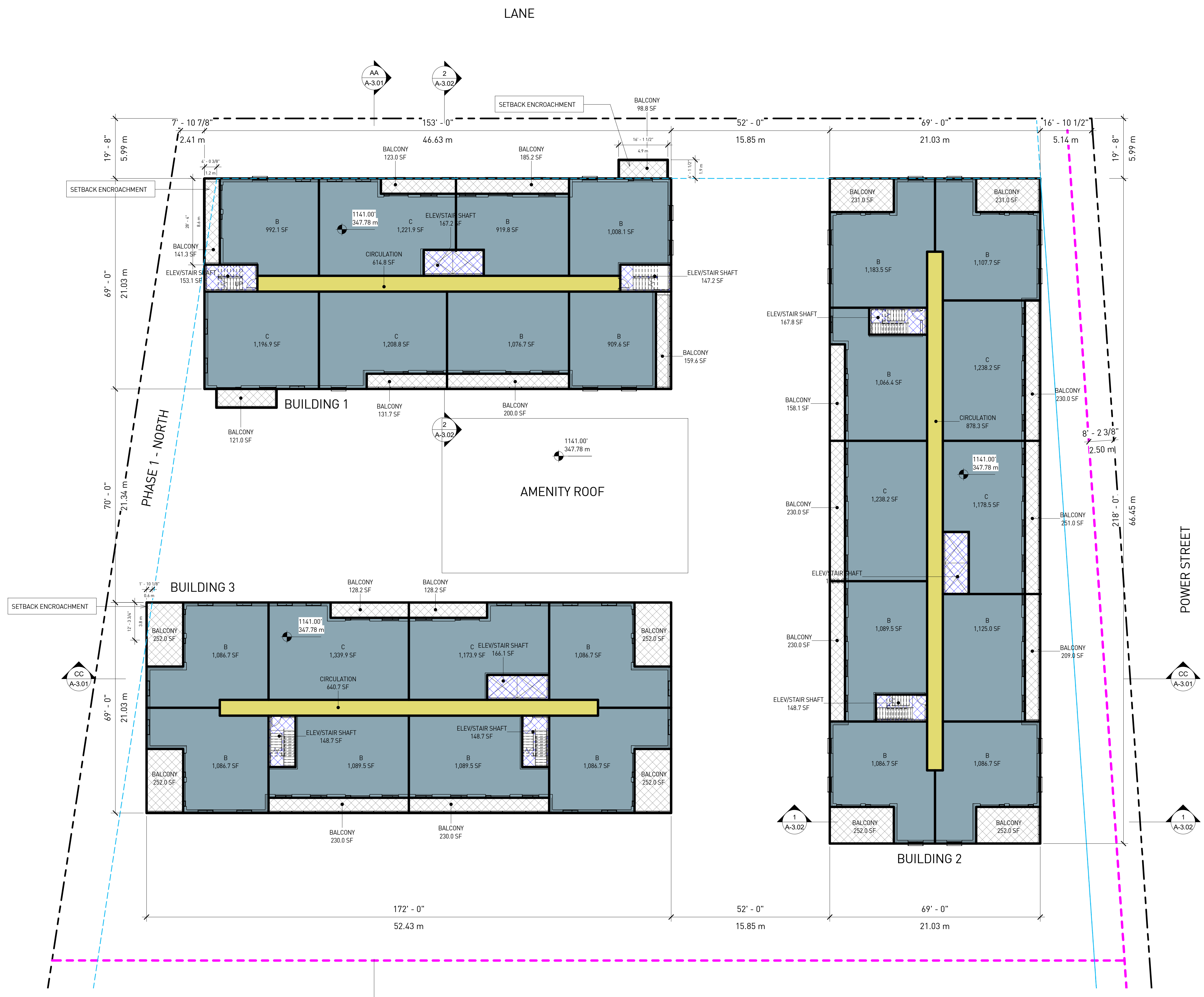
No.	Date	Description
01	2020-05-27	OCP Amendment bylaw No. 2020-35
02	2022-01-12	ISSUED FOR RZ
03	2022-03-14	RE-ISSUED FOR RZ

877 WESTMINSTER AVE - PENTICTON
 REZONING APPLICATION
 GFA - L2-6 - PHASE 1

DATE 3/14/2022 4:42:59 PM
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 JOB NUMBER 1603

A-1.02

GFA - L2-6 NORTH		
NAME	AREA	m2
BALCONY/PATIO		
BALCONY	252.0 SF	23.41 m ²
BALCONY	252.0 SF	23.41 m ²
BALCONY	230.0 SF	21.37 m ²
BALCONY	230.0 SF	21.37 m ²
BALCONY	252.0 SF	23.41 m ²
BALCONY	252.0 SF	23.41 m ²
BALCONY	128.2 SF	11.91 m ²
BALCONY	252.0 SF	23.41 m ²
BALCONY	252.0 SF	23.41 m ²
BALCONY	209.0 SF	19.41 m ²
BALCONY	251.0 SF	23.32 m ²
BALCONY	230.0 SF	21.37 m ²
BALCONY	158.1 SF	14.69 m ²
BALCONY	230.0 SF	21.37 m ²
BALCONY	230.0 SF	21.37 m ²
BALCONY	231.0 SF	21.46 m ²
BALCONY	231.0 SF	21.46 m ²
BALCONY	185.2 SF	17.21 m ²
BALCONY	123.0 SF	11.43 m ²
BALCONY	200.0 SF	18.58 m ²
BALCONY	131.7 SF	12.23 m ²
BALCONY	159.6 SF	14.83 m ²
BALCONY	98.8 SF	9.18 m ²
BALCONY	121.0 SF	11.24 m ²
BALCONY	141.3 SF	13.12 m ²
BALCONY	5,159.0 SF	479.29 m ²
ELEV/STAIR SHAFT		
ELEV/STAIR SHAFT	166.1 SF	15.43 m ²
ELEV/STAIR SHAFT	148.7 SF	13.81 m ²
ELEV/STAIR SHAFT	148.7 SF	13.81 m ²
ELEV/STAIR SHAFT	167.2 SF	15.53 m ²
ELEV/STAIR SHAFT	148.7 SF	13.81 m ²
ELEV/STAIR SHAFT	167.8 SF	15.59 m ²
ELEV/STAIR SHAFT	172.8 SF	16.06 m ²
ELEV/STAIR SHAFT	147.2 SF	13.68 m ²
ELEV/STAIR SHAFT	153.1 SF	14.22 m ²
ELEV/STAIR SHAFT	1,420.3 SF	131.95 m ²
RESIDENTIAL CIRCULATION		
CIRCULATION	640.7 SF	59.52 m ²
CIRCULATION	614.8 SF	57.12 m ²
CIRCULATION	878.3 SF	81.60 m ²
CIRCULATION	2,133.8 SF	198.24 m ²
RESIDENTIAL UNIT		
B	1,086.7 SF	100.95 m ²
B	1,086.7 SF	100.95 m ²
B	1,086.7 SF	100.95 m ²
B	1,086.7 SF	100.95 m ²
B	1,089.5 SF	101.22 m ²
B	1,089.5 SF	101.22 m ²
B	909.6 SF	84.51 m ²
B	1,008.1 SF	93.66 m ²
B	1,076.7 SF	100.03 m ²
B	919.8 SF	85.45 m ²
B	992.1 SF	92.17 m ²
B	1,086.7 SF	100.95 m ²
B	1,086.7 SF	100.95 m ²
B	1,107.7 SF	102.91 m ²
B	1,183.5 SF	109.95 m ²
B	1,125.0 SF	104.51 m ²
B	1,089.5 SF	101.22 m ²
B	1,066.4 SF	99.07 m ²
C	1,339.9 SF	124.48 m ²
C	1,173.9 SF	109.06 m ²
C	1,208.8 SF	112.30 m ²
C	1,221.9 SF	113.52 m ²
C	1,196.9 SF	111.19 m ²
C	1,238.2 SF	115.03 m ²
C	1,178.5 SF	109.49 m ²
C	1,238.2 SF	115.03 m ²
TOTAL	28,973.5 SF	2,691.73 m ²
TOTAL	37,686.7 SF	3,501.21 m ²



A-1.02

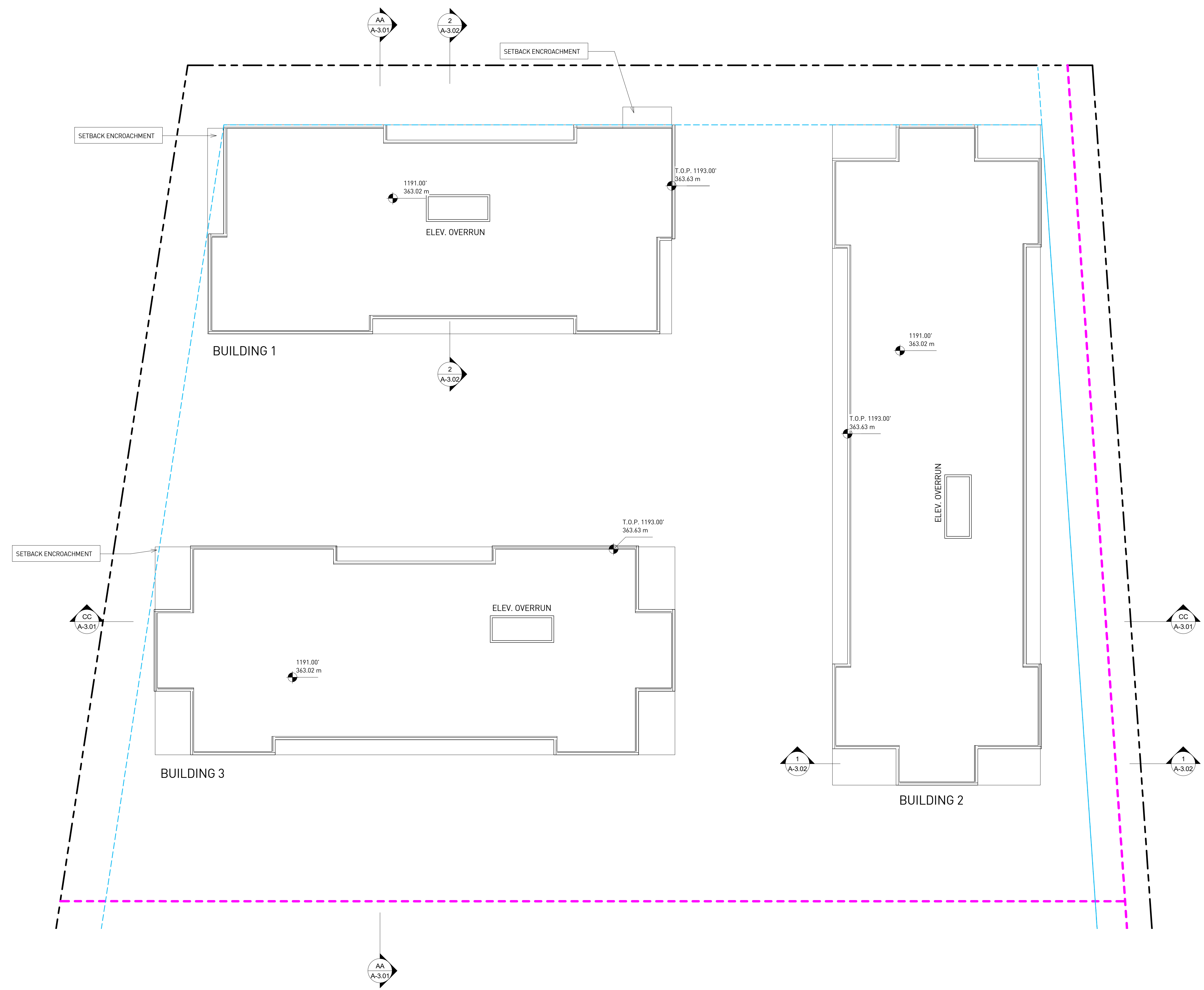


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NOTES

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REZONING APPLICATION

ROOF - PHASE 1

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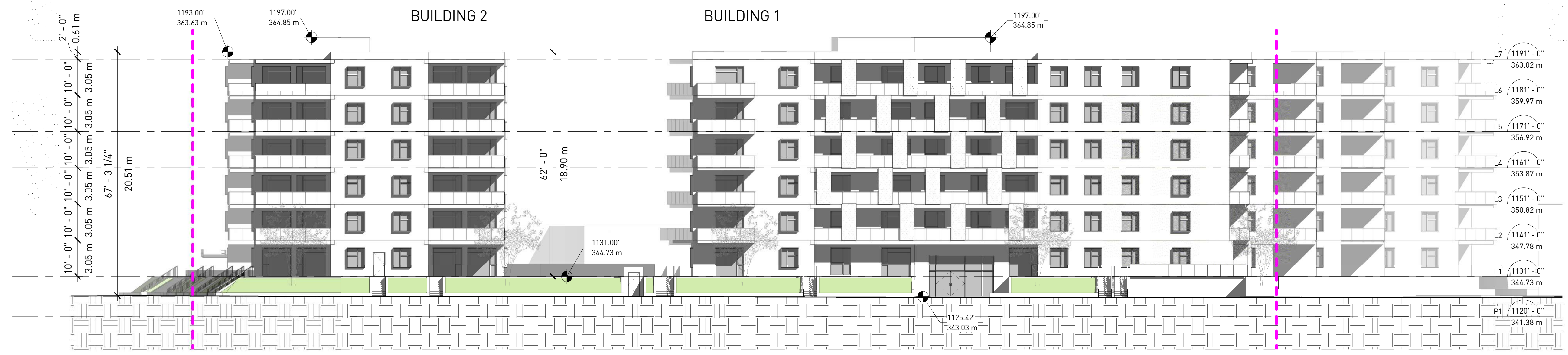


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Phase 1 - North Elevation - Lane
1/16" = 1'-0"



Phase 1 - East Elevation - Power Street
1/16" = 1'-0"

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REZONING APPLICATION

ELEVATIONS - PHASE 1

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NOTES

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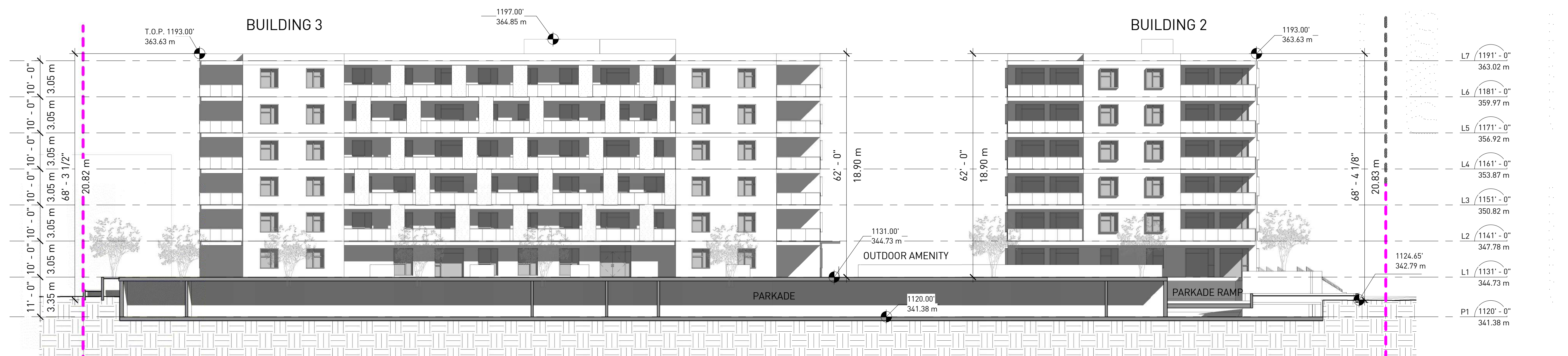
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ELEVATIONS - PHASE 1

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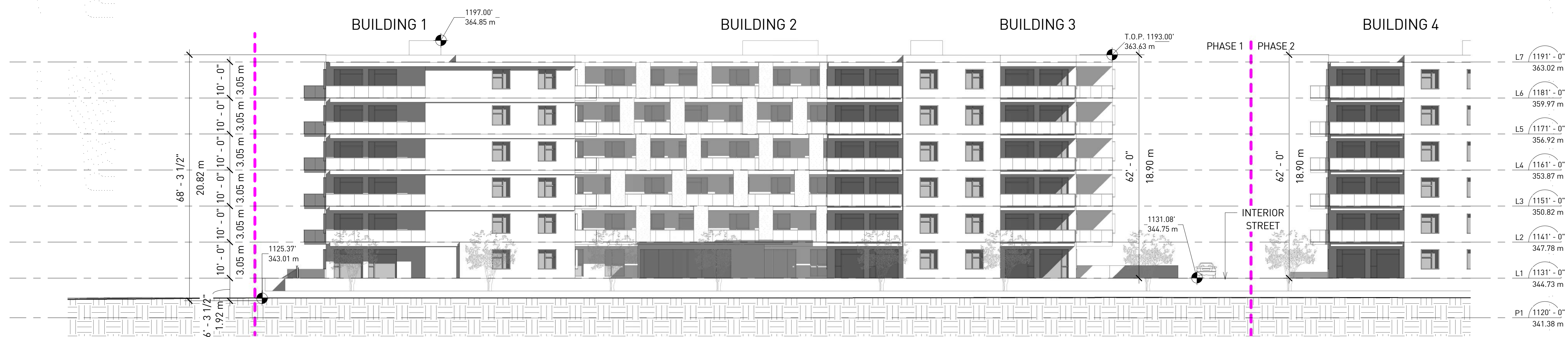
JOB NUMBER 1603

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Phase 1 - South Elevation

1/16" = 1'-0"



Phase 1 - West Elevation

1/16" = 1'-0"

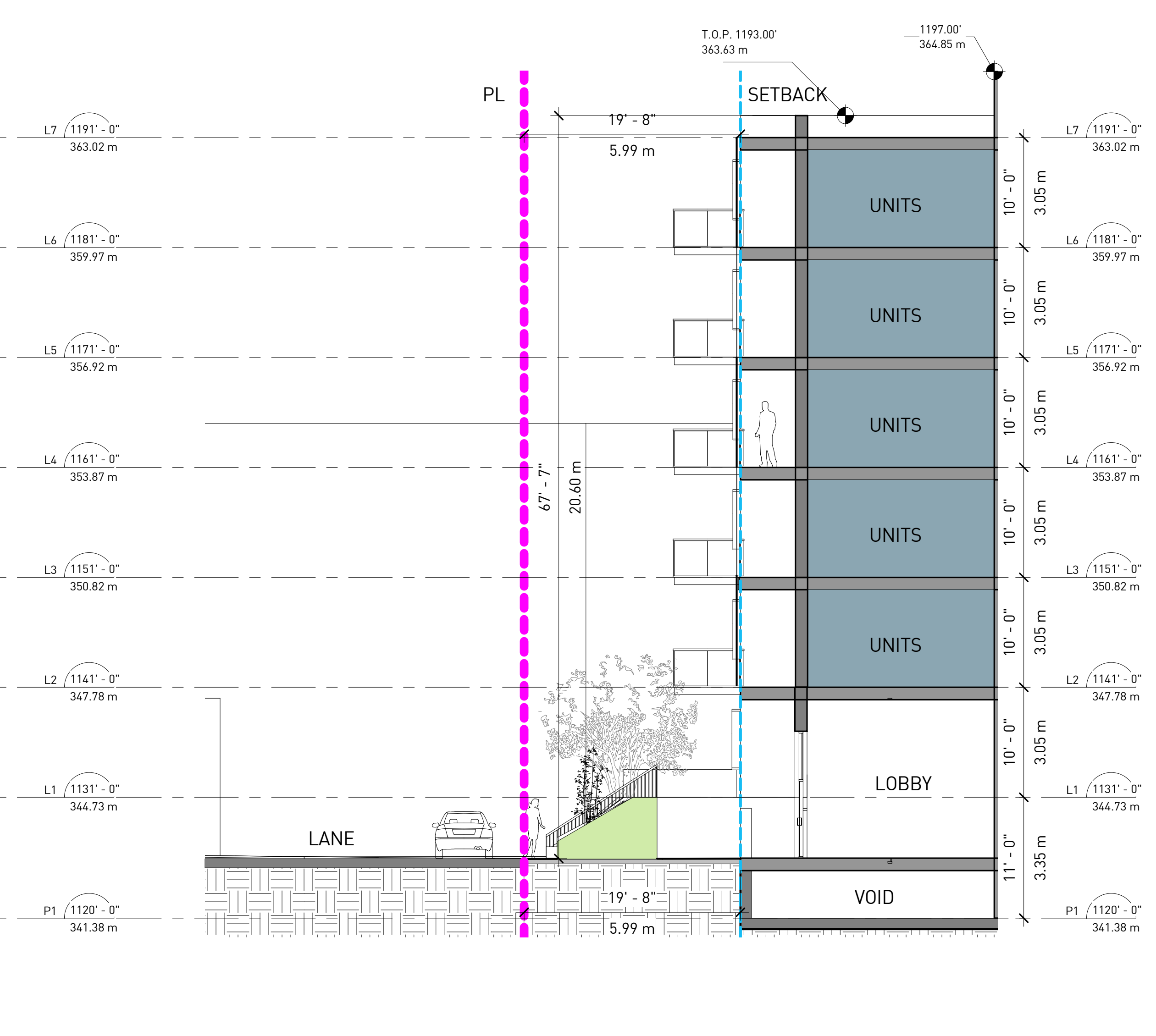
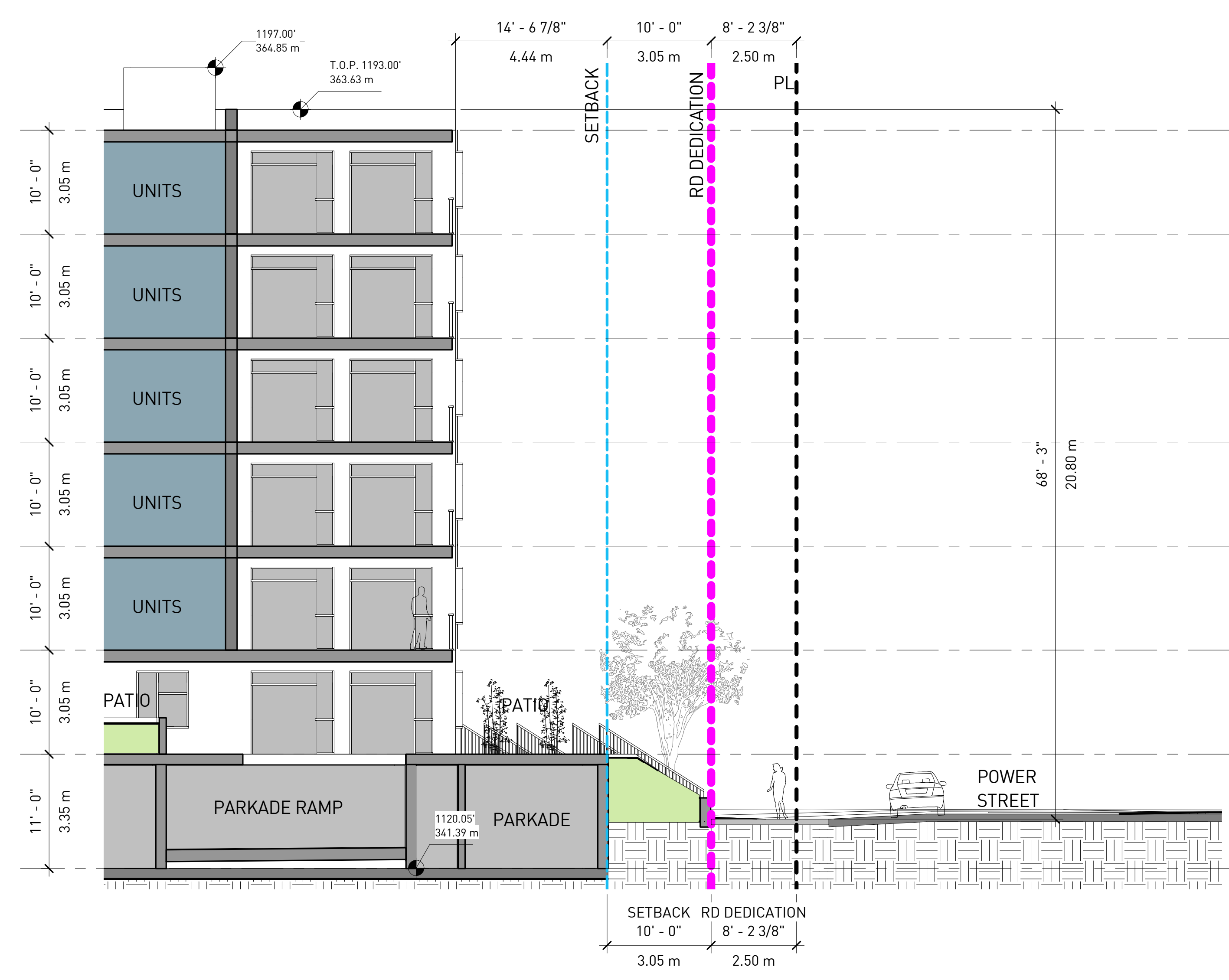


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SECTIONS - PHASE 1

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STATISTICS PHASE 2 - SOUTH PARCEL

SITE AREA - PHASE 2: 92,235 SF (2.1 acres)
ROAD DEDICATION: 1,767 SF
 NOTE: All density calculation use Gross site area (including road dedication).

GROSS FLOOR AREA

GROSS FLOOR AREA - PHASE 2 SOUTH	
TYPE	AREA
ELEV/STAIR SHAFT	9,713.0 SF
RESIDENTIAL AMENITY	3,162.7 SF
RESIDENTIAL CIRCULATION	15,057.0 SF
RESIDENTIAL UNIT	165,793.9 SF
RETAIL	2,003.5 SF
TOTAL	195,730.1 SF

FLOOR AREA RATIO

FAR - PHASE 2 SOUTH		
TYPE	NFA AREA	FAR
RESIDENTIAL AMENITY	3,162.7 SF	0.03
RESIDENTIAL CIRCULATION	15,057.0 SF	0.16
RESIDENTIAL UNIT	165,793.9 SF	1.80
RETAIL	2,003.5 SF	0.02
TOTAL	186,017.1 SF	2.02

EXCLUSION - PHASE 2 SOUTH	
TYPE	AREA
ELEV/STAIR SHAFT	9,713.0 SF
TOTAL	9,713.0 SF

VEHICLE PARKING

As per PZBL 2017-08 6.5
 Parking Required - Residential apartments - 1 per unit plus 0.25 spaces/unit for visitors

PHASE 2 SOUTH - PARKING REQ'D	
CONDO UNITS	STALLS REQUIRED
149	149

PHASE 2 SOUTH - VISITOR PARKING REQ'D	
UNITS	VISITOR STALLS REQUIRED
149	37.25

TOTAL PARCEL SOUTH PARKING REQ'D: 187

PHASE 2 SOUTH - PARKING PROVIDED	
USE	COUNT
RESIDENTIAL - SOUTH	147
VISITOR - SOUTH	38
TOTAL	185 *

* 10 additional bikes provided in lieu of 2 parking spaces, *as per PZBL 2017-08 6.1.2.1*

PHASE 1 SOUTH - RETAIL PARKING REQ'D		
RETAIL AREA	AREA (m2)	1 PER 30m2
2,003.5 SF	186.13 m ²	6.2

RETAIL PARKING SHARED WITH VISITOR

CLASS 1 BIKES

As per PZBL 2017-08 6.4.3

Class 1 Bikes Required - 0.5 per unit

PHASE 2 SOUTH - BIKES REQ'D	
UNITS	CLASS 1 BIKES REQUIRED
149	74.5

PHASE 2 SOUTH - CLASS 1 BIKES PROVIDED	
TYPE	COUNT
Bicycle - Horizontal	40
Bicycle - Vertical	48
TOTAL	88

* 10 additional bikes provided in lieu of 2 parking spaces, *as per PZBL 2017-08 6.1.2.1*

CLASS 2 BIKES

As per PZBL 2017-08 6.4.3

RESIDENTIAL - Class 2 Bikes Required - 0.1 per unit
 RETAIL - Class 2 Bikes Required - Minimum of 2, plus one for every 125 m2 over 250 m2

PHASE 2 SOUTH - CLASS 2 BIKES REQ'D	
UNITS	CLASS 2 BIKES REQUIRED
149	14.9

RETAIL - Class 2 Bikes Required - 2 RACKS

UNIT MIX

UNIT MIX - PHASE 2 SOUTH			
TYPE	AREA	COUNT	%
2BR	847.9 SF ... 1,345.8 SF	103	67%
3BR	1,052.7 SF ... 1,345.8 SF	46	33%
TOTAL		149	

AMENITY SPACE

Amenity space shall be provided at the rate of 10 m2 (107.6 SF) for each dwelling unit.
 25% of the required amenity space must be provided at the ground floor level.

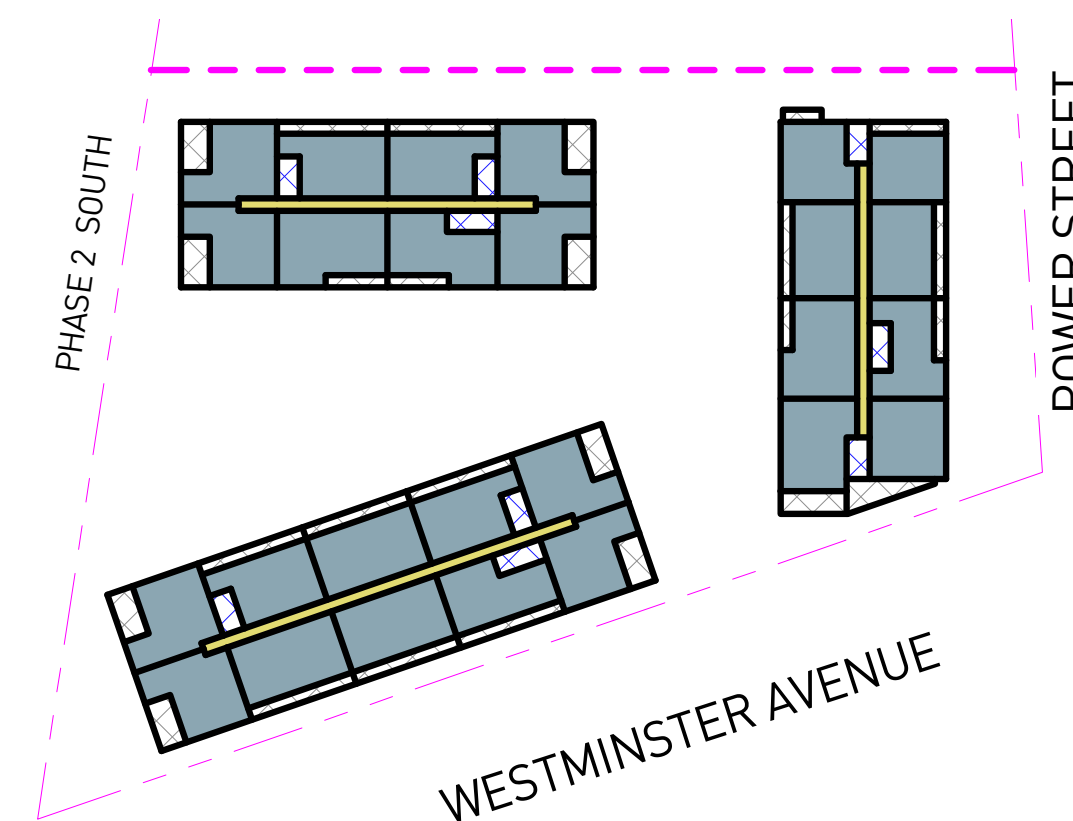
PHASE 2 SOUTH - OUTDOOR AMENITY REQ'D		
UNITS	REQ'D AMENITY (SF)	REQ'D AMENITY (m2)
149	32,079.70	2,980 m ²

AMENITIES PROVIDED - SOUTH PARCEL		
TYPE	AREA	AREA (m2)
PHASE 2 - SOUTH		
BALCONY/PATIO	37,008.9 SF	3,438.2 m ²
OUTDOOR AMENITY	17,416.6 SF	1,618.1 m ²
RESIDENTIAL AMENITY	3,162.7 SF	293.8 m ²
TOTAL	57,588.2 SF	5,350.1 m²

AREA DIAGRAMS



STATS - L1 south
 1" = 80'-0"



STATS - L2 south
 1" = 80'-0"

FAR AREA PLAN

- ☒ BALCONY/PATIO
- ☒ ELEV/STAIR SHAFT
- ☒ OUTDOOR AMENITY
- RESIDENTIAL AMENITY
- RESIDENTIAL CIRCULATION
- RESIDENTIAL UNIT
- RETAIL

GFA BY LEVEL - PHASE 2 SOUTH	
TYPE	AREA
PHASE 2 - SOUTH	
L1	
ELEV/STAIR SHAFT	2,002.9 SF
RESIDENTIAL AMENITY	3,162.7 SF
RESIDENTIAL CIRCULATION	4,676.3 SF
RESIDENTIAL UNIT	21,371.5 SF
RETAIL	2,003.5 SF
TOTAL L1	33,216.9 SF
L2	
ELEV/STAIR SHAFT	1,542.0 SF
RESIDENTIAL CIRCULATION	2,076.1 SF
RESIDENTIAL UNIT	28,884.5 SF
TOTAL L2	32,502.6 SF
L3	
ELEV/STAIR SHAFT	1,542.0 SF
RESIDENTIAL CIRCULATION	2,076.1 SF
RESIDENTIAL UNIT	28,884.5 SF
TOTAL L3	32,502.6 SF

GFA BY LEVEL - PHASE 2 SOUTH	
TYPE	AREA
L4	
ELEV/STAIR SHAFT	1,542.0 SF
RESIDENTIAL CIRCULATION	2,076.1 SF
RESIDENTIAL UNIT	28,884.5 SF
TOTAL L4	32,502.6 SF
L5	
ELEV/STAIR SHAFT	1,542.0 SF
RESIDENTIAL CIRCULATION	2,076.1 SF
RESIDENTIAL UNIT	28,884.5 SF
TOTAL L5	32,502.6 SF
L6	
ELEV/STAIR SHAFT	1,542.0 SF
RESIDENTIAL CIRCULATION	2,076.1 SF
RESIDENTIAL UNIT	28,884.5 SF
TOTAL L6	32,502.6 SF
TOTAL	195,730.1 SF

877 WESTMINSTER AVE - PENTICTON

REZONING APPLICATION

STATISTICS - PHASE 2 SOUTH

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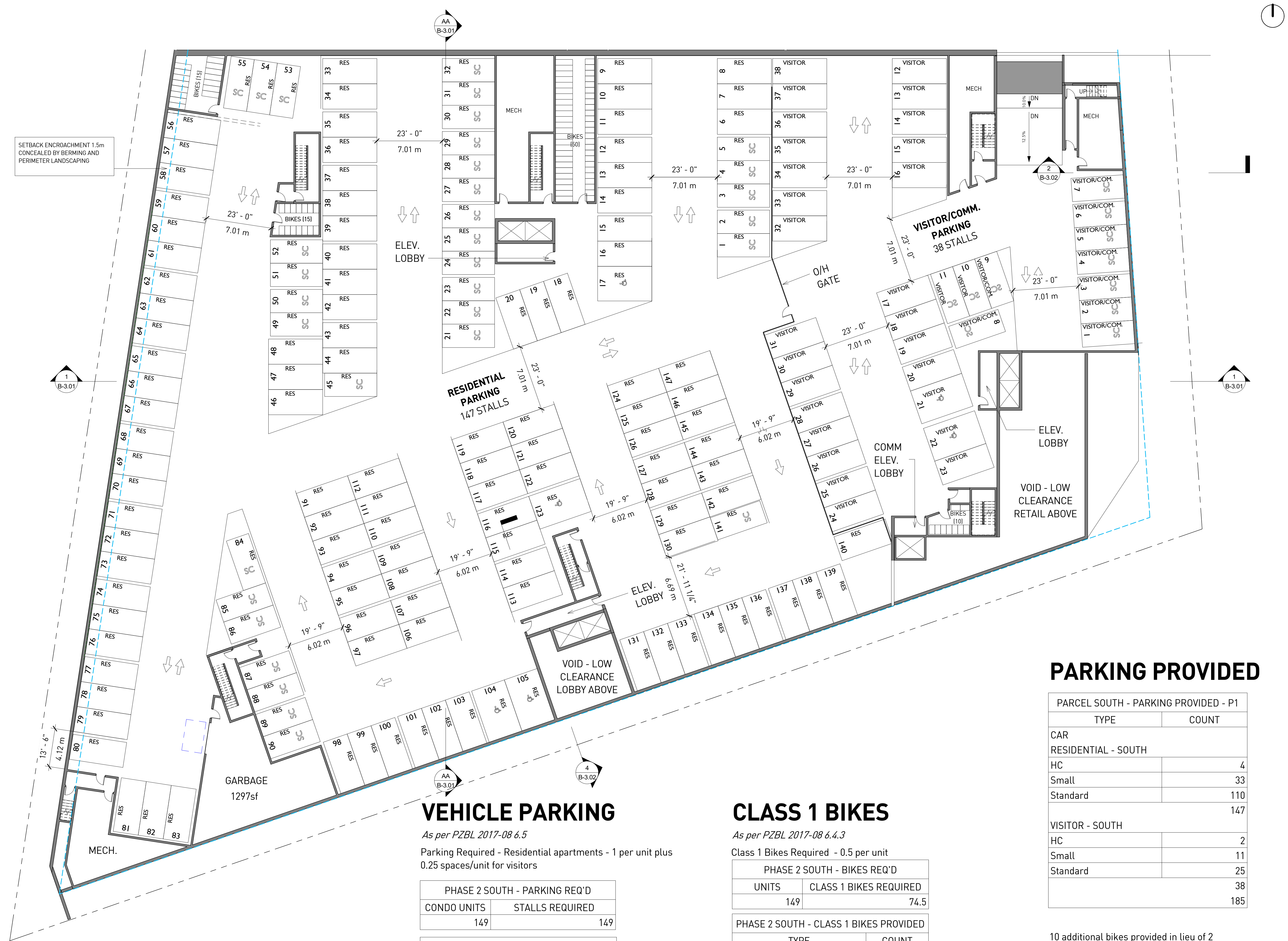


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VEHICLE PARKING

As per PZBL 2017-08 6.5
 Parking Required - Residential apartments - 1 per unit plus 0.25 spaces/unit for visitors

PHASE 2 SOUTH - PARKING REQ'D	
CONDO UNITS	STALLS REQUIRED
149	149

PHASE 2 SOUTH - VISITOR PARKING REQ'D	
UNITS	VISITOR STALLS REQUIRED
149	37.25

TOTAL PARCEL SOUTH PARKING REQ'D: 187

CLASS 1 BIKES

As per PZBL 2017-08 6.4.3
 Class 1 Bikes Required - 0.5 per unit

PHASE 2 SOUTH - BIKES REQ'D	
UNITS	CLASS 1 BIKES REQUIRED
149	74.5

PHASE 2 SOUTH - CLASS 1 BIKES PROVIDED	
TYPE	COUNT
Bicycle - Horizontal	40
Bicycle - Vertical	48
TOTAL	88

PARKING PROVIDED

PARCEL SOUTH - PARKING PROVIDED - P1	
TYPE	COUNT
CAR RESIDENTIAL - SOUTH	
HC	4
Small	33
Standard	110
TOTAL	147
VISITOR - SOUTH	
HC	2
Small	11
Standard	25
TOTAL	38
TOTAL PROVIDED	185

10 additional bikes provided in lieu of 2 parking spaces, as per PZBL 2017-08 6.1.2.1

Proposed shared Retail and Visitor parking.

877 WESTMINSTER AVE - PENTICTON
 REZONING APPLICATION

P1 - PHASE 2

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NOTES

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01	2020-05-27	OCP Amendment bylaw No. 2020-35
02	2022-01-12	ISSUED FOR RZ
03	2022-03-14	RE-ISSUED FOR RZ

GFA - L1 SOUTH		
NAME	AREA	m2
BALCONY/PATIO		
PATIO	746.2 SF	69.32 m ²
PATIO	696.5 SF	64.71 m ²
PATIO	924.8 SF	85.91 m ²
PATIO	525.2 SF	48.79 m ²
PATIO	568.3 SF	52.80 m ²
PATIO	389.2 SF	36.15 m ²
PATIO	231.0 SF	21.46 m ²
PATIO	469.6 SF	43.63 m ²
PATIO	851.1 SF	79.07 m ²
PATIO	230.0 SF	21.37 m ²
PATIO	528.2 SF	49.07 m ²
PATIO	600.0 SF	55.74 m ²
PATIO	750.0 SF	69.68 m ²
PATIO	342.0 SF	31.77 m ²
PATIO	645.1 SF	59.94 m ²
PATIO	446.7 SF	41.50 m ²
PATIO	732.0 SF	68.01 m ²
PATIO	850.0 SF	78.97 m ²
PATIO	10,755.8 SF	999.25 m ²
ELEV/STAIR SHAFT		
ELEV/STAIR SHAFT	187.0 SF	17.37 m ²
ELEV/STAIR SHAFT	255.7 SF	23.76 m ²
ELEV/STAIR SHAFT	255.7 SF	23.76 m ²
ELEV/STAIR SHAFT	255.7 SF	23.76 m ²
ELEV/STAIR SHAFT	255.7 SF	23.76 m ²
ELEV/STAIR SHAFT	185.5 SF	17.23 m ²
ELEV/STAIR SHAFT	164.7 SF	15.30 m ²
ELEV/STAIR SHAFT	164.7 SF	15.30 m ²
ELEV/STAIR SHAFT	92.9 SF	8.63 m ²
ELEV/STAIR SHAFT	185.4 SF	17.23 m ²
ELEV/STAIR SHAFT	2,002.9 SF	186.08 m ²
OUTDOOR AMENITY		
OUTDOOR AMENITY	10,044.9 SF	933.20 m ²
OUTDOOR AMENITY	2,968.2 SF	275.76 m ²
OUTDOOR AMENITY	4,403.4 SF	409.09 m ²
OUTDOOR AMENITY	17,416.6 SF	1,618.05 m ²
RESIDENTIAL AMENITY		
AMENITY	724.5 SF	67.31 m ²
AMENITY	1,153.0 SF	107.11 m ²
AMENITY	847.9 SF	78.77 m ²
AMENITY	437.4 SF	40.64 m ²
AMENITY	3,162.7 SF	293.83 m ²
RESIDENTIAL CIRCULATION		
CIRCULATION	764.7 SF	71.04 m ²
CIRCULATION	1,090.1 SF	101.27 m ²
CIRCULATION	590.7 SF	54.88 m ²
CIRCULATION	145.3 SF	13.50 m ²
CIRCULATION	269.6 SF	25.05 m ²
CIRCULATION	181.6 SF	16.87 m ²
LOBBY	399.9 SF	37.16 m ²
LOBBY	619.1 SF	57.51 m ²
LOBBY	615.3 SF	57.17 m ²
LOBBY	4,676.3 SF	434.44 m ²
RESIDENTIAL UNIT		
B	1,086.7 SF	100.95 m ²
B	1,086.7 SF	100.95 m ²
B	1,024.7 SF	95.19 m ²
B	1,024.7 SF	95.19 m ²
B	1,345.8 SF	125.03 m ²
B	1,107.7 SF	102.91 m ²
B	1,136.1 SF	105.55 m ²
B	847.9 SF	78.77 m ²
B	909.6 SF	84.51 m ²
B	848.8 SF	78.85 m ²
B	1,076.7 SF	100.03 m ²
B	1,107.7 SF	102.91 m ²
B	1,136.1 SF	105.55 m ²
C	1,339.9 SF	124.48 m ²
C	1,238.2 SF	115.03 m ²
C	1,345.8 SF	125.03 m ²
C	1,238.2 SF	115.03 m ²
C	1,238.2 SF	115.03 m ²
C	1,232.3 SF	114.48 m ²
C	21,371.5 SF	1,985.47 m ²
RETAIL		
CRU	992.6 SF	92.21 m ²
CRU	1,010.9 SF	93.92 m ²
CRU	2,003.5 SF	186.13 m ²
TOTAL	61,389.3 SF	5,703.25 m ²



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 REZONING APPLICATION

GFA - L1 - PHASE 2

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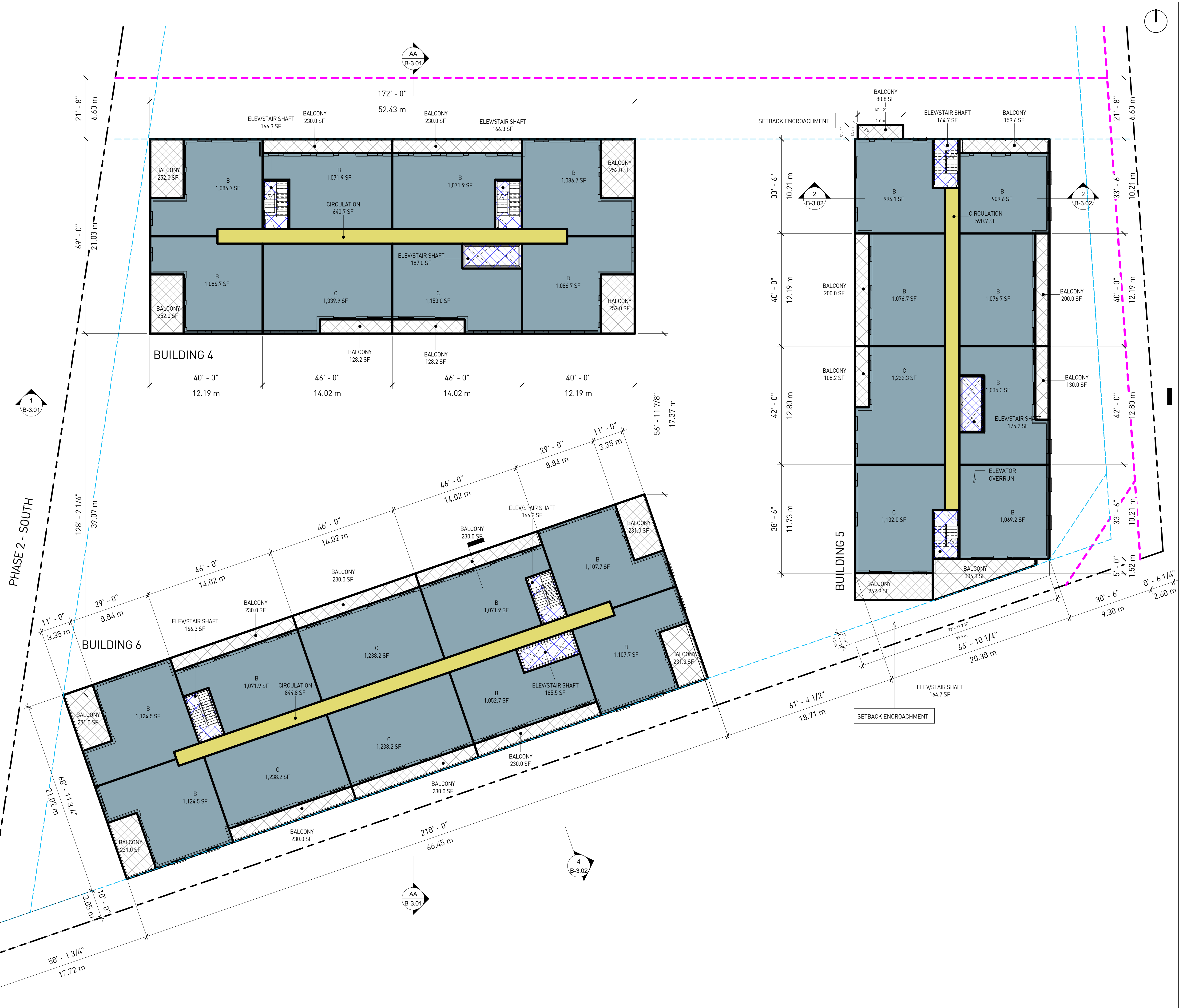
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JOB NUMBER 1603

B-1.02

GFA - L2-6 SOUTH		
NAME	AREA	m2
BALCONY/PATIO		
BALCONY	108.2 SF	10.05 m ²
BALCONY	200.0 SF	18.58 m ²
BALCONY	200.0 SF	18.58 m ²
BALCONY	130.0 SF	12.08 m ²
BALCONY	159.6 SF	14.83 m ²
BALCONY	306.3 SF	28.46 m ²
BALCONY	252.0 SF	23.41 m ²
BALCONY	252.0 SF	23.41 m ²
BALCONY	230.0 SF	21.37 m ²
BALCONY	230.0 SF	21.37 m ²
BALCONY	252.0 SF	23.41 m ²
BALCONY	252.0 SF	23.41 m ²
BALCONY	128.2 SF	11.91 m ²
BALCONY	128.2 SF	11.91 m ²
BALCONY	231.0 SF	21.46 m ²
BALCONY	231.0 SF	21.46 m ²
BALCONY	230.0 SF	21.37 m ²
BALCONY	230.0 SF	21.37 m ²
BALCONY	231.0 SF	21.46 m ²
BALCONY	231.0 SF	21.46 m ²
BALCONY	230.0 SF	21.37 m ²
BALCONY	230.0 SF	21.37 m ²
BALCONY	230.0 SF	21.37 m ²
BALCONY	230.0 SF	21.37 m ²
BALCONY	230.0 SF	21.37 m ²
BALCONY	230.0 SF	21.37 m ²
BALCONY	80.8 SF	7.51 m ²
BALCONY	262.9 SF	24.42 m ²
BALCONY	5,476.4 SF	508.77 m ²
ELEV/STAIR SHAFT		
ELEV/STAIR SHAFT	187.0 SF	17.37 m ²
ELEV/STAIR SHAFT	166.3 SF	15.45 m ²
ELEV/STAIR SHAFT	166.3 SF	15.45 m ²
ELEV/STAIR SHAFT	185.5 SF	17.23 m ²
ELEV/STAIR SHAFT	166.3 SF	15.45 m ²
ELEV/STAIR SHAFT	166.3 SF	15.45 m ²
ELEV/STAIR SHAFT	175.2 SF	16.28 m ²
ELEV/STAIR SHAFT	164.7 SF	15.30 m ²
ELEV/STAIR SHAFT	164.7 SF	15.30 m ²
ELEV/STAIR SHAFT	1,542.0 SF	143.26 m ²
RESIDENTIAL CIRCULATION		
CIRCULATION	640.7 SF	59.52 m ²
CIRCULATION	844.8 SF	78.48 m ²
CIRCULATION	590.7 SF	54.88 m ²
CIRCULATION	2,076.1 SF	192.88 m ²
RESIDENTIAL UNIT		
B	1,086.7 SF	100.95 m ²
B	1,086.7 SF	100.95 m ²
B	1,086.7 SF	100.95 m ²
B	1,086.7 SF	100.95 m ²
B	1,071.9 SF	99.58 m ²
B	1,071.9 SF	99.58 m ²
B	1,107.7 SF	102.91 m ²
B	1,107.7 SF	102.91 m ²
B	1,124.5 SF	104.47 m ²
B	1,124.5 SF	104.47 m ²
B	1,071.9 SF	99.58 m ²
B	1,071.9 SF	99.58 m ²
B	1,052.7 SF	97.80 m ²
B	1,035.3 SF	96.18 m ²
B	909.6 SF	84.51 m ²
B	994.1 SF	92.35 m ²
B	1,076.7 SF	100.03 m ²
B	1,076.7 SF	100.03 m ²
B	1,069.2 SF	99.33 m ²
C	1,339.9 SF	124.48 m ²
C	1,153.0 SF	107.11 m ²
C	1,238.2 SF	115.03 m ²
C	1,238.2 SF	115.03 m ²
C	1,238.2 SF	115.03 m ²
C	1,232.3 SF	114.48 m ²
C	1,132.0 SF	105.17 m ²
C	28,884.5 SF	2,683.46 m ²
TOTAL	37,979.0 SF	3,528.36 m ²



PHASE 2 - SOUTH

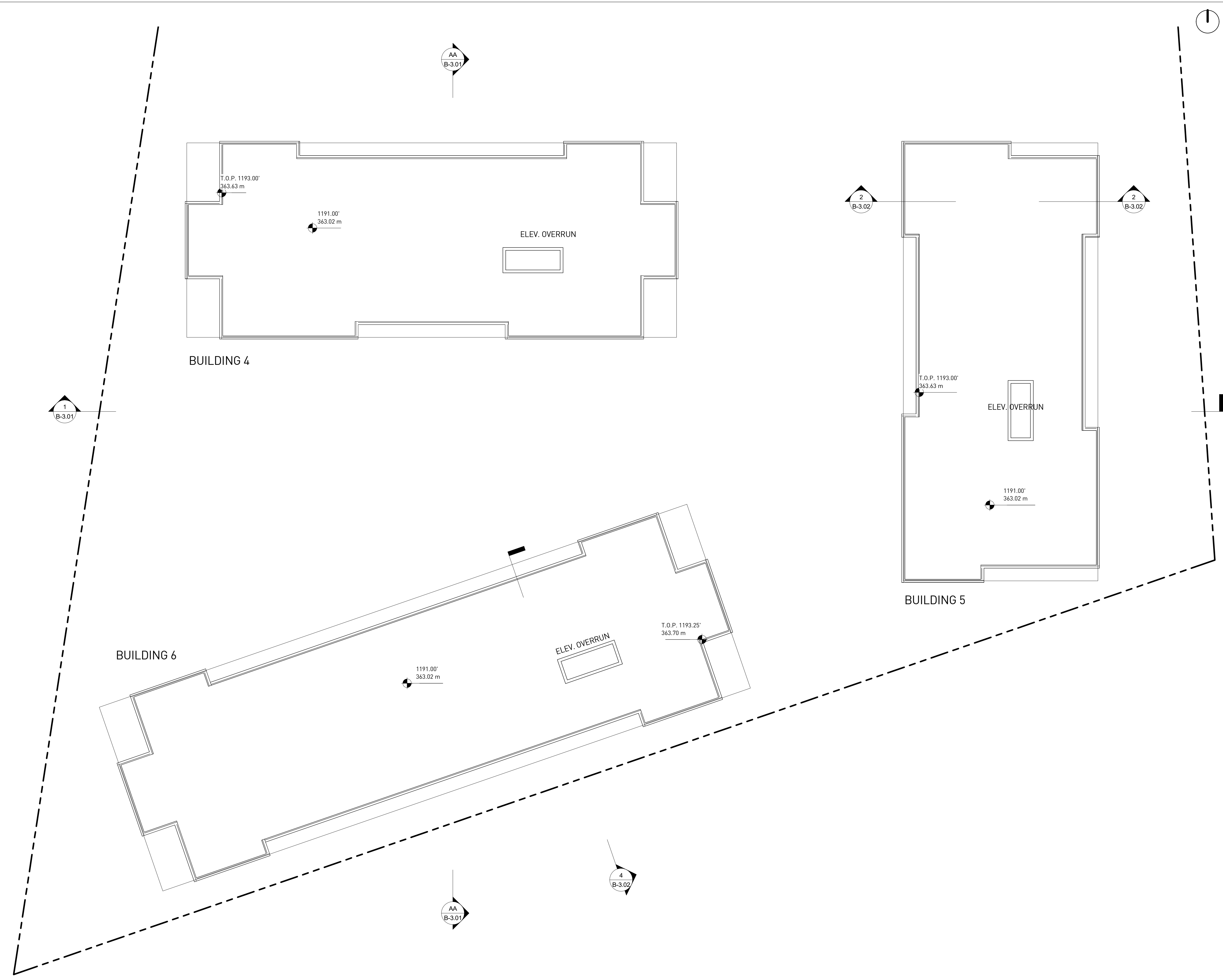


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ROOF - PHASE 2

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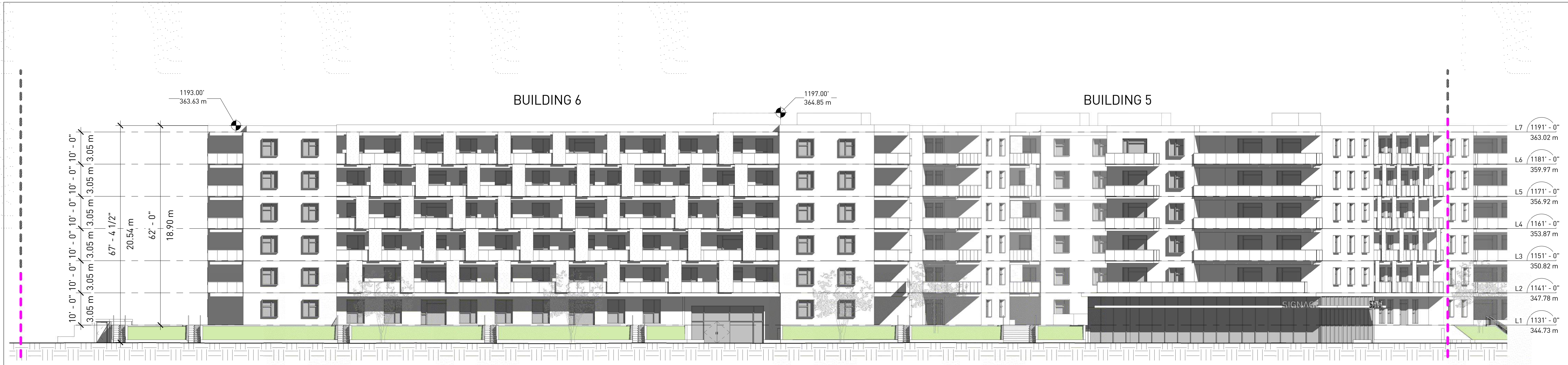


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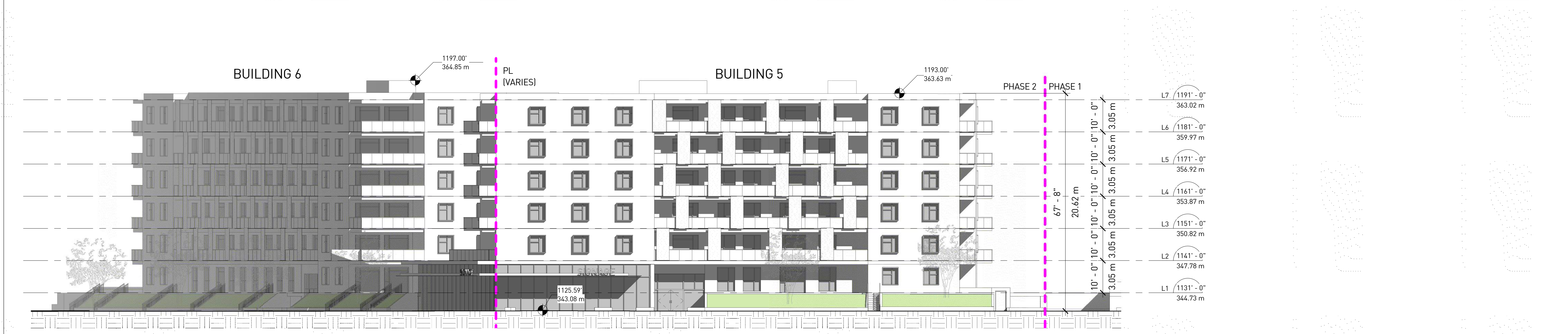
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Phase 2 - South Elevation - Westminster Ave
 1/16" = 1'-0"



Phase 2 - East Elevation - Power Street
 1/16" = 1'-0"

877 WESTMINSTER
 AVE - PENTICTON

REZONING APPLICATION

ELEVATIONS -
 PHASE 2

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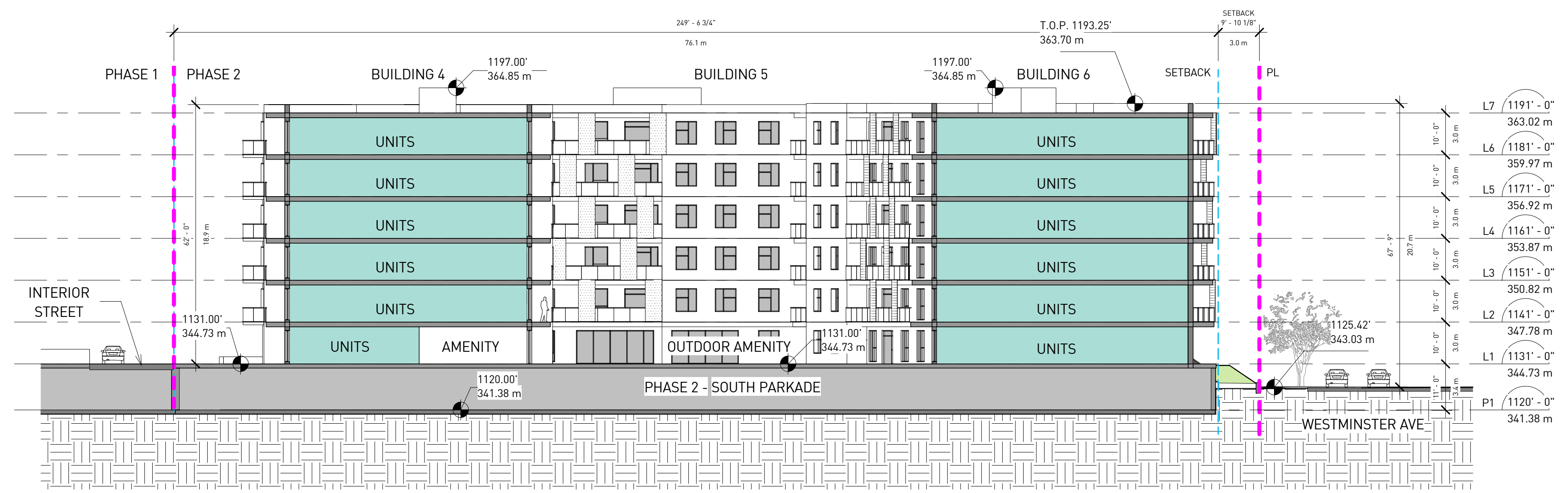


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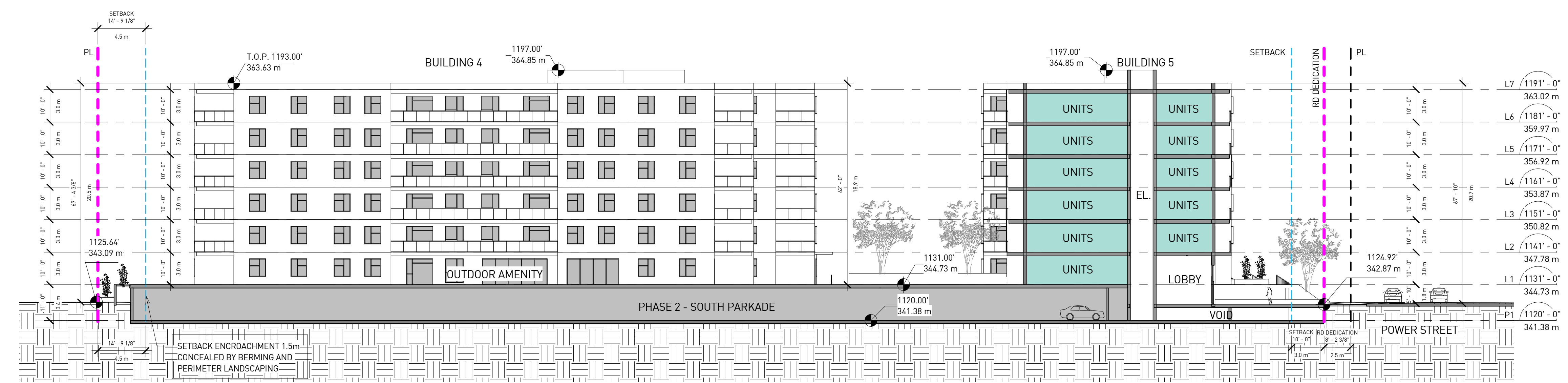
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SECTION AA - PHASE 2 SOUTH
 1" = 20'-0"



SECTION BB - PHASE 2 SOUTH
 1" = 20'-0"

877 WESTMINSTER AVE - PENTICTON

REZONING APPLICATION

SECTIONS - PHASE 2

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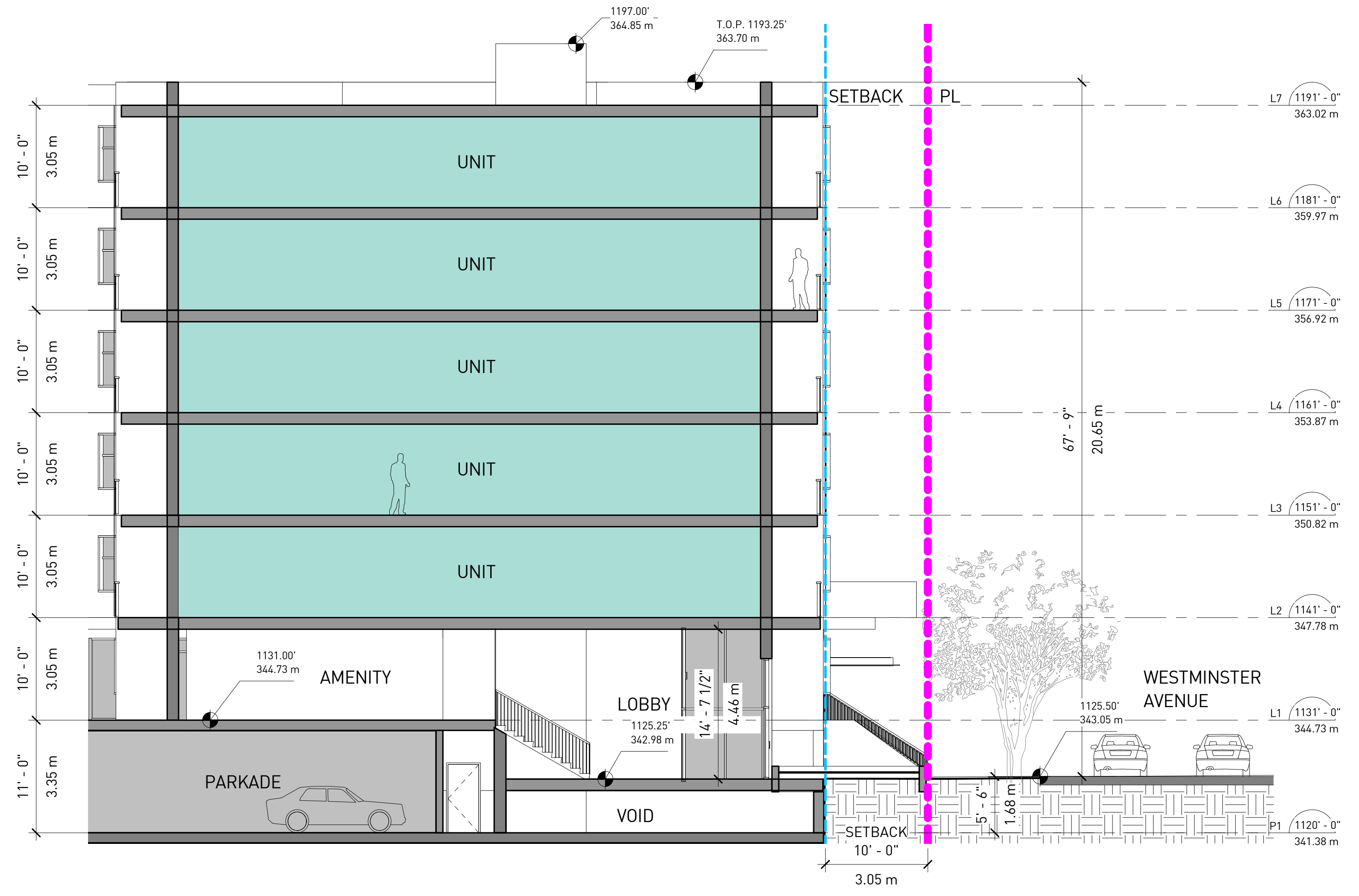


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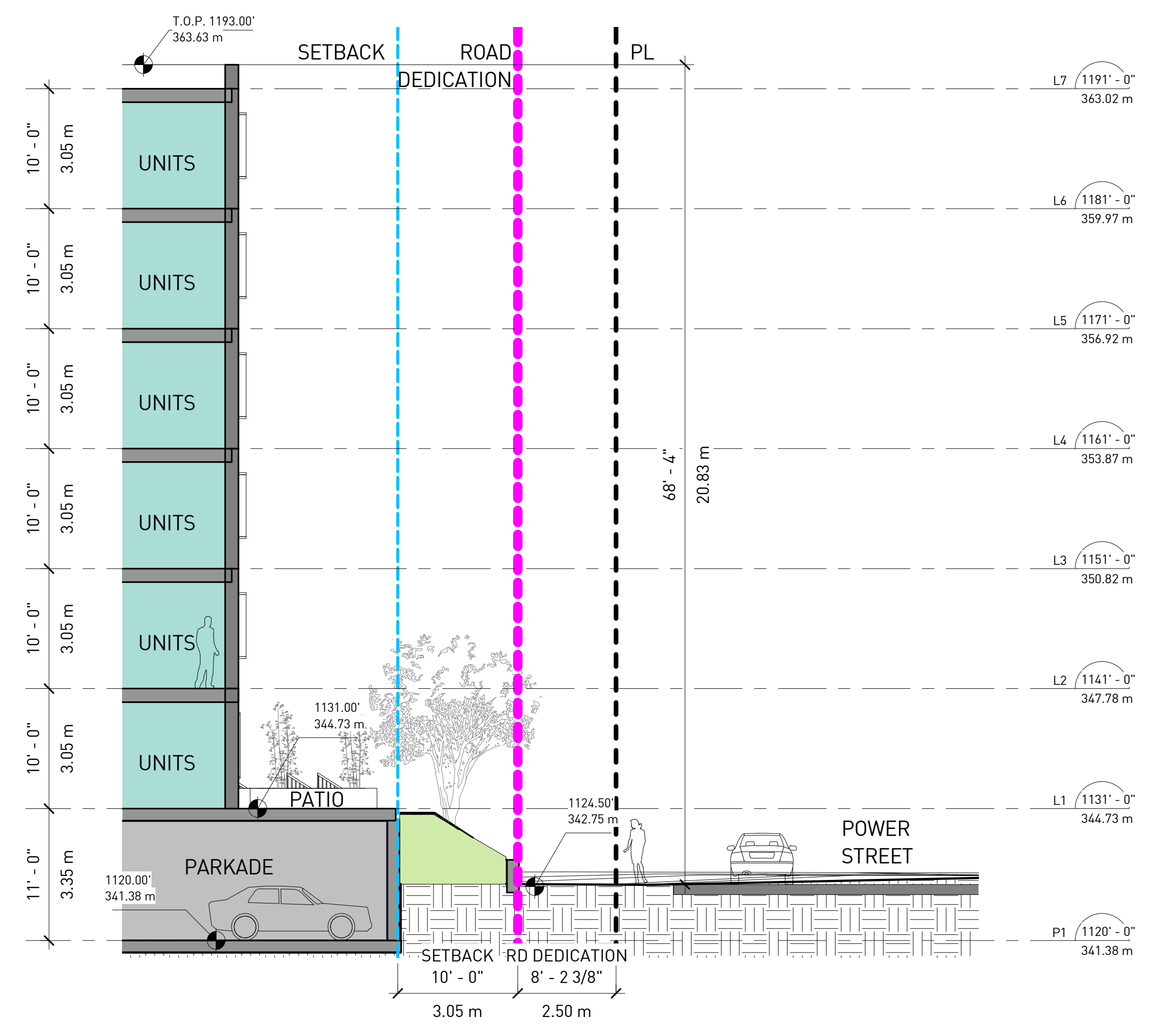
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SECTION 4 - PHASE 2 SOUTH - WESTMINSTER AVE
1/8" = 1'-0"



SECTION 3 - PHASE 2 SOUTH - POWER ST
1/8" = 1'-0"

877 WESTMINSTER AVE - PENTICTON
REZONING APPLICATION

SECTIONS - PHASE 2

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APARTMENT BUILDINGS PRECEDENTS



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PRECEDENTS

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RETAIL BASE PRECEDENTS



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PRECEDENTS

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B-4.02

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PHASE 1 - VIEW FROM CORNER BETWEEN POWER STREET AND LANE

877 WESTMINSTER
AVE - PENTICTON

REZONING APPLICATION

CONCEPTUAL 3D
VIEWS

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SCALE

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PHASE 2 - VIEW FROM CORNER BETWEEN POWER STREET AND WESTMINSTER AVENUE

877 WESTMINSTER
AVE - PENTICTON

REZONING APPLICATION

CONCEPTUAL 3D
VIEW

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SCALE

JOB NUMBER 1603

B-5.02

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PHASE 2 - SOUTH ELEVATION (WESTMINSTER AVENUE)

877 WESTMINSTER
AVE - PENTICTON

REZONING APPLICATION

CONCEPTUAL
ELEVATION

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SCALE

JOB NUMBER 1603

B-5.03

CropHealth Advising & Research
PO Box 28098, Kelowna BC
Office 250- 717-1898 www.crophealth.com

To:	Date:
TODD WHYTE Parks Supervisor Penticton Parks Department	Monday March 21, 2022
	<i>8 pages</i>

TREE PROTECTION – WESTMINSTER AVE WEST (NEAR POWER ST)

Background

A development project is proposed on a large private property on Westminster Avenue West, near Power Street, street addresses 813, 825, 851 and 877. The property is currently occupied by “El Rancho Motor Hotel” and “Entreprise Rent-A-Car”.

This report documents steps to be taken for protection of four City-owned trees growing along Westminster Avenue. The site was visited February 18 and again March 17 to conduct a risk assessment and document measures required for preservation.

Relevant standards

This report follows procedures in the American National Standard ANSI A300 – Part 5 “Management of Trees and Shrubs During Site Planning, Site Development, and Construction” (2005), and the International Society of Arboriculture “Best Management Practices - Managing Trees During Construction” (2016).

The City of Penticton “Tree Protection Bylaw” (2001-26) “prohibits the removal, destruction, trimming or cutting of any City trees without the permission of the Parks Supervisor. This Bylaw requires that fencing be installed at the dripline of trees (...) during excavation or construction of any building structure”. The property owner is responsible for the condition of the landscaped portion of the boulevard adjacent to the property.

Mario Lanthier

Certified arborist, International Society of Arboriculture (PN-0964A)

Tree Risk Assessment Qualification (TRAQ), International Society of Arboriculture, renewed 2019

Stefanie Harder

Tree Risk Assessment Qualification (TRAQ), International Society of Arboriculture, 2019

Members of the B.C. Landscape Nursery Association

Western Canada Turfgrass Association - Canadian Nursery Landscape Association

International Society of Horticultural Sciences - International Society of Arboriculture

TREE MANAGEMENT

About the location

Along Westminster Avenue, a large number of mature elms create a tree corridor from Riverside Drive to Power Street, then extending south onto Power Street. The four mature elms in front of the proposed development are part of this corridor.

The subject trees are growing on City property between the public road and the proposed development. The trees are located on the north side of Westminster Avenue West, between Power Street and Alberni Street. The trees are affixed on the north side of the trunk with a round metallic tag showing numbers N9 (closest to Alberni Street) sequential to N12 (closest to Power Street).

Consult Appendix A for an overview map.

Description of trees

All four trees are American elms (*Ulmus americana*).

- Tree N9 (closest to Alberni St) is 18 metres tall, 84 cm diameter, 18 m canopy spread.
- Tree N10 is 9 metres tall, 45 cm trunk diameter and 10 m canopy spread.
- Tree N11 is 15 metres tall, 77 cm trunk diameter and 19 m canopy spread.
- Tree N12 (closest to Power St) is 13 metres tall, 69 cm diameter, 18 m canopy spread.

Consult Appendix B for pictures of the subject trees.

Conservation rating

All three trees have “good” suitability for conservation.

- The trees show normal growth and health for the species and the age.
- There is no structural defect that would require major abatement measures.
- The main limitation to growth is the small open soil area at the base of the trees.

The trees are large mature elms. Such trees cannot be easily replaced. Removal and replanting would impact the tree corridor on this street.

Limits of construction

Construction activities may impact the trees in the following ways.

- Damage to roots from removal of paving material (current parking lot), excavation of soil for construction of new building(s), change of grade or installation of access road(s);
- Damage to trunk or branches during construction of new building(s);
- Compaction of soil during construction from vehicle and equipment traffic;
- Chemical contamination of soil from solvents, paints, oils or similar materials;
- Installation of landscape plantings within the dripline of the trees.

Effects on the trees

The subject trees are American elms. This species has “moderate tolerance” to development impacts ¹ and “high adaptability” to environmental changes ².

Based on current industry standards, using the trunk diameter method for species of “medium to good” tolerance to construction and “mature to overmature” age, the tree protection zone should be a circle with a radius 9 to 12 metres from the trunk ³.

This report is recommending a “tree protection zone” in a half-circle shape towards the private property (from the trunk to the outside of the canopy dripline, or 8 to 9 metres radius) and in a rectangle shape on the public property (following the outline of the current sidewalk along the street). Consult Appendix A for an overview map.

Recommendations for the City

- The four City-owned trees (American elms) are recommended for retention.
- Prior to construction, crown cleaning to remove dead hangers on tree N11 and removal of dead branches 5 to 10 cm diameter on all four trees.
- The final plans, including the suggested landscaping, should be reviewed to ensure no work activity is proposed within the designated “tree protection zone”.
- All measures intended to protect the City trees should be written into the construction specifications. Fines and penalties for violations should be proportional to the damage.
- During construction, the site should be visited regularly to discuss on-going concerns with the contractors and to ensure the integrity of the “tree protection zone”.

Recommendations for the developer

- Prior to the start of construction, a “tree protection zone” must be installed. Consult Appendix C for details on design of the protection zone and materials for fencing.
- Sub-contractors must be informed that no activity is allowed within the “tree protection zone”, including lunch tables, storage of materials or driving of machinery.
- Any activity within the “tree protection zone” (removal of pavement to install a grass strip) must be done in consultation with and supervised by a City Parks representative.
- The final landscape plan must include the installation of an open grass 1.5 metres wide and connecting all four trees (the edge of the street to the edge of the sidewalk).

¹ Matheny N. and J.R. Clark. 1998. Trees and Development – A Technical Guide to Preservation of Trees During Land Development. International Society of Arboriculture. Champaign IL. p178

² Dennis C. and W.R. Jacob. 2020. Protecting Trees During Construction. Colorado State University Extension. Fact Sheet NO 7.420. At <https://extension.colostate.edu/topic-areas/yard-garden/protecting-trees-during-construction-7-420/>

³ Fite K. and E.T. Smiley. 2016. Best Management Practices: Managing Trees During Construction. 2nd edition. International Society of Arboriculture. Atlanta GA. p.12.

APPENDIX A: OVERVIEW MAP



Above: Overview of subject property on Westminster Ave West near Power Street. The trees discussed on this report are located along Westminster (green circles).



Above: The proposed "tree protection zone" is marked on the map with a red line.

A fence must be installed on site that would exclude any construction activities.

South site: edge of the street and includes the sidewalk area.

North side: to the outer edge of the tree canopy (8 to 9 metres radius from the trunk).

Distance from the trunk towards the private property:

- Tree N9 (most west in the sequence): 9 metres
- Tree N10 (going east): 6 metres
- Tree N11: 8 metres
- Tree N12 (closest to Power Street): 8 metres

APPENDIX B: SUBJECT TREES



Above: The trees discussed in this report are mature elms along Westminster Ave. There are 4 City-owned trees located between Power St and Alberni St. The expected development would be to the left on the pictures. The site is currently occupied by "El Rancho Motor Hotel" and "Enterprise Rent-A-Car".



Above left: The trees are in good condition without important structural defects. Right: There is evidence of recent pruning with removal cuts and reduction cuts.



Above left: There is currently a limited open soil area at the base of each tree. Right: The current pavement from the street to the sidewalk is 1.5 metres wide (5 feet). As part of the development, this paved area should be replaced with a grass strip.

APPENDIX B: CONSTRUCTION NEAR A MATURE TREE

This page: Pictures from another construction project near a large-size beech tree (*Fagus s.*). The developer ensured an adequate “tree protection zone” and modified the building design to avoid interference with the tree canopy.



Above: Pictures from April 2019 (start of project).

Left: Overview of the site

On the left is a large-size tree (beech) and on the right is the vacant lot.

Right: Close-up of the “tree protection zone”.

A rigid fence was installed to exclude excavation, storage or use of equipment. The fence is located at the dripline of the tree (not visible on the picture).



Above: Pictures from March 2022 (project is completed).

Left: The area under the tree was preserved as open soil with mulch and grasses.

Right: Close-up of finished building.

The corner was modified into an angle to avoid interference with the tree canopy.

APPENDIX C: TREE PROTECTION FENCE

Prior to the start of work on the proposed development, a “tree protection fence” must be installed to prevent damage to the trees during the project.

- The fence must be installed at the limit of the crown dripline on the north side of the trees and enclose the four mature elms trees growing along Westminster Avenue.
- The fence must be made of sturdy material, either chain link, wire mesh or wood with standard 2x4 pieces cross-braced with snow-type fencing.
- The fence must be 1.2 to 1.8 m high (4 to 6 feet) and solidly anchored to the ground.
- Signs must be installed on the fence, directed at construction workers, clearly stating “Tree Protection Area – Do Not Enter”, or words to that effect.
- The fence and the sign must remain in place for the duration of the construction.



Above: Examples of suitable fencing made from chain link, 4 to 6 feet high, anchored.



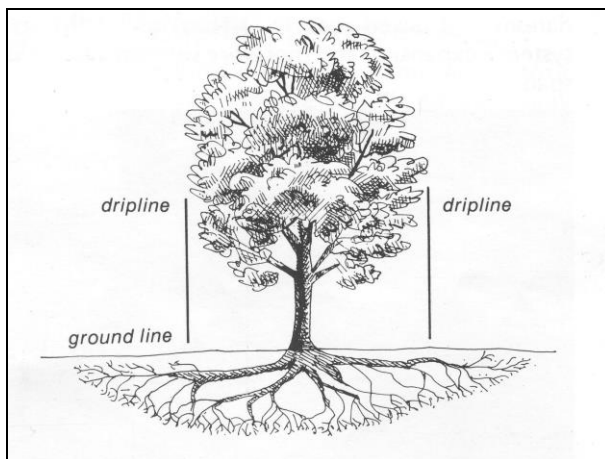
Above left: Example of suitable fencing made from 2x4 wood and snow-fencing.

Right: Example of sign to be installed on the fencing to instruct construction workers.

APPENDIX C: PROHIBITED ACTIVITIES NEAR THE TREES

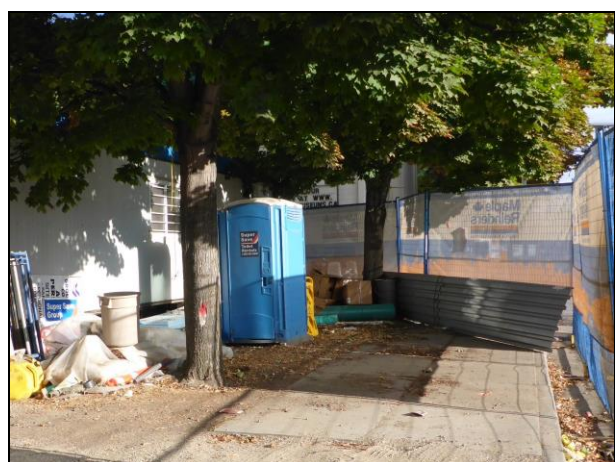
The construction activities must limit damage to tree parts above-ground and below-ground. Any work within the fenced area, above ground or below ground, must be approved prior to the work and supervised by a City Parks representative.

- Construction workers must be instructed to avoid activities within the fenced area.
- The fenced area must be maintained clear of building materials, fill soil, equipment, not be used for storage of equipment and not to be used for tables and chairs.
- The construction activities must avoid direct injury to tree trunks; changes in soil grade within the dripline of the trees; accumulation of fill soil; compaction of soil by driving equipment; washing of chemicals within the dripline; or pruning of branches.



Above left: Most tree roots important for uptake of water and food are found in the top 15 to 30 cm of soil and extend to an area just past the dripline from the tree canopy.

Right: Use of equipment close to the tree will cause soil compaction and root damage.



Above: Examples of activities not allowed inside the fenced area.

Left: Permanent storage of tools. Right: Use of area by workers.

14.9 CD9 – Comprehensive Development (877 Westminster Ave W)

14.9.1 PURPOSE

This **zone** provides for the comprehensive development of a high-density, mid-rise (maximum 6 storeys above parkade), mixed-use development site for *Lot 1 District Lot 2 Group 7 Similkameen Division Yale (Formerly Yale-Lytton) District Plan 13891*, located at 813 Westminster Ave W, *Lot 2 District Lot 2 Group 7 Similkameen Division Yale (Formerly Yale-Lytton) District Plan 13891*, located at 825 Westminster Ave W, and *Lot 1 District Lot 2 Group 7 Similkameen (Formerly Yale-Lytton) Division Yale District Plan 15658*, located at 877 Westminster Ave W.

14.9.2 PERMITTED USES

The **permitted uses** in this **zone** are:

- .1 **accessory use, building or structure**
- .2 **apartment**
- .3 **artisan crafts**
- .4 **bakery**
- .5 **business support service**
- .6 **craft brewery/distillery**
- .7 **commercial school**
- .8 **congregate housing**
- .9 **day care centre, major**
- .10 **dwelling unit**
- .11 **grocery store**
- .12 **health service**
- .13 **high technology service**
- .14 **indoor animal daycare and grooming**
- .15 **indoor amusement, entertainment and recreation**
- .16 **liquor primary licensed premise**
- .17 **live work unit** (subject to specific use regulation 7.8)
- .18 **minor home occupation** (subject to specific use regulation 7.3)
- .19 **office**
- .20 **personal service establishment**
- .21 **recreation equipment rental, service and sales**
- .22 **restaurant**
- .23 **resort residential**
- .24 **retail store**
- .25 **vacation rental** (subject to specific use regulation 7.6)

14.9.3 SUBDIVISION AND DEVELOPMENT REGULATIONS

- | | | |
|----|-------------------------------|---|
| .1 | Minimum lot width : | 43.0 m |
| .2 | Minimum lot area : | 8,200 m ² |
| .3 | Maximum lot coverage : | 40% (does not include parkade)
91% (include parkade) |
| .4 | Maximum density : | 2.1 FAR |
| .5 | Maximum height : | 21.0 m |

.6	Minimum <i>front yard</i> :	3.0 m
.7	Minimum <i>interior side yard</i> :	4.5 m
.8	Minimum <i>exterior side yard</i> :	3.0 m
.9	Minimum <i>rear yard</i> :	4.5 m

14.9.4 AMENITY SPACE

- .1 *Amenity space* shall be provided at the rate of 20.0 m² for each *dwelling unit*.

14.9.5 OTHER REGULATIONS

- .1 Notwithstanding Chapter 6, any commercial *use* identified in this zone shall not be required to provide any vehicle *parking* or *loading spaces*.
- .2 Notwithstanding Section 4.9 of this Bylaw, a *balcony* may project up to 0.41 m into a northern *interior side yard*.

DRAFT

The Corporation of the City of Penticton

Bylaw No. 2022-21

A Bylaw to Amend Zoning Bylaw 2021-01

WHEREAS the Council of the City of Penticton has adopted a Zoning Bylaw pursuant the *Local Government Act*;

AND WHEREAS the Council of the City of Penticton wishes to amend Zoning Bylaw No. 2021-01;

NOW THEREFORE BE IT RESOLVED that the Municipal Council of the City of Penticton, in open meeting assembled, hereby ENACTS AS FOLLOWS:

1. **Title:**

This bylaw may be cited for all purposes as "Zoning Amendment Bylaw No. 2022-21".

2. **Amendment:**

Zoning Bylaw No. 2021-01 is hereby amended as follows:

2.1 Update the Table of Contents and add the following to Chapter 14 – Comprehensive Development:

14.9 CD9 – Comprehensive Development (877 Westminster Ave W)

14.9.1 PURPOSE

This **zone** provides for the comprehensive development of a high-density, mid-rise (maximum 6 storeys above parkade), mixed-use development site for *Lot 1 District Lot 2 Group 7 Similkameen Division Yale (Formerly Yale-Lytton) District Plan 13891*, located at 813 Westminster Ave W, *Lot 2 District Lot 2 Group 7 Similkameen Division Yale (Formerly Yale-Lytton) District Plan 13891*, located at 825 Westminster Ave W, and *Lot 1 District Lot 2 Group 7 Similkameen (Formerly Yale-Lytton) Division Yale District Plan 15658*, located at 877 Westminster Ave W.

14.9.2 PERMITTED USES

The *permitted uses* in this **zone** are:

- .1 *accessory use, building or structure*
- .2 *apartment*
- .3 *artisan crafts*
- .4 *bakery*
- .5 *business support service*
- .6 *craft brewery/distillery*
- .7 *commercial school*
- .8 *congregate housing*

- .9 *day care centre, major*
- .10 *dwelling unit*
- .11 *grocery store*
- .12 *health service*
- .13 *high technology service*
- .14 *indoor animal daycare and grooming*
- .15 *indoor amusement, entertainment and recreation*
- .16 *liquor primary licensed premise*
- .17 *live work unit* (subject to specific use regulation 7.8)
- .18 *minor home occupation* (subject to specific use regulation 7.3)
- .19 *office*
- .20 *personal service establishment*
- .21 *recreation equipment rental, service and sales*
- .22 *restaurant*
- .23 *resort residential*
- .24 *retail store*
- .25 *vacation rental* (subject to specific use regulation 7.6)

14.9.3 SUBDIVISION AND DEVELOPMENT REGULATIONS

- .1 Minimum *lot width*: 43.0 m
- .2 Minimum *lot area*: 8,200 m²
- .3 Maximum *lot coverage*: 40% (does not include parkade)
91% (include parkade)
- .4 Maximum *density*: 2.1 *FAR*
- .5 Maximum *height*: 21.0 m
- .6 Minimum *front yard*: 3.0 m
- .7 Minimum *interior side yard*: 4.5 m
- .8 Minimum *exterior side yard*: 3.0 m
- .9 Minimum *rear yard*: 4.5 m

14.9.4 AMENITY SPACE

- .1 *Amenity space* shall be provided at the rate of 20.0 m² for each *dwelling unit*.

14.9.5 OTHER REGULATIONS

- .1 Notwithstanding Chapter 6, any commercial *use* identified in this zone shall not be required to provide any vehicle *parking* or *loading spaces*.
- .2 Notwithstanding Section 4.9 of this Bylaw, a *balcony* may project up to 0.41 m into a northern *interior side yard*.

2.2 Rezone the following properties from CT1 (Tourist Commercial), C7 (Service Commercial) and C8 (Vehicle Service Station) to CD9 – Comprehensive Development (877 Westminster Ave W) as shown on Schedule ‘A’.

- 1. Lot 1 District Lot 2 Group 7 Similkameen Division Yale (Formerly Yale-Lytton) District Plan 13891, located at 813 Westminster Ave West, and
- 2. Lot 2 District Lot 2 Group 7 Similkameen Division Yale (Formerly Yale-Lytton) District Plan 13891, located at 825 Westminster Ave West, and
- 3. Lot 1 District Lot 2 Group 7 Similkameen (Formerly Yale-Lytton) Division Yale District Plan 15658, located at 877 Westminster Ave West.

2.3 Schedule ‘A’ attached hereto forms part of this bylaw.

READ A FIRST time this _____ day of _____, 2022

A PUBLIC HEARING was held this _____ day of _____, 2022

READ A SECOND time this _____ day of _____, 2022

READ A THIRD time this _____ day of _____, 2022

RECEIVED the approval of the _____ day of _____, 2022

Ministry of Transportation on the

ADOPTED this _____ day of _____, 2022

Notice of intention to proceed with this bylaw was published on the ___ day of ____, 2022 and the ___ day of ____, 2022 in the Penticton Herald newspaper, pursuant to Section 94 of the *Community Charter*.

John Vassilaki, Mayor

Angie Collison, Corporate Officer

<p>Approved pursuant to section 52(3)(a) of the <i>Transportation Act</i> this _____ day of _____, 2022</p> <p>_____</p> <p>for Minister of Transportation & Infrastructure</p>
--



Schedule A: Zoning Amendment Bylaw 2022-21

Date:

Corporate Officer:

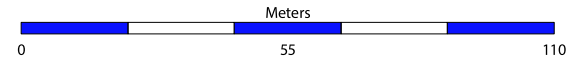


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Coordinate System: NAD 1983 CSRS UTM Zone 11N

Council Report

penticton.ca

Date: May 3, 2022 File No: RMS/435 Green Ave W
To: Donny van Dyk, Chief Administrative Officer
From: Steven Collyer, Planner II
Address: 435 Green Avenue West

Subject: **Official Community Plan Amendment Bylaw No. 2022-22**
Zoning Amendment Bylaw No. 2022-23
Development Permit PL2022-9275

Staff Recommendation

THAT Council give first reading to "Official Community Plan Amendment Bylaw No. 2022-22", a bylaw that amends Map 1: Future Land Use of Official Community Plan Bylaw No. 2019-08, by changing the future land use designation for Lot 3 District Lots 379 and 182 Similkameen Division Yale District Plan 6750 Except Plan H14743, located at 435 Green Ave West, from 'Detached Residential' to 'Ground Oriented Residential';

AND THAT Council, prior to adoption of "Official Community Plan Amendment Bylaw No. 2022-22" and in accordance with Section 475 of the *Local Government Act*, consider whether early and on-going consultation, in addition to the required Public Hearing, is necessary with:

1. One or more persons, organizations or authorities;
2. The Regional District of Okanagan Similkameen;
3. Local First Nations;
4. School District #67;
5. The provincial or federal government and their agencies.

AND THAT Council, following the Community Engagement for OCP Amendments Procedure, direct staff to commence public engagement for Official Community Plan Amendment Bylaw No. 2022-22 to change the future land use designation change from "Detached Residential" to "Ground Oriented Residential", in support of an 84-unit townhouse development at 435 Green Avenue West;

AND THAT Council give first reading to "Zoning Amendment Bylaw No. 2022-23", a bylaw to rezone Lot 3 District Lots 379 and 182 Similkameen Division Yale District Plan 6750 Except Plan H14743, located at 435 Green Ave West, from the 'R2 (Small Lot Residential)' zone to the 'RM2 (Low Density Multiple Housing)' zone;

AND THAT Council, following the public engagement period, forward "Official Community Plan Amendment Bylaw No. 2022-22" and "Zoning Amendment Bylaw No. 2022-23" to the June 20, 2022 Public Hearing;

AND THAT Council, prior to adoption of “Zoning Amendment Bylaw No. 2022-23” require a 47.6m² road dedication at the south west corner of the property along Green Avenue West to be registered with the Land Title Office;

AND THAT Council, subject to adoption of “Official Community Plan Amendment Bylaw No. 2022-22” and “Zoning Amendment Bylaw No. 2022-23”, approve “Development Permit PL2022-9275”, a permit to approve the form and character of the proposed multifamily development consisting of 84 townhouse units.

Strategic Priority Objective

Community Vitality: The City of Penticton, guided by the Official Community Plan, will promote the economic wellbeing and vitality of the community.

Proposal

The applicant is proposing to build an 84-unit strata townhouse development on the subject property. The proposal consists of 44 two-bedroom units and 40 three-bedroom units split into ten buildings (Figure 1). Eight buildings around the perimeter of the development are two storeys high, and two buildings in the centre of the development are three storeys in height with garages provided on the ground level. The plans show several shared amenity areas throughout the development and environmental restoration with substantial plantings along the west and north property lines. 134 parking spaces are proposed in total, which exceeds the minimum 105 parking spaces required by the Zoning Bylaw. The applicant has submitted a Letter of Intent which outlines their proposal in more detail (Attachment ‘E’).



Figure 1 - Renderings of proposed three-storey townhomes (left) and two-storey townhomes (right)

In order to facilitate the proposed development, the following planning applications are required:

Application Required	Description	Approval Authority
Official Community Plan Amendment Bylaw	To change the future land use designation on the subject property from ‘Detached Residential’ to ‘Ground Oriented Residential’.	Council
Zoning Amendment Bylaw	To change the zoning on the subject property from R2 (Small Lot Residential) to RM2 (Low Density Multiple Housing).	Council
Development Permit	To approve the form and character of the proposed 84-unit multifamily residential development.	Council

<p>Riparian and Environmental Development Permit</p>	<p>To approve development occurring within Riparian and Environmental Assessment areas, subject to the requirements of a Qualified Environmental Professional (QEP) report and submissions to the Province</p>	<p>Staff/Province</p>
---	--	-----------------------

This report considers the OCP amendment, Zoning Bylaw amendment, and form and character Development Permit applications as a complete development package requiring Council’s approval. Should the OCP amendment, rezoning, and development permit be approved, a Riparian and Environmental Development Permit will be required prior to any building permits being issued or works occurring on the property. Staff will work directly with the proponent and their environmental professional to review and issue the riparian and environmental development permit, as delegated through Development Procedures and Delegation Bylaw 2010-92. The riparian and environmental assessment report has been received.

Background

The subject property is 1.46 hectares (3.62 acres) in size and is located on the north side of Green Avenue West near the Channel Parkway (Highway 97) (Figure 2). The subject property is located in a primarily residential neighbourhood with building forms generally 1-2 storeys in height. The subject property is approximately 200 m west of the Peachtree Square Plaza, which contains a number of stores and services, including Walmart, Sportchek, Bulk Barn, and others. To the west is the Okanagan Channel and the Channel multi-use trail. There is a wetland located on provincially-owned land between the subject property and the Channel Parkway. A fragment of the Oxbows exists on crown land to the north of the subject property.

The existing single detached dwelling on the subject property was constructed in the early 1990’s. The house consists of two bedrooms and three bathrooms, all on a single level. There is also a carriage house on the property, and several storage buildings. An addition onto the home was completed in 2009, which required Council approval of a Development Variance Permit as the addition is 1.5m from the rear property line, where 6m was required under the zoning regulations.

The subject property is currently designated ‘Detached Residential’ by the OCP, and is zoned R2 (Small Lot Residential) in the Zoning Bylaw.

In 2020, a different developer proposed an apartment development on the subject property, consisting of 130 units split between one four storey building and one six storey building. That application was seeking the ‘Urban Residential’ OCP designation and RM3 (Medium Density Multiple Housing) zone. After the public engagement process and statutory public hearing, Council voted to close and abandon the OCP amendment and rezoning applications for that proposal as a result of concerns from the public over density



Figure 2 - Property location map

and building height. This current townhouse proposal is from a different developer than the previous apartment proposal.

Financial Implication

The City is responsible for the associated legal fees with registering the recommended road dedication along Green Avenue West, which is in the City's interest as it will provide room for a public sidewalk. The applicant will be required to pay Development Cost Charges (DCCs) at the time of building permit issuance for the proposed development. DCC rates are currently \$6,671.50 per multifamily residential unit as per the Development Cost Charges Bylaw No. 2007-79, totaling \$560,406.00 overall. DCCs are intended to help offset the added demand on municipal services from new development.

Technical Review

The application package was reviewed by the City's Technical Planning Committee (TPC). The committee is made up of City staff in various departments who review development applications. The recommendation from the TPC is that Council require a 47.6m² road dedication along Green Avenue West, at the southwest corner of the property, in order to facilitate the construction of a future sidewalk across the entire frontage of the subject property (Figure 3).



Figure 3 - Location of proposed road dedication.

Should the OCP and Zoning Amendment Bylaws be successful, the applicant will be required to cover the costs of installing a public sidewalk along the Green Avenue West frontage. The committee noted that this would complete an existing sidewalk gap in this area, at no cost to the City. The applicant is also responsible for the following requirements as part of the future building permit process:

- Reconstruction of one half width of Green Ave W along the frontage of the subject property (including sidewalk installation),
- Planting boulevard trees every 8-12 m along the Green Ave W frontage of the subject property, and
- Additional on-site works, such as requirements to upgrade the water, sanitary, and electrical services to the subject property

Riparian and Environmental Assessment

Staff identified that the property is located within the Environmental Development Permit area as outlined by the OCP (Attachment 'C'). Prior to bringing the application package to Council for consideration, staff required the applicant to submit an Environmental Assessment Report prepared by a Qualified Environmental Professional (QEP). The property is within the Environmental Assessment category of the Environmental Development Permit Area, which applies to areas with potential environmental value, yet allows development to occur subject to a QEP review and recommendations.

In this case, the QEP has recommended environmental restoration along the west and north sides of the property. The future staff-issuable environmental development permit will require QEP monitoring through

the construction stage and bonding with the City for the restoration and proposed landscaping. Some trees will be removed while three mature trees will be retained, as noted on the plans. Substantial new plantings, including over 100 trees and over 700 shrubs, will be provided on the subject property to compensate for the trees being removed as a result of the proposed development.

Traffic Impact Assessment

Prior to bringing the application package to Council for consideration, staff required the applicant to submit a Traffic Impact Assessment (TIA) prepared by a Qualified Traffic Engineer. The applicant submitted the report, which concluded that the existing street network can accommodate the vehicle movements associated with the proposed development. The report recommends that the developer construct frontage improvements which enable the future three-lane cross section on Green Avenue West including a public sidewalk along the frontage of the property.

Development Statistics

The following table outlines how the proposed development meets the applicable Zoning Bylaw regulations:

	RM2 Zone Requirement	Provided on Plans
Minimum Lot Width:	18 m *	123 m
Minimum Lot Area:	540 m ² *	14,650 m ²
Maximum Lot Coverage:	40%	28%
Maximum Density:	0.8 FAR	0.6 FAR
Vehicle Parking: 1 parking space per dwelling unit 0.25 visitor parking spaces per dwelling unit Total requirement Accessible parking spaces Maximum 25% small car parking spaces	84 spaces 21 spaces 105 spaces 3 spaces Max. 33 small car spaces	113 spaces 21 spaces 134 spaces 4 spaces 30 small car spaces provided
Parking Area Landscaping: 2 m ² per parking space (134 spaces)	268 m ²	458 m ²
Bicycle Parking: Class I: 0.5 spaces per dwelling unit ** Class II: 0.1 spaces per dwelling unit	34 spaces ** 9 spaces	0 spaces (cash-in-lieu to be paid at \$500 per space) 12 spaces
Required Setbacks Front Yard (Green Ave W): Side Yard (east): Side Yard (west): Rear Yard (north):	3.0 m 1.5 m *** 1.5 m *** 6.0 m	3.0 m 3.6 m 9.5 m 12.2 m
Maximum Building Height:	12 m	7.7 m (two storey buildings) 10.5 m (three storey buildings)
Minimum Amenity Space:	1,680 m ²	2,149 m ²

20 m ² per dwelling unit (84 units)		
Minimum Landscaping Buffer Width:		
East property line:	3.0 m	3.0 m
South property line:	3.0 m	3.0m
Other Information:	<p>* Lot area and lot width requirements only apply through subdivision</p> <p>**16 units have Class I bike parking in garages. 68 units have no Class I bike parking and the developer will be provided through cash-in-lieu as per Section 6.1.2.2</p> <p>*** Interior side yard setbacks in the RM2 zone are reduced to 1.5m when the buildings are two storeys and less than 8m in height</p>	

Analysis

Official Community Plan Amendment

Recognizing that the Official Community Plan (OCP) is a “living document”, applications to amend the OCP are to be expected from time to time. While the OCP guides land use decisions up to 2045, it is likely that over that timeframe changing trends or unexpected events will require the City to consider amendments to the plan. Proposals to amend the OCP that respect the overall vision and values of the OCP, but also allow for innovation and adaption as new opportunities arise, are considered by City Council with the following considerations:

1. Alignment with broad OCP visions and goals
2. Provision of demonstrable social, economic and environmental benefits to the community
3. Assessment of cost and other implications for infrastructure – parks, roads, utilities, water, sanitary and storm sewer, public facilities
4. Suitability to context – form, character and design
5. All proposed amendments will be accompanied by meaningful public engagement, in addition to the required notification, and a formal Public Hearing.

The goals of the OCP is to manage growth wisely, maintain natural environments, create livable communities, and reduce the City’s lifecycle burden when extending municipal infrastructure (Figure 4).

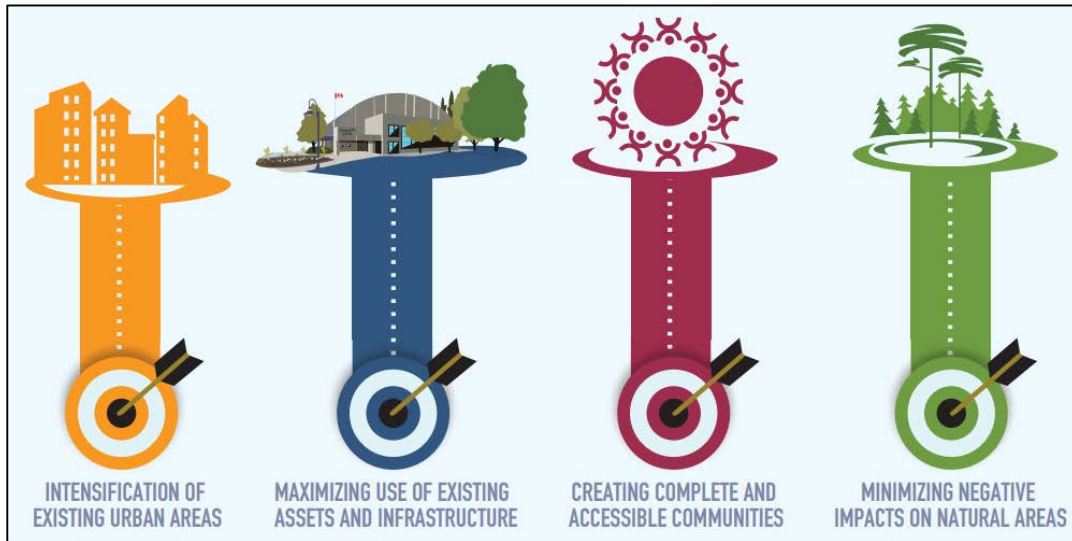


Figure 4 - Growth Plan Goals from the OCP

The OCP outlines the expected population growth in Penticton and resulting need for additional homes. The OCP envisions an average annual growth rate of 0.65% up to 2045, however this may not occur as a steady increase. For example, 2021 census data revealed the City’s population grew 9.3% between 2016 and 2021, which averages out to 1.86% each year, almost three times the average annual growth rate anticipated by the OCP.

The OCP requires consideration of infrastructure costs when reviewing OCP amendment applications. In this case, the developer is responsible for all costs associated with servicing the development. These include any necessary road, water, and sanitary upgrades. The Technical Planning Committee required the applicant to submit a Traffic Impact Assessment and an Environmental Assessment Report prepared by professional consultants prior to Council considering the proposed development. The traffic engineer determined that the proposed development would not drastically affect existing service levels on area streets and intersections, as such the City is responsible to consider the recommendations as part of implementing the new Transportation Master Plan. The adjacent environmental features around the subject property will be protected in the long term and development must occur in keeping with the recommendations and requirements of a Qualified Environmental Professional, including the restoration plan put forward.

While the property is currently designated 'Detached Residential' by the OCP, the surrounding neighbourhood on the north side of Green Avenue West is designated 'Ground Oriented Residential' (Figure 5), which is the same OCP designation being requested for the subject property. Although the area to the east currently consists primarily of single detached dwellings today, the OCP anticipates that additional density will occur in this area over the next 25 years. This neighbourhood is located close to several amenities, making it an appropriate location to add gradual density. The subject property is within walking distance to Skaha Lake Rd and Peachtree Square Plaza. To the west, the Channel multi-use trail provides recreational opportunities for hiking and biking, with connections north towards downtown and Okanagan Lake and south towards Skaha Lake. The OCP encourages new development in high-amenity areas, where shops, services, and amenities are within walking distance to reduce car dependency, which is the case for this development.



Figure 5 - Map showing future land use designations in the immediate area. Light yellow: Detached Residential. Orange: Ground Oriented Residential.

Staff are recommending first reading of the OCP amendment bylaw, to be followed by public engagement, because this property recently underwent a full public engagement period in 2021. That development did not proceed, however this proposal reviewed in detail and considered the feedback from the community and Council when designing the current townhouse development. The public engagement period will still provide valuable feedback on this new and different proposal.

Given the review above, staff consider the proposed OCP amendment is generally consistent with the goals and policies of the OCP. A full OCP policy review is included in Attachment 'F'. Staff are recommending that Council give first reading to "Official Community Plan Amendment No. 2022-22" and forward it to the June 20, 2022 Public Hearing while staff carry out the Community Engagement for OCP Amendments Procedure.

Zoning Bylaw Amendment

The applicant is proposing to rezone the subject property from R2 (Small Lot Residential) to RM2 (Low Density Multiple Housing). Staff have reviewed the applicable OCP policies in terms of the proposed development (Attachment 'F'). In keeping with the growth management plan targets, the OCP policies guide new residential development into built-up areas of the city, close to shops, services, and other amenities. Developments that encourage walkability are promoted. The OCP supports appropriate densification which makes the most efficient use of existing municipal infrastructure. The OCP recognizes that while the City grows in built-up urban areas, neighbourhood fit is important and the design guidelines must be utilized for projects with more density to create complete, livable communities.

The subject property's location is considered suitable for increased density due to its large size (1.6ha) and its location within walking distance of the Channel multi-use trail, transit, shops, services and groceries at Peachtree Square Plaza, Princess Margaret Secondary School and Skaha Middle School.

Staff are recommending that Council give first reading to "Zoning Amendment Bylaw No. 2022-23" and forward it to the June 20, 2022 Public Hearing.

Development Permit

The proposed development is considered within the Multifamily Residential Development Permit Area, which is established to enhance neighbourhoods and create sensitive transitions in scale and density by addressing issues such as privacy, landscape retention, and neighbourliness.

The proposed 84-unit townhouse development has been designed with the OCP design guidelines in mind. The units along Green Avenue West face the street in a positive way and provide direct sidewalk connections to main entries. The townhouse buildings around the perimeter of the property are limited to two storeys in height which helps to maintain the privacy of adjacent neighbours to the south and east. Landscaping will assist with buffering the development from residential properties to the south and to the east. These landscape buffers are required by the Zoning Bylaw and will be secured through a landscaping deposit taken at the future building permit stage. The proposed landscaping in the parking area (458m²) far exceeds the minimum requirement in the Zoning Bylaw (268m²). This assists with breaking up the parking lot and improving stormwater infiltration.

The applicant provided a development permit analysis with their submission which describes the project and its conformance with the applicable OCP design guidelines (Attachment 'G'). Staff have also completed a development permit analysis (Attachment 'H') that shows how the development conforms to the applicable design guidelines. As such, staff recommend that Council consider approving the Development Permit subject to adoption of the OCP and Zoning Amendment Bylaws.

Public Engagement Plan

Staff will follow the *Community Engagement for OCP Amendments Procedure* to ensure adequate and meaningful consultation with the community. The community engagement will be led by City staff from May into June.

The following list summarizes the main methods that will be used to raise awareness about the application and the opportunities for residents to provide feedback through the community engagement period:

1. Project page on www.shapeyourcitypenticton.ca - central location to share information and gather feedback, including an email blast to the Shape Your City Penticton database advising of the engagement beginning,
2. Notices mailed to neighbours within a 100m buffer of the properties,
3. Notice signs posted on the subject properties,
4. Consultation with targeted agencies and stakeholder groups including:
 - o Penticton Indian Band
 - o RDOS
 - o School District #67
 - o Interior Health

- o Friends of the Oxbows
- 5. Media release and newspaper advertisements announcing the engagement process,
- 6. Information sessions (one online, one in-person) that allow for sharing of information and discussion on the proposed development.

Staff will be proceeding with community engagement prior to the statutory Public Hearing. A summary of the engagement results will be presented to Council prior to the Public Hearing.

Alternate Recommendations

Council may consider the proposed development to be unsuitable at this location or not in keeping with the goals and policies of the Official Community Plan. If this is the case, Council should deny first reading of the Official Community Plan amendment and Zoning Bylaw amendment. Staff recommend against this option as many of the concerns raised with the previous proposal have been addressed in this new application package, the proposed development has been designed with neighbourhood context in mind, and is in a location considered suitable for increased density for many reasons as outlined in the staff report.

- 1. THAT Council deny first reading of "Official Community Plan Amendment Bylaw No. 2022-22" and "Zoning Amendment Bylaw No. 2022-23".

Attachments

- Attachment A – Zoning Map
- Attachment B – Official Community Plan Map
- Attachment C – Environmental Development Permit Area Map
- Attachment D – Photos of Subject Property
- Attachment E – Letter of Intent (applicant)
- Attachment F – OCP Policy Review (staff)
- Attachment G – Development Permit Analysis (applicant)
- Attachment H – Development Permit Analysis (staff)
- Attachment I – Draft Development Permit PL2022-9275
- Attachment J – Official Community Plan Amendment Bylaw No. 2022-22
- Attachment K – Zoning Amendment Bylaw No. 2022-23

Respectfully submitted,

Steven Collyer, RPP, MCIP
Planner II

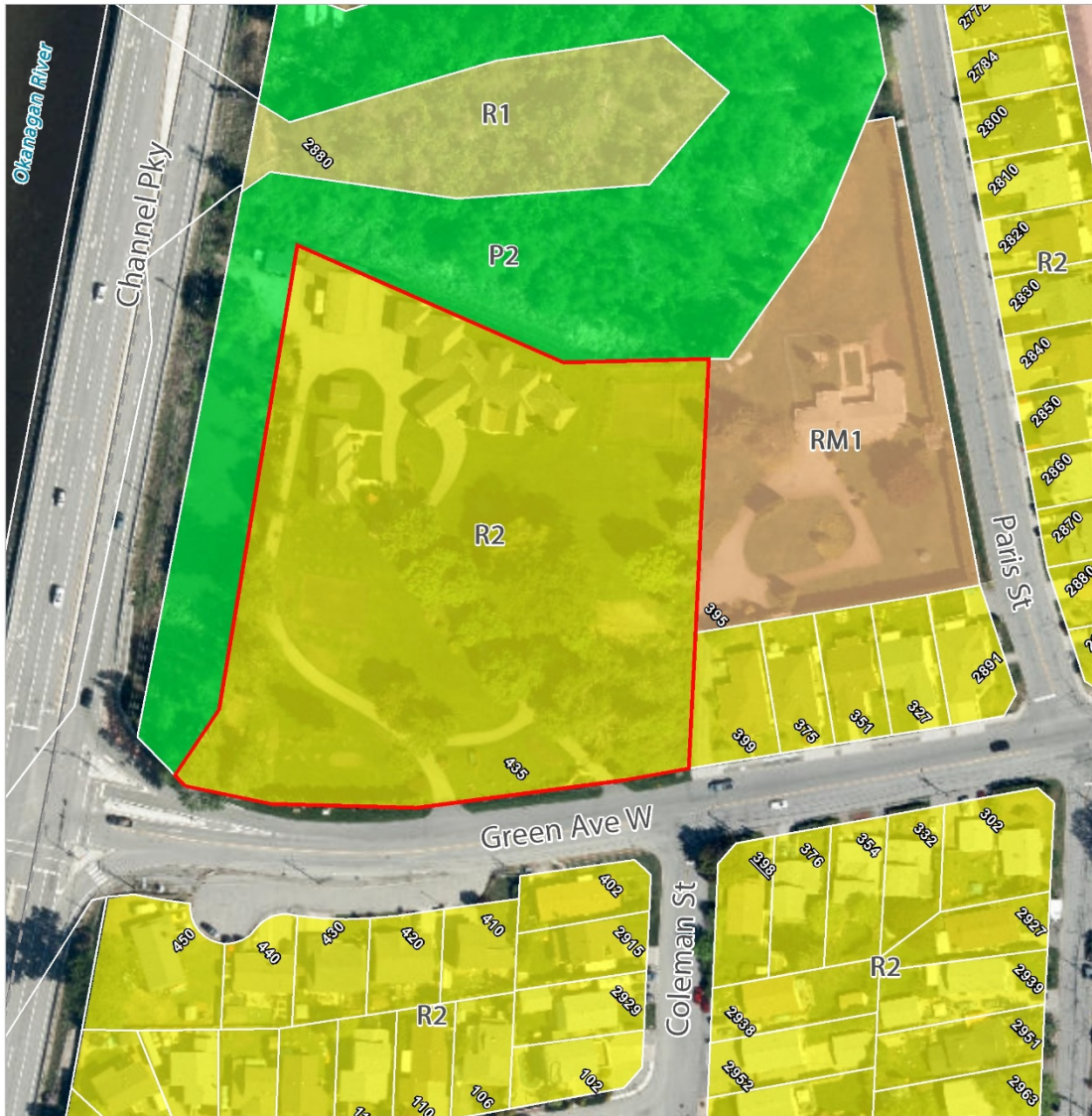
Director of Development Services <i>BL</i>	Acting Chief Administrative Officer <i>KD</i>
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Attachment A – Zoning Map



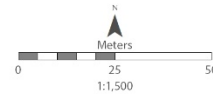
435 Green Avenue West

Zoning Map



Legend

- Subject Parcel
- R1 - Large Lot Residential
- R2 - Small Lot Residential
- RM1 - Bareland Strata Housing
- RM2 - Low Density Multiple Housing
- C4 - General Commercial
- P2 - Parks and Recreation
- No Zoning - No Zoning



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Attachment B – Official Community Plan Map



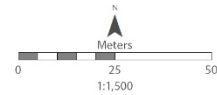
435 Green Avenue West

Official Community Plan Map



Legend

- Subject Parcel
- Detached Residential
- Natural and Conservation Areas
- Ground Oriented Residential
- Commercial



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April 5, 2022 3:13:30 PM

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Attachment C – Environmental Development Permit Area Map



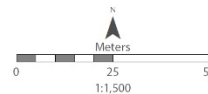
435 Green Avenue West

Environmental Development Permit Area Map



Legend

- Subject Parcel
- Environmental Development Permit Area
- Environmental Assessment
- Environmental Protection



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February 22, 2022 10:19:15 AM

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Attachment D – Photos of Subject Property







Attachment E - Letter of Intent (applicant)-343-

April 4, 2022



City of Penticton
Planning Department
171 Main Street
Penticton, BC
V2A 5A9

900, 110 - 12 Avenue SW
Calgary, AB T2R 0G7
T: 403.670.7000
s2architecture.com

Attention: Steven Collyer
Planner II

Re: 435 Green Avenue – S2 Project #221215
Letter of intent: Application for Development Permit

Dear Steven:

This development permit application proposes the construction of an eighty-four unit townhome development.

435 Green Avenue is a 3.66-acre parcel that currently has a large single-family home with several sheds and outbuildings. The site is bounded by natural parkland to the north, Green Avenue to the south, Channel Parkway to the west, and single-family lots to the east.

The proposed application is for the construction of eight, two storey townhome buildings consisting of two six-plex units, two eight-plex unit and four ten-plex units. Additionally, there are two three storey eight-plex units with parking garages on the ground entry level

There will be a total of 84 two-three-bedroom units. Two storey units will range from 1010sq.ft to 1117sq.ft. in size and three storey units will range from 1397sq.ft to 1530sq.ft. (including garage at ground level).

Good Neighbours - Density, massing, active streets and parking

The developer recognizes the impact that a new development such as this could have on its neighbours and is proposing a density that is below the permitted FAR of 0.8. Additionally, to mitigate any concerns about overshadowing of neighbouring properties the building height will be limited to two stories around the site perimeter and steps up to a maximum of three stories in the centre of the development.

Townhomes fronting Green Avenue will provide active frontages that engage with the public sidewalk being constructed as part of this development and will connect pedestrians to the community.

To alleviate any concerns about overflow street parking within adjacent communities this development will provide considerably more on-site parking than the bylaw requires.

Where possible, existing mature trees will be maintained.

PRINCIPALS

David Symons *Architect, AAA, AIBC, SAA, OAA, MRAIC, Licensed California, Texas*
Linus Murphy *Architect, AAA, AIBC, SAA, OAA, LEED® AP*
Brian Corkum *Architect, AAA, AIBC, SAA, OAA, LEED® AP*
Genevieve Giguere *Architect, AAA, AIBC, MRAIC*
Peter Streith *Architect, AAA, AIBC, OAA, NWTAA, FRAIC*
Robert Lange *Architect, AAA, AIBC, MRAIC, LEED® AP*
Robert Spaetgens *Retired Architect, Principal Emeritus*

ASSOCIATE PRINCIPALS

Ken Shaman *Architect, AAA*
Jason Curtis *Architect, AAA, LEED® AP*
Madeleine Schmidts *Interior Designer, NCIDQ*
Shaad Oosman *CPA, CMA*

ASSOCIATES

Jason Dolha *Manager, Production & Technical Services*
Jane Kratochvil *HR & Office Manager*
Stephen Jabs *Manager, Information Technology*
Steven Mott *Manager, Production & Technical Services*
Chad Zyla *Architect, AAA*
Michelle Rowles *Architect, AAA*
Melissa Chabot *Interior Designer, NCIDQ, LEED® AP ID+C*
Natalie Weiss *Interior Designer, NCIDQ, LEED® AP*
Simon Ho *Architect, AIBC*

Community Consultation

Porchlight Developments have conducted preliminary discussions with the community and have shared the drawings that make up the Development Application. They have indicated that responses have been positive regarding the massing, planning and character of the proposed development.

The Developer - Porchlight Developments

Porchlight Developments are an experienced developer of affordable housing, market rental housing, seniors supportive living, and condominium apartments and townhomes across Western Canada. They are committed to inclusive, affordable, and loved communities. With the increase in average house prices across Canada, housing has become unobtainable for many trying to own their own home and affordability is an issue that has impacted most municipalities in British Columbia. **Porchlight Developments** recognize this challenge and have developed a specific product that meets these needs by significantly reducing the average house price making it more affordable to purchase.

OCP Amendment

The current OCP designation of 435 Green Avenue is Detached Residential which is restricted to single detached housing, duplexes, home occupations and small neighborhood commercial buildings and a height of 10.5m. An amendment to the OCP to change the designation of the subject parcel to Ground Oriented Residential will allow for a medium-density residential area with multi-family developments where each unit has an exterior door in a bare-land strata.

A Ground Oriented Residential designation is well suited for this property as the parcel is located next to a major intersection with existing infrastructure in place, and along a major commercial corridor with access to commercial services and shopping amenities and transit.

Rezoning Application

In conjunction with the OCP amendment, **Porchlight Developments** have proposed to rezone the subject parcel from R2 - Small Lot Residential to RM2 – Low Density Multiple Housing. The purpose of RM2 zoning is to provide a zoning for low density multiple housing, accommodating a townhome development up to three (3) storeys above grade on urban services.

Providing residential land uses next to commercial and retail provides an increased local customer base and promotes walking and biking. The site has convenient walking, cycling and vehicle access to daily necessities like grocery, shopping, schools, parks, and employment areas. The proximity of the site to Peachtree Square, Princess Margaret Secondary School, and Skaha Lake Middle School make it an ideal location for a rental community. The mixture of land uses and transportation options in the neighborhood support the development of a pedestrian oriented site and presents an opportunity to capitalize on existing infrastructure.

Zoning Analysis

RM2 – Low Density Multiple Housing	Required	Proposed
Max Lot Coverage (building footprint)	40%	32.78%
Density	Max. 0.8 FAR	0.6 FAR
Height	Max. 12m	12 m
Front yard setback	Min. 3.0m	3 m
Rear yard setback	Min. 6.0m	6 m
Side yard setback, interior	Min. 3.0m	3 m
Amenity space – 20m ² per DU	20 m ²	+/-23.83m ²
Parking – 1 stall per DU	84	113 (16 in Garages, 14 tandem spaces in front of garages and 83 outdoor)
Visitor parking – 0.25 stalls per DU	21	21
Bike parking – Class I	42	16+34 cash-in-lieu
Bike parking – Class II	9	12 (6x2)

Riparian Area Regulations

Due to the subject parcel's proximity to existing oxbows, a QEP is required to conduct a detailed riparian area assessment. Ecora Environmental has been engaged to complete the assessment and the required reporting for the province. A 15m SPEA has been established for the west oxbow and we are offering an enhanced buffer on the north oxbow.

Should you have any questions or concerns, please do not hesitate to call me directly at 403-670-7003.

Yours truly,
S2 Architecture



Jason Curtis
Associate Principal

JCC

OCP Policy Analysis

OCP Reference	Policy	Staff Comments
Policy 4.1.1.1	Focus new residential development in or adjacent to existing developed areas	The subject property is located next to a developed, residential subdivision, with access to full municipal services.
Policy 4.1.1.2	Avoid development in environmentally-sensitive areas, geological hazard and flood hazard areas, on steep slopes, in agricultural areas and in areas not readily served by transit.	The applicant has engaged a Qualified Environmental Professional who assessed the development and has proposed requirements to meet through the development stage.
Policy 4.1.3.1	Encourage more intensive “infill” residential development in areas close to the Downtown, to employment, services and shopping, through zoning amendments for housing types compatible with existing neighbourhood character, with form and character guided by Development Permit Area Guidelines.	The subject property is located within walking distance (200m) of Peachtree Square Plaza which contains a number of shops and services. The property fronts an urban collector road with easy access to the Channel Parkway (Highway 97). The proposed housing type is considered a compatible scale with the surrounding residential built forms. The development conforms to the applicable OCP design guidelines.
Policy 4.1.3.4	Encourage developments that include one-bedroom and two-bedroom units in suitable neighbourhoods to enable people to downsize as they age and to provide entry-level housing for those people entering the housing market. At the same time, provide 3-bedroom units, or larger, to accommodate families.	The strata townhouse units are split into two bedroom and three bedroom configurations. These units would be suitable for a range of occupants, including first time buyers, families, and people wishing to downsize.
Policy 4.1.3.5	Ensure through the use of zoning that more-intensive forms of residential development are located close to transit and amenities, such as parks, schools and shopping.	The subject property is located within walking distance of commercial areas, schools, transit, and active transportation trails.

OCP Reference	Policy	Staff Comments
Policy 4.1.3.6	Require amenity areas in all multifamily and mixed-use projects through regulations in the Zoning Bylaw.	The development provides individual unit amenity areas with patios and decks, as well as shared amenity lawns for use by all residents.
Policy 4.1.5.1	Recognize that some traditionally single-family neighbourhoods will see intensification as the city grows, but ensure that new forms of residential development are compatible with the neighbourhood in scale and design, and are appropriately located (e.g., greater density closer to collector roads, services and amenities).	The townhouse units around the perimeter of the property are two storeys tall, which reduces potential privacy impacts on surrounding neighbours. The proposal provides increased residential density along an urban collector major road (Green Avenue West)
Policy 4.1.5.4	Ensure that all new neighbourhood developments and redevelopments of existing large sites, including bareland stratas, are fully integrated into the surrounding community through publically-accessible roads, sidewalks, trails and public park lands.	The developer will be required to construct a public sidewalk across the frontage of the property. This will complete a sidewalk gap and improve public access to the nearby Channel multi-use trail.
Policy 4.1.6.1	Ensure all residential neighbourhoods in Penticton provide a range of appropriately-scaled housing types and tenures, employment opportunities such as home-based businesses, transportation options like walking and cycling, social supports such as childcare facilities, and access to green space and parks.	The proposed units will be stratified, with each unit being offered for sale rather than for rent. The proposal provides two and three bedroom units, some of which have garages. The plans include shared amenity green space for all residents.
Policy 4.2.1.7	Promote walking, cycling and transit use through strategic land use planning that facilitates denser, attractive, mixed-use communities that are rich in amenities.	The proposal provides increased density in a built-form considered compatible with surrounding uses and in a location within close proximity to commercial areas, schools, transit, and trails.

OCP Reference	Policy	Staff Comments
Policy 4.2.2.2	Address gaps in the pedestrian network by providing sidewalks on at least one side of the street in residential neighbourhood, and commercial and mixed-use areas, using excess street rights-of-way where possible or through land acquisition if necessary. Where possible, provide sidewalks by requiring their construction or upgrades from developers.	The developer will be required to install a sidewalk across the frontage of the property. A road dedication is recommended from the southwest corner of the property to facilitate the sidewalk construction.
Policy 4.2.5.2	Encourage land use planning that results in neighbourhoods that can be easily serviced by transit.	The property is within walking distance (200m) of the transit exchange at Peachtree Square Plaza.
Policy 4.2.7.8	Ensure new residential developments provide an appropriate amount of parking for residents and their guests.	The development provides more than the minimum 84 required parking spaces for units and 21 visitor parking spaces, a minimum requirement of 115 based on the Zoning Bylaw. A total of 134 parking spaces are provided
Policy 4.4.2.1	Identify environmentally sensitive areas and riparian areas, and protect them through application of the Environmental and Riparian Development Permit Guidelines.	Environmentally-sensitive areas exist at the west and north sides of the property. A Qualified Environmental Professional has assessed the proposal and required restoration and additional plantings in these areas.
Policy 4.6.6.1	Ensure new developments and renovations integrate with existing neighbourhood character through the Downtown, Intensive Residential, and Multifamily Development Permit Area Guidelines.	Both the applicant and staff have prepared an analysis of how the proposed development meets the applicable development permit area guidelines (Attachments G & H).

Development Permit Analysis

Penticton Townhomes - 435 Green Avenue W, Penticton BC

Site Planning

Designing in Context

G1. Prior to site design, analysis shall be undertaken to identify significant on-site and off-site opportunities and constraints,

Riparian setbacks, views and existing tree locations were main considerations in laying out the site. A traffic impact assessment and an Environmental Assessment was carried out and the recommendations were taken into consideration and incorporated into the design.

G2. Applications shall include a comprehensive site plan – considering adjacent context for building and landscape architectural design and neighbourhood character analysis – to demonstrate that the development is sensitive to and integrated within its context and surrounding uses and neighbours.

The developer recognizes the impact that a new development such as this could have on its neighbours and is proposing a density that is below the permitted FAR of 0.8. Additionally, to mitigate any concerns about overshadowing of neighbouring properties the building height will be limited to two stories around the site perimeter and steps up to a maximum of three stories in the centre of the development.

Prioritizing Pedestrians

G9. Pedestrian connectivity to adjacent properties is encouraged.

Pedestrian connectivity within the property connecting residential buildings and open public amenity/ park areas is provided. Townhomes fronting Green Avenue will provide active frontages that engage with the public sidewalk being constructed as part of this development and will connect pedestrians to the community.

G12. Where feasible, indicate pedestrian ways with continuity of paving treatments/paving materials.

Continuity of paving material is provided in the landscape design.

G13. Entry to ground-level residential units should be no more than 1.8m (6.0 ft.) above the grade of adjacent public sidewalks and walkways

Entry to ground level units are designed to be between +/-300-1500mm above the grade of adjacent public sidewalks.

G14. The outdoor space of a residential unit should be raised no more than 1.2m (3.9 ft.) above adjacent public sidewalks and a “front stair” pedestrian connection shall be provided.

Outdoor space for the residential units are provided between 150-1300mm above adjacent public sidewalks.

G15. Fencing facing an active public realm should be lowered and transparent or semi-transparent.

Existing fencing along Green Avenue W will be removed, and an active frontage created.

Cars and Parking

G16. Site and building access must prioritize pedestrian movement, minimize conflict between various modes of transportation and optimize use of space:

The site has been designed with outdoor surface parking areas that incorporate sidewalks to provide safe, accessible and comfortable pedestrian connections to individual unit entrances.

G19. All multifamily developments should accommodate sustainable modes of transportation through:

The development would provide 14 (7x2) class 02 bike parking stalls and 16 units will have class 01 bike parking spaces inside the private garages. The developer will pay the city \$17000 as a cash-in-lieu payment in place of the 34 class 01 stalls not provided in the project.

Architecture

Design for Our Climate

G20. Designs should respond to Penticton's setting and climate.

The use of high efficiency heat pumps, energy efficient windows and shared walls between residential units in the project would reduce the heating and cooling energy usage.

The larger windows proposed would provide natural lighting and views throughout the unit.

The trees proposed surrounding the buildings and private amenity spaces have been selected as deciduous trees that will provide shade and comfort in the summer but also allow for solar gain during the winter months.

The soft landscape surrounding the buildings will minimize the heat island effect from hard paved areas and garage driveway areas.

Friendly Faces, Friendly Neighbours (Orientation & Massing)

G21. Orientation of buildings should face public spaces (e.g., street and lane) with a preference for ground-oriented types (e.g., a front door for everyone or every business).

Buildings are oriented to face a street, lane or public amenity area wherever possible and all residential units have front door access from a public space.

G23. Articulation of building mass should include horizontal (minor) setbacks and stepbacks

Horizontal and vertical setbacks and different materials / colours are used in each residential unit to create visual interest and enrich the pedestrian experience.

The project includes two storey 6, 8 and 10 plex townhome blocks as well as three storey 8 plex drive under townhomes. The diversity of building types would further enhance the pedestrian experience.

G24. Street-facing units should utilize a layering of elements –

Units are provided with street / sidewalk facing entries, entrance steps, porches and landscape buffers to create transition between public and private areas.

G26. Building designs should minimize impacts on the privacy of adjacent dwellings, including private open spaces.

The orientation of the buildings on site ensures maximum privacy is achieved for each unit. None of the units are facing each other without a minimum buffer of +17m and privacy screens are provided between private open spaces.

Eyes on the Street

G28. Entries should be visible and clearly identifiable from the fronting public street.

Unit entrance doors and entrance stairs are clearly visible from the fronting public street or sidewalk.

G29. Development should orient windows, porches, balconies and patios toward the public realm, allowing for casual overlook of parks, open spaces, and parking areas .

Porches, balconies, patios and main windows are oriented to create views towards the public parks, parking areas and open spaces.

Landscape Architecture

Design with Nature

G32. Stream and Riparian Protection

There is a large Riparian area on the west side of the property, which is not only being protected, but also being enhanced based on the recommendations of the environmental consultant.

There is also a large area along the north side where the existing dwelling is currently located that will be remediated and enhanced in order to provide further protection to the adjacent Oxbow.

G33. Water Conservation and Plant Maintenance: Xeriscaping, Irrigation & Mulching

The irrigation system for the site will be designed as a low water consumption system with drip irrigation for all plant beds and bubblers for trees as per the bylaw requirements.

The majority of the landscape has been designed with masses of shrubs and grasses and there are minimal areas of sod that will need to be watered through the design, which will also reduce the water consumption.

Enhance the Urban Forest

G34. Tree retention

The Site design incorporates strategies for retaining 3 of the largest trees on the central portion of the site. As well all the existing trees along the Western property line will be protected as part of the 15m setback for the riparian area.

The entire frontage of the site has been planted with trees that lie inside of the property lines and are no further than 10m apart.

We are providing 111 new trees on the site.

Functional Use of Landscapes

G36. Habitat: designs should provide for and/or enhance habitat value (e.g., birds, pollinators, etc.) through the use of selected plant material (food & nutrients) and/or structural/grading improvements (e.g., hibernacula, pools, etc.).

The existing trees along the western edge are being retained and protected as part of the existing habitat. We are also enhancing the riparian setback with plant species native to the area and providing a variety of flowering shrubs along the site to comment the habitat and courage the presence of pollinators, birds and butterflies.

G38. Screening & Buffering

- Where appropriate (and in consideration of FireSmart principles and native ecosystems), screen walls and/ or landscape buffers (e.g., berms, shrub beds, hedges and/or trees) should be used to manage transitions and/or conflict between incompatible uses (e.g., industrial uses and/or parking);

The selection of the trees along the frontage compliment the existing character of the neighbourhood and provide visual variety in colour and textures

These trees reduce the visual impact of the buildings along the street side.

Trees and shrub masses have also been provided along the East property line to minimize the visual impact of the development for the adjacent residential.

We have provided planting at the ends of the driving isles and surrounding garbage enclosures.

G39. Defining the Public- and Private Realms

There are steps along the pathways leading from the public sidewalk towards the private residences that separate the private and public realm.

G40. Energy

- Landscape designs should support shading strategies (passive cooling) with deciduous plantings that allow increased solar gain in winter months;
- Landscape designs should accommodate windbreaks (perpendicular to the direction of winter prevailing winds) to reduce heat loss in winter

The trees proposed surrounding the buildings and private amenity spaces have been selected as deciduous trees that will provide shade and comfort in the summer but also allow for solar gain during the winter months.

The West and North Property lines have been heavily treed to provide protection from winds.

Materials Selection – Softscapes & Hardscapes

G41. Softscapes

- Plant materials (size) and planting densities should be designed to meet and exceed the British Columbia Landscape and Nursery Association (BCLNA) Standards;
- Landscape designs should consider opportunities for seasonal interest (e.g., colourful foliage and/or flowering at various times of the year).
- Structural diversity in plant palette composition – including combinations of groundcovers, shrubs of various heights and trees – is encouraged.
- Landscape design shall consider aesthetic qualities, plant suitability and soil volumes to ensure “right plant, right place” and to maximize growth to maturity of plants and trees.
- Plant selection should emphasize local/native plants and/or similarly hardy/well-adapted plants to Penticton’s desert climate.
- Invasive species are prohibited.
- Synthetic turf is prohibited.

Plant material selection has been proposed to match the BCLNA standards and has been sourced as being available and hardy within the region's local nurseries.

The mix of species will provide a variety of colours, textures, and blooms though the year and it includes native grasses, flowering and non-flowering shrubs and all as evergreen shrubs.

Special Considerations

Lighting

G48. Lighting shall be provided for all building entrances, walkways, driveways, parking areas and loading areas and should be sufficient to provide clear orientation, personal safety and site security, including allowing for overlook from adjacent buildings.

A combination of pole mounted area lights and bollard site lights are used to illuminate the area providing pedestrian scaled lighting while ensuring vehicular access and parking areas are sufficiently lit for safe maneuvering. The pole mounted area lights are concentrated on the middle of the site where the parking and drive isles are located, and bollard lights are used to illuminate the sidewalks.

G50. Avoid lighting that illuminates streams, wetlands, lakes and other natural areas.

The area lights are only used in the middle areas of the site to significantly reduce illumination of the natural areas. Please refer E1.1 Site Lighting Layout plan for details.

G51. Avoid negative light impacts on neighbours.

The area lights are only used in the middle areas of the site eliminating negative light impacts on neighbours. Please refer E1.1 Site Lighting Layout plan for details.

Utilities, Mechanical Services and Servicing

G55. Where this is unachievable, units may be located at the edge of the front yard and must be incorporated into landscaped areas and screened from the street.

Transformers are located away from the street and will not be visible from Green Avenue West.

G56. Units shall not obstruct private views onto public space that might otherwise provide safety through passive surveillance.

Transformers are strategically located not to obstruct private views.

G57. Units shall not be installed in in riparian setbacks (SPEA) and Environmental Protection areas

Transformers are located outside of the Riparian and environmental protection areas.

Waste Management

G59. Garbage and recycling bins should be contained within screened enclosures that are coordinated with the overall design.

A Molok waste management system is being used in this project to compliment the overall design of the project.

G60. Clear access to refuse/recycling areas must be provided.

Two central locations are proposed to give easy access to all users.

Fences

G61. Fencing located along a street edge should be low and/or not create a solid barrier (i.e. it should be visually transparent).

Existing fencing along Green Avenue will be removed from the site. No fencing is proposed along the street.

G62. Fencing along the street edge should be supplemented with low profile landscape plantings.

Existing fencing along Green Avenue will be removed from the site. No fencing is proposed along the street.

G63. All plans should show intended fencing

All site plans show existing and proposed fencing.

Applied to Environmental Assessment Areas

E11. Development shall be planned away from native trees and trees containing active nest sites or cavities. If removal of native trees cannot be avoided (e.g., when native trees block the only possible access route, where they pose an imminent danger or where leaving them would sterilize the lot), mitigation should include restoration and replanting with equivalent native trees, consistent with applicable Federal and Provincial legislation.

The development includes restoration of the Riparian setback areas and recommendations made by the environmental consultant will be followed. Minimum number of trees are proposed to be removed due to the development and a total of 111 trees and 721 shrubs are provided in the landscape design.

E12. Plan development to avoid destruction of Critical Habitat for Endangered and Threatened Species under the Federal Species at Risk Act, unless Federal permits are issued to allow this.

The development includes restoration of the Riparian setback areas and recommendations made by the environmental consultant will be followed. Please refer the environmental assessment report for more details.

Attachment H - Development Permit Analysis (staff) ³⁵⁸⁻

Development Permit Analysis

The proposed development is located within the Multifamily Residential Development Permit Area. The following analysis demonstrates how the proposal is aligned with the applicable design guidelines.

- Guideline G1* *Prior to site design, analysis shall be undertaken to identify significant on-site and off-site opportunities and constraints, including built and natural elements (e.g., structures, slopes and drainage, significant landscape features, etc.).*
- The environmentally-sensitive areas to the west and north of the subject property were assessed prior to this proposed development coming to Council for consideration. A Qualified Environmental Professional (QEP) has reviewed the proposed development, and required a 15m setback from the wetland to the west of the subject property in order to protect the ecology of this riparian area. Further, the applicant is proposing an enhanced setback along the north property lines to discourage trespassing and disturbance in these environmentally-sensitive areas.
- Guideline G3* Private and semi-private open spaces should be designed to optimize solar access.
- The 2- and 3-storey building heights limit shade impacts and the windows on all faces provide solar access into each building and onto each amenity space. Each unit has a private, outdoor amenity space in the form of a deck or patio.
- Guideline G4* *Views through to the mountains and the lakes should be carefully considered and incorporated into the design of new development.*
- The buildings are 2 to 3 storeys in height which is a similar scale as surrounding homes and preserves views towards the mountains west of the development.
- Guideline G5* *Siting of buildings should support strong street definition by minimizing front yard setbacks while sensitively transitioning to neighbouring building setbacks.*
- The proposed front yard setbacks for the buildings closest to Green Ave W is minimal at around 3m (10 feet) which improves connectivity between the building and the street.
 - The design includes sidewalk connections to eight units directly onto the Green Ave W future sidewalk, improving connections with the street.
- Guideline G7* *All designs shall consider Crime Prevention Through Environmental Design (CPTED) principles and balance the reduction of crime and nuisance opportunities with other objectives to maximize the enjoyment of the built environment.*
- The applicants have submitted a photometric (lighting) plan of the site showing the parking area, pathways, and common amenity spaces will be appropriately lit to improve the safety of future residents going to and from the development in the dark. Sixteen units have secure garages. The orientation and location of patios and balconies allows for visual overlook onto the street, the internal parking lot, and the connecting pathways.

- Guideline G13* *Entry to ground-level residential units should be no more than 1.8m above the grade of adjacent public sidewalks and walkways.*
- The main entries to each unit range between 0.2m and 1.8m above grade, reinforcing the ground oriented nature of the development.
- Guideline G16* *Site and building access must prioritize pedestrian movement, minimize conflict between various modes of transportation and optimize use of space...*
- Separated pedestrian pathways are provided throughout the site to connect each unit entry to the parking area, amenity areas, and the street. This separates people from the parking area and minimizes potential conflicts.
- Guideline G17* *On-site parking location and design should minimize visual impact and provide safe connections for pedestrians...*
- The on-site parking is located along a looping driveway with two entrances onto Green Ave W. The majority of the parking is located to the interior of the site and not in public view. Pathways are provided which are separated from the driveway to minimize conflicts between pedestrians and vehicles.
- Guideline G19* *All multifamily developments should accommodate sustainable modes of transportation...*
- The property is located near a bus stop on Green Ave W and near a transit exchange at Peachtree Square Plaza, where multiple bus routes converge. Bike racks are provided in different locations on the site and the sixteen units with garages will have a secure location to store their bicycles. The developer will be required to construct a public sidewalk along the frontage of the subject property which will fill in an existing sidewalk gap and improve walkability in the neighbourhood and connections to the Channel multi-use trail.
- Guideline G21* *Orientation of buildings should face public spaces (e.g., street and lane) with a preference for ground-oriented types (e.g., a front door for everyone or every business).*
- The townhouse units each have their own exterior entry within 1.8m of grade. This is a ground-oriented housing type, with several units facing towards the public realm along Green Ave W.
- Guideline G24* *Street-facing units should utilize a layering of elements – including but not limited to street-facing entries, stairs, stoops, porches, patios and landscape elements – to create transitions between the public (e.g., street, sidewalk), semi-public (e.g., walkway, ramp, stair), semi-private (e.g., stoop, balcony) and private areas..*
- The building designs include minor projections, steps, and porches to create a transition from the public realm to private realm.

Guideline G28 Entries should be visible and clearly identifiable from the fronting public street.

- Three buildings are located close to Green Ave W. These buildings have been designed with sidewalk connections to the main entries directly onto the public sidewalk. This provides the streetscape and connects the development to the public realm. The applicant will be responsible for addressing signage which indicates how the interior units are accessed, through the driveway and pathways provided.

Guideline G29 Development should orient windows, porches, balconies and patios toward the public realm, allowing for casual overlook of parks, open spaces, and parking areas.

- Large windows, patios, and main unit entries of eight units face Green Ave W and provide for visual overlook onto the public realm. The other building designs provide for casual overlook onto the parking area and shared amenity spaces within the site.

Guideline G35 Tree planting...

- The landscape plan shows trees planted every 8-12m along the frontage of Green Avenue West and along the eastern property line next to neighbouring homes. In the parking lot the applicants are proposing to plant trees in landscaped areas which will break up the hard surfacing in this area, as shown on the landscape plan. Additional trees will be planted along the west side of the property, near the protected riparian area, and along the north side of the property near the Oxbow to offset the loss of a grove of trees currently existing at the SE corner of the property.

Guideline G36 Habitat: designs should provide for and/or enhance habitat value (e.g., birds, pollinators, etc.) through the use of selected plant material (food & nutrients) and/or structural/grading improvements (e.g. hibernacula, pools, etc.).

- The plans show substantial restoration along the west side of the property to buffer the adjacent wetland. This restoration will be supervised by a Qualified Environmental Professional to ensure it improve the habitat value for different species.

Guideline G48 Lighting shall be provided for all building entrances, walkways, driveways, parking areas and loading areas and should be sufficient to provide clear orientation, personal safety and site security, including allowing for overlook from adjacent buildings.

- The applicants have provided a lighting plan that shows appropriate lighting around the parking area through the use of high lamp posts. Along the walkways, including those on the east side near existing residences and the west side near the wetland area, the lighting will be provided through low bollards to limit light pollution while still providing safe passage from the parking area to all units.

- Guidelines G50/G51* *Avoid lighting that illuminates streams, wetlands, lakes and other natural areas. Avoid negative light impacts on neighbours.*
- The lighting plan submitted shows minimal light pollution near the adjacent wetland and Oxbow.
- Guideline G54* *Mechanical/utility cabinets and transformer pads (units) shall be located at the rear of the property, behind the building.*
- All mechanical and utility cabinets are located within the interior of the site, behind the front facades of the street-facing buildings and not within view from Green Ave W.
- Guideline G58/G59* *Garbage/recycling areas and other similar structures should be located out of public view in areas that mitigate noise impacts and which do not conflict with pedestrian traffic. Garbage and recycling bins should be contained within screened structure that are coordinated with the overall design.*
- The garbage/recycling bins are located near the back of the site, away from the street and not within public view. The design is for Molok bins which provide a more attractive waste/recycling solution than traditional bins.
- Guideline MF1* *All multifamily development should incorporate community amenity spaces that provide opportunity for recreation and play and address the needs of all age groups likely to reside within the development.*
- The proposed development includes three common amenity areas on-site with a total area of 1,334m². These spaces include grassed and paved surfaces suitable for a range of recreational and amenity uses, including a sport court and a shaded sitting area. The property is within walking distance of the Channel multi-use trail, and within walking distance to the parks and recreation facilities on the high school and middle school properties further east on Green Ave.
- Guideline MF2* *In an effort to promote community and social sustainability, multifamily developments should exhibit a preference for courtyard forms with views into them from ground-oriented ground floor units.*
- Three common amenity areas are part of this development with a total area of 1,334m². One of those common amenity areas is in a courtyard form located near the middle of the development. The amenity areas all have views onto them from adjacent units.
- Guideline MF3* *Amenity spaces should incorporate vegetation for the purposes of active and passive recreation and/or visual interest, and incorporate safe play areas in interior courtyards.*
- All three common amenity areas provide grassed lawns. The courtyard includes a shaded sitting area and another amenity space at the northwest corner utilizes existing

pavement repurposed as a sports court. These spaces provide options for future residents to safely play on the site



Development Permit

Permit Number: DP PL2022-9275

Owner Name
Owner Address

Conditions of Permit

1. This permit is issued subject to compliance with all of the bylaws of the City, except as specifically varied or supplemented by this Permit.
2. This permit applies to:
 - Legal: Lot 3 District Lots 189 and 372 Similkameen Division Yale District Plan 6750 Except Plan H14743
 - Civic: 435 Green Avenue West
 - PID: 010-123-636
3. This permit has been issued in accordance with Section 489 of the *Local Government Act*, to permit the construction of an 84-unit townhouse development as shown in the plans attached in Schedule 'A'.
4. In accordance with Section 502 of the *Local Government Act* a deposit or irrevocable letter of credit, in the amount of \$_____ must be deposited prior to, or in conjunction with, an application for a building permit for the development authorized by this permit. The City may apply all or part of the above-noted security in accordance with Section 502 of the *Local Government Act*, to undertake works or other activities required to:
 - a. correct an unsafe condition that has resulted from a contravention of this permit,
 - b. satisfy the landscaping requirements of this permit as shown in Schedule 'A' or otherwise required by this permit, or
 - c. repair damage to the natural environment that has resulted from a contravention of this permit.
5. The holder of this permit shall be eligible for a refund of the security described under Condition 4 only if:
 - a. The permit has lapsed as described under Condition 8, or
 - b. A completion certificate has been issued by the Building Inspection Department and the Director of Development Services is satisfied that the conditions of this permit have been met.
6. Upon completion of the development authorized by this permit, an application for release of securities (Landscape Inspection & Refund Request) must be submitted to the Planning Department. Staff may carry out inspections of the development to ensure the conditions of this permit have been met. Inspection fees may be withheld from the security in accordance with the City of Penticton Fees

and Charges Bylaw (as amended from time to time).

General Conditions

7. In accordance with Section 501(2) of the *Local Government Act*, the lands subject to this permit shall be developed in general accordance with this permit and the plans attached as Schedule 'A'.
8. In accordance with Section 504 of the *Local Government Act*, if the holder of this permit does not commence the development authorized by this permit within 2 years of the date of this permit, this permit shall lapse.
9. **This permit is not a building permit. In order to proceed with this development, the holder of this permit must hold a valid building permit issued by the Building Inspection Department.**
10. This permit does not constitute any other municipal, provincial or federal approval. The holder of this permit is responsible to obtain any additional municipal, federal, or provincial approvals prior to commencing the development authorized by this permit.
11. This permit does not include off-site infrastructure costs that may be required at the building permit stage, such as Development Cost Charges (DCC's), road improvements and electrical servicing. There may be substantial infrastructure and servicing costs payable at a later date. For more information on servicing and infrastructure requirements please contact the Development Engineering Department at (250) 490-2501. For more information on electrical servicing costs, please contact the Electric Utility at (250) 490-2535.

Authorized by City Council, the ____ day of _____, 2022.

Issued this ____ day of _____, 2022.

Angela Collison
Corporate Officer



Suite 600, 220 - 12th Avenue SW
Calgary, AB, Canada T2P 0E9
T 403.670.7000
www.s2architecture.com

SITE PLAN

PENTICTON TOWNHOMES
435 GREEN AVENUE W, PENTICTON, B.C.
PORCHLIGHT INVESTMENTS
221215



NOT FOR CONSTRUCTION

This drawing supersedes previous issues. Do not scale these drawings.

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

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REVISION	DATE
1 OCP AND LAND USE REZONE-REVISION	2022-02-04
2 D.P. APPLICATION	2022-02-11
3 TPC RESPONSE	2022-03-28

SCALE: As Indicated
DATE: 3/28/2022 9:03:26 AM
DRAWN BY: Author
CHECKED BY: Checker

DRAWING NO.

DP 1.0

Site Plan - Symbol Legend

- INDICATES EXTENT AND LOCATION OF PROPOSED BUILDING
- INDICATES EXTENT AND LOCATION SMALL CAR PARKING STALLS
- INDICATES EXTENT AND LOCATION OF EXISTING ASPHALT PATHWAY TO REMAIN
- INDICATES EXTENT OF AREA TO BE RESTORED
- INDICATES EXTENT OF ROAD DEDICATION AREA
- INDICATES PROPERTY LINE (SCALED DOWN FOR CLARITY)
- INDICATES SETBACK LINE (SCALED DOWN FOR CLARITY)
- INDICATES LINE OF EXISTING FENCE TO REMAIN
- INDICATES LINE OF PROPOSED FENCE
- INDICATES LOCATION OF PROPOSED FIRE HYDRANT
- INDICATES LOCATION OF EXISTING FIRE HYDRANT
- INDICATES LOCATION OF PROPOSED TRANSFORMER / PEDESTAL
- INDICATES LOCATION OF PROPOSED CONCRETE WHEEL STOP
- INDICATES HANDICAP PARKING SYMBOL PAINTED ON ASPHALT SURFACE
- INDICATES PARKING LINE PAINTED ON ASPHALT
- INDICATES LOCATION OF PROPOSED GUARD BOLLARD
- INDICATES LOCATION OF BIKE RACK

02 DP - Site Plan - Symbol Legend

SCALE: 1: 200

Site Plan - General Notes

1. REFER TO SITE SERVICING PLAN FOR SPECIFIC RELATED REQUIREMENTS
2. REFER ALSO TO THE LANDSCAPE PLAN
3. ALL EXISTING FENCING TO REMAIN UNLESS OTHERWISE INDICATED
4. ALL EXISTING TREES TO REMAIN UNLESS OTHERWISE INDICATED
5. REFER CIVIL DRAWINGS FOR SITE GRADING INFORMATION
6. AREAS AROUND AND WITHIN THE DRIP LINE OF EXISTING TREES BEING RETAINED AT SITE ARE TO BE PROTECTED
7. UTILITIES AND TRANSFORMERS WILL BE SCREENED OR WRAPPED WITH DECORATIVE VINYL.

02 DP - Site Plan - General Notes

SCALE: 1: 1

Site Plan - Code Legend

- 1 1250mm CONCRETE SIDEWALK
- 2 MONOLITHIC CONCRETE CURB
- 3 HEAVY DUTY ASPHALT TO CARRY 25000KG LIVE LOAD
- 4 NEW TRANSFORMER ON CONCRETE PAD - REFER TO ELECTRICAL DRAWINGS
- 5 WASTE AND RECYCLING COLLECTION BINS - MOLOK 1700MM
- 6 FIRE HYDRANT LOCATION - REFER TO CIVIL DRAWINGS
- 7 STANDARD SU-09 TRUCK SWEEP PATH
- 8 FIXED BICYCLE RACK - REFER TO LANDSCAPE DRAWINGS
- 9 SITTING AREA - REFER TO LANDSCAPE DRAWINGS
- 10 PROPOSED UTILITY METER LOCATION
- 11 PROPOSED ROAD DEDICATION AREA
- 12 PROPOSED CANADA POST MAILBOX LOCATION
- 13 WATER METER LOCATION

02 DP - Site Plan - Code Legend

SCALE: 1: 1



1 DP - Site Plan
SCALE: 1: 350



Suite 600, 220 - 12th Avenue SW
 Calgary, AB, Canada T2R 0E9
 T 403.670.7000
 www.s2architecture.com

PROJECT INFORMATION

PENTICTON TOWNHOMES
 435 GREEN AVENUE W, PENTICTON, B.C.
 PORCHLIGHT INVESTMENTS
 22/12/15

NOT FOR CONSTRUCTION

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SCALE
 DATE 4/5/2022 3:20:24 PM
 DRAWN BY Author
 CHECKED BY Checker

DRAWING NO.
DP 0.1

Vicinity Map



Municipal Address

435 GREEN AVENUE W
 PENTICTON, B.C.

Legal Address

LOT 3 DISTRICT LOTS 189 AND 372 SIMILKAMEEN DIVISION YALE DISTRICT PLAN 6750 EXCEPT PLAN H14743

Site Summary

PARCEL AREA :14770 sqm 1.477ha 3.65 acres

By-Law Zoning

CURRENT : R2- SMALL LOT RESIDENTIAL
 PROPOSED : RM-2 LOW DENSITY MULTIPLE HOUSING
 PERMITTED USE : TOWNHOUSE

By-Law Setback

MINIMUM SETBACK AREAS
 FRONT: 3.0m
 REAR:
 • 6.0m
 SIDE:
 • 3.0m
 NOTE:
 15m RIPARIAN SETBACK ALONG WEST PROPERTY LINE

Proposed Development

TOWNHOUSE (PERMITTED USE)
 BUILDING CLASSIFICATION AS PER BC BUILDING CODE:
 TOWNHOUSE BUILDING 'A' TO 'J': PART 9

Building Height

MAXIMUM BUILDING HEIGHT
 • PRINCIPAL BUILDING 12.0m
 • ACCESSORY BUILDING OR STRUCTURE 4.5m
 PROPOSED: 12m MAX

Floor Area Ratio

MAXIMUM PERMITTED F.A.R.	PROPOSED F.A.R.
0.8	0.6

Motor Vehicle Parking Requirements

RESIDENTIAL - UNIT PARKING				
DESCRIPTION	QUANTITY	FACTOR (STALL PER UNIT)	REQUIRED	PROVIDED
RESIDENT PARKING	84	1	84	99

RESIDENTIAL - VISITOR PARKING				
DESCRIPTION	QUANTITY	FACTOR (STALL PER UNIT)	REQUIRED	PROVIDED
VISITOR PARKING	84	0.25	21	21

Area Summary

NOTE: BALCONY, PATIO, TERRACE, AND DECK AREAS; MECHANICAL PENTHOUSES; AND ABOVE GRADE PARKING AREAS ARE NOT INCLUDED.

Building A GFA	
Name	Area
Building A Level 1	281 m ²
Building A Level 2	307 m ²
Total GFA	588 m²

Building B GFA	
Name	Area
Building B Level 1	472 m ²
Building B Level 2	498 m ²
Total GFA	969 m²

Building C GFA	
Name	Area
Building C Level 1	472 m ²
Building C Level 2	498 m ²
Total GFA	969 m²

Building D GFA	
Name	Area
Building D Level 1	377 m ²
Building D Level 2	402 m ²
Total GFA	779 m²

Building E GFA	
Name	Area
Building E Level 1	337 m ²
Building E Level 2	341 m ²
Building E Level 3	400 m ²
Total GFA	1077 m²

Building F GFA	
Name	Area
Building F Level 1	337 m ²
Building F Level 2	341 m ²
Building F Level 3	400 m ²
Total GFA	1077 m²

Building G GFA	
Name	Area
Building G Level 1	377 m ²
Building G Level 2	402 m ²
Total GFA	779 m²

Building H GFA	
Name	Area
Building H Level 1	472 m ²
Building H Level 2	498 m ²
Total GFA	969 m²

Building I GFA	
Name	Area
Building I Level 1	281 m ²
Building I Level 2	307 m ²
Total GFA	588 m²

Building J GFA	
Name	Area
Building J Level 1	472 m ²
Building J Level 2	498 m ²
Total GFA	969 m²

Dwelling Unit Count

UNIT SUMMARY			
UNIT NAME	UNIT TYPE	UNIT AREA	QUANTITY
TYPE 01	03 BEDROOM + 2.5 BATH	1117 SQFT	16
TYPE 02	02 BEDROOM + 1.5 BATH	1010 SQFT	16
TYPE 03	02 BEDROOM + DEN + 1.5 BATH	1024 SQFT	20
TYPE 04	03 BEDROOM + 1.5 BATH	1031 SQFT	16
TYPE 01A	03 BEDROOM + 2.5 BATH	1530 SQFT	4
TYPE 02A	02 BEDROOM + 1.5 BATH	1397 SQFT	4
TYPE 03A	02 BEDROOM + 1.5 BATH	1416 SQFT	4
TYPE 04A	03 BEDROOM + 1.5 BATH	1444 SQFT	4
TOTAL			84

Waste & Recycling Requirements

2 MLOK CLASSIC CONTAINERS (5m³ / 6.53yd³) EACH PROVIDED FOR WASTE AND RECYCLING COLLECTION (4 IN TOTAL)

CALCULATIONS:
 (84 UNITS / 10) x 3 yd³ = 25.2 yd³ TOTAL WASTE & RECYCLING PRODUCED
 4 MLOK CLASSIC CONTAINERS (5m³ / 6.53yd³) PROVIDED AT SITE

Amenity Areas

PRIVATE AMENITY SPACE	
BUILDING A	86m ²
BUILDING B	140m ²
BUILDING C	140m ²
BUILDING D	114m ²
BUILDING E	138m ²
BUILDING F	138m ²
BUILDING G	114m ²
BUILDING H	140m ²
BUILDING I	86m ²
BUILDING J	140m ²
TOTAL	1236m²

PUBLIC AMENITY SPACE	
PARK AREA	335m ²
EXISTING ASPHALT PATHWAY	578m ²
TOTAL AMENITY AREA PROVIDED	2149m²
REQUIRED AMENITY AREA	20m² x 84 UNITS = 1680m²

Bicycle Parking Requirements

RESIDENTIAL - CLASS 1 PARKING				
DESCRIPTION	QUANTITY	FACTOR (STALL PER UNIT)	REQUIRED	PROVIDED
RESIDENT PARKING	68	5	34	-

RESIDENTIAL - CLASS 2 PARKING				
DESCRIPTION	QUANTITY	FACTOR (STALL PER UNIT)	REQUIRED	PROVIDED
VISITOR PARKING	84	0.1	9	12

16 OUT OF 84 TOWNHOUSES HAVE INDOOR GARAGES AND BIKE PARKING IS NOT REQUIRED.

THE REMAINING 68 UNITS WILL REQUIRE 34 CLASS 1 BIKE PARKING STALLS. THE DEVELOPER WILL PAY THE CITY THE APPLICABLE CASH-IN-LIEU AMOUNT OF \$17000 FOR THE 34 CLASS 1 STALLS NOT PROVIDED ON SITE.

THE 12 CLASS 2 STALLS ARE PROVIDED ON SITE.

Lot Coverage

SITE AREA	14770m ²
LOT COVERAGE (84 UNITS)	32.69%
SOFT LANDSCAPE AREA	4448.12m ²
HARDSCAPE AREA	1767.88m ²
PARKING AND ROADWAY AREAS	3726.37m ²
LANDSCAPE AREA PROVIDED	4448.12m²
LANDSCAPE AREA REQUIRED	30.12%
PARKING LOT LANDSCAPE AREA	458.36m ²
REQUIRED AREA	210m²



2 landscape areas
Scale: 1:1000

Site Information

Address: 435 Green Avenue W, Pentiction, B.C.

City of Pentiction Zoning: RM-2, Low Density Multiple Housing

Site Area: 14,770.00 sq m

Lot Coverage (84 Units): 32.69%

soft landscape areas: 4,448.12 sq m

hardscape areas: 1,767.88 sq m

parking and roadway areas: 3,726.37 sq m

Bicycle parking spaces required: provided 12 spaces (6 bicycle racks)

Landscape Statistics

Landscape area provided: 4,448.12 sq m (30.12% of site)

Parking lot landscape area: 458.36 sq m (105 stalls = 210 sq.m. required)

Trees

required	provided
min 1 tree per 10 lm of required buffer	50.2 112
Deciduous Trees	84.00
75mm cal	48
50mm cal	36
Coniferous Trees	28.00
3m height	28.00

Shrubs

required	provided
min 1 shrub per 1 lm of required buffer	502 721
Deciduous	623.00
Coniferous	98.00

- Legend**
- trees**
- columnar spruce min 2.5 m height
 - douglas fir min 2.5m height
 - yellow ponderosa pine min 2.5m height
 - bowhall maple min 60 mm cal
 - crimson spire oak min 60 mm cal
 - lonestar linden min 60 mm cal
 - trembling aspen min 60 mm cal
 - big river flowering crab min 60 mm cal
 - japanese tree lilac min 60 mm cal
 - tower poplar min 60 mm cal
 - existing trees to remain
- groundcovers**
- avalanche reed grass
 - prairie fire red switch grass
 - wood mulch
 - sod
 - concrete paving accent colour concrete
- shrubs**
- dwarf mugho pine
 - russian sage
 - amber jubilee ninebark
 - red twig dogwood
 - compact burning bush
 - dwarf korean lilac
 - candy corn spirea
 - little devil ninebark
 - mottled dogwood
 - oso easy paprika rose
 - purple emperor cornflower

Plant List

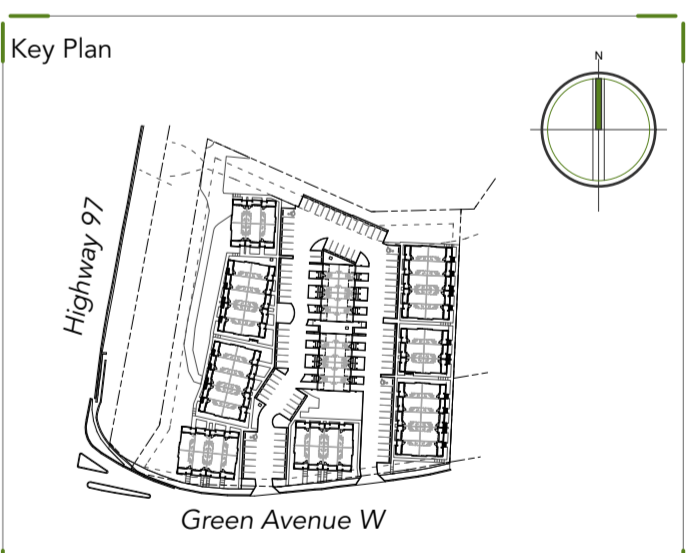
Qty	Common Name	Botanical Name
Ornamental Grasses and Groundcovers		
98	Avalanche Reed Grass	Calamagrostis x acutiflora 'Avalanche'
109	Prairie Fire Red Switch Grass	Panicum virgatum 'Prairie Fire'
Shrubs		
Coniferous		
68	Dwarf Mugo Pine	Pinus mugo 'pumilio'
30	Russian Sage	Perovskia atriplicifolia
Deciduous		
74	Amber Jubilee Ninebark	Physocarpus opulifolius 'Jefam'
19	Arctic Fire Red Twig Dogwood	Cornus sericea 'Farrow'
80	Compact Winged Burning Bush	Euonymus alatus 'Compactus'
39	Double play candy corn spirea	Spiraea japonica 'candy corn'
10	Dwarf Korean Lilac	Syringa meyeri 'Palibin'
127	Little Devil Ninebark	Physocarpus opulifolius 'Donna May'
16	Mottled Dogwood	Cornus alba 'Gouchaultii'
30	Oso Easy Paprika Rose	Rosa sp 'Oso Paprika'
42	Purple Emperor Coneflower	Echinacea purpurea 'Purple Emperor'
Trees		
Coniferous		
19	Columnar Spruce	Picea pungens 'Fastigiata'
5	Interior Douglas Fir	Pseudotsuga menziesii
4	Yellow Ponderosa Pine	Pinus ponderosa
Deciduous		
16	Big River Flowering Crab	Malus 'Big River'
11	Bowhall Maple	Acer rubrum 'bowhall'
14	Crimson spire oak	Quercus robur 'crimschmidt'
10	Ivory Silk Japanese Tree Lilac	Syringa reticulata 'Ivory Silk'
5	Lone Star Linden	Tilia cordata
8	Tower Poplar	Populus x canescens 'Tower'
7	Trembling Aspen	Populus tremuloides

General Notes

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Irrigation Notes

- All landscape areas shall be watered by an automatic underground, low water use, irrigation system as per municipal standards. Contractor is responsible for coordination with other trades and subconsultants regarding the specifics of the system, including location of power and water sources. If possible, connect to existing irrigation system. Ensure power and water meters are properly installed and operating prior to utilization of the system.



4	TPC response	22.03.15
3	development permit	22.02.10
2	zoning review and coordination	22.02.03
1	review and coordination	21.12.17
	Issued for:	Date: (yy.mm.dd)

Project No. 01-018
Project Title: Pentiction Townhomes
435 Green Avenue W
Pentiction, B.C.

Drawing Title: Overall Plan

Drawn by: cmp Drawing No. L-0

Checked by: jj / cmp

Scale: 1:500

1 Overall Plan
Scale: 1:500



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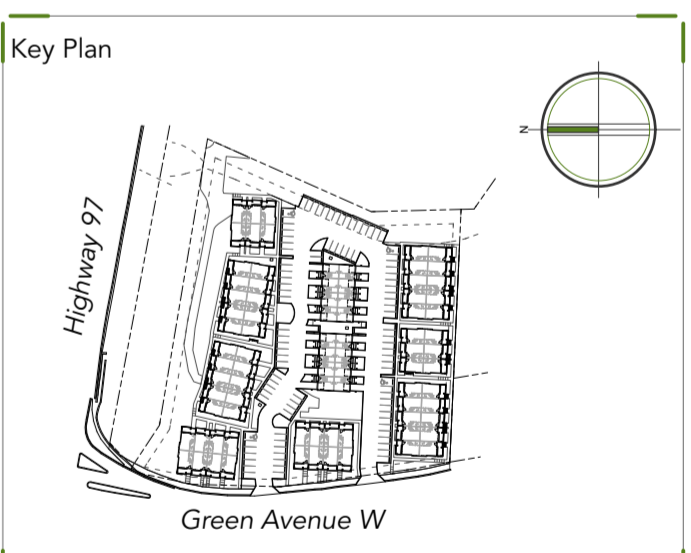
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2	zoning review and coordination	22.02.03
1	review and coordination	21.12.17
	Issued for:	Date: (yy.mm.dd)

Project No. 01-018
 Project Title:
Penticton Townhomes
 435 Green Avenue W
 Penticton, B.C.

Drawing Title:
Overall Landscape Plan

Drawn by: cmp
 Checked by: jj / cmp

Drawing No. **L-1**

Scale: 1:300

1 Overall Landscape Plan
 Scale: 1:300

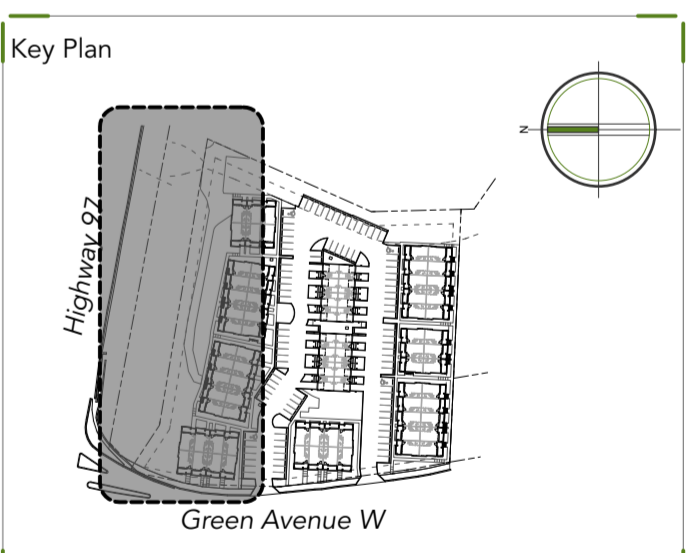


General Notes

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- Any variations and design changes to the information shown on these drawings must not be carried out without written authorization from Arquecos Group Ltd. the Project Owner or the Owner's Representative.
- Any references made to the location of all existing and proposed utilities, including URW must be verified on site prior to commencing work. Report any and all conflicts identified immediately.
- Contractor must adhere to municipal, provincial and federal regulations, guidelines and by-laws including but not limited to the most recent versions of the Canadian Standards for Nursery Stock as well as municipal Landscape and Roads Construction Standards. Any discrepancies between municipal standards and details presented in these drawings must be reported immediately. Municipal Construction standards rule over these drawings.

Irrigation Notes

- All landscape areas shall be watered by an automatic underground, low water use, irrigation system as per municipal standards. Contractor is responsible for coordination with other trades and subcontractors regarding the specifics of the system, including location of power and water sources. If possible, connect to existing irrigation system. Ensure power and water meters are properly installed and operating prior to utilization of the system.



4	TPC response	22.03.15
3	development permit	22.02.10
2	zoning review and coordination	22.02.03
1	review and coordination	21.12.17
	Issued for:	Date: (yy.mm.dd)

Project No. 01-018
 Project Title. Penticton Townhomes
 435 Green Avenue W
 Penticton, B.C.

Drawing Title: Restoration Plan
 Drawing by: cmp
 Drawing No. L-2
 Checked by: jj / cmp
 Scale: 1:300



- restoration area legend**
- trees**
 - black cottonwood #1 / plug
 - willow #1 / plug
 - shrubs**
 - arctic fire dogwood #2 pot
 - snowberry #2 pot
 - wood's rose #2 pot
 - groundcovers**
 - bluebunch wheatgrass
 - idaho fescue

Restoration Area Plant List

Qty	Common Name	Botanical Name
Grasses and Groundcovers		
	Bluebunch Wheatgrass	Pseudoroegneria spicata
	Idaho Fescue	Festuca idahoensis
Shrubs		
85	Arctic Fire Red Twig Dogwood	Cornus sericea 'Farrow'
47	Snowberry	Symphoricarpos albus
54	Wood's Rose	Rosa woodsii
Trees		
Deciduous		
10	Black Cottonwood	Populus balsamifera
3	Willow	Salix sp.

Restoration Plan Notes

- This restoration plans follows the recommendations made by the environmental consultant. Refer to environmental report restoration plan for further details.
- The exact location and number of individual plants will be determined through a field fit approach under the guidance of the Environmental Monitor.
- All disturbed soils must be restored with native Grade A grass seed free of invasive species to minimize establishment of invasive plant species, erosion, and to restore the area to early successional conditions.
- Grass seed mixes must be approved by the EM before purchase and use. Restoration grass mixes cannot include species considered invasive within B.C. and grass seed mixes should be suitable for the environmental conditions. All seed mixes will be submitted to a certified seed testing laboratory for germination and purity analysis. Seed analysis certificates are to be provided prior to purchase. Grass seed should be broadcast and hand-raked into the soil and hydroseeded on steep slopes or large areas.

Restoration area preliminary estimate of probable costs

No	Item	Qty	Unit	Unit Cost	Comments	Total
1.0 Softscape and Plant Material						
1.2	Trees	13	each	\$400	Supply and Install, Includes Topsoil, bark mulch and 2 year warranty.	\$ 5,200
1.4	Shrubs	186	each	\$40	Supply and Install, Includes Topsoil, bark mulch and 2 year warranty.	\$ 7,440
1.7	Seed Mix	550	sq.m.	\$8	Hydroseed including colour tachifier, 150mm of topsoil and grading	\$ 4,399
Estimated Total Cost						\$ 17,039

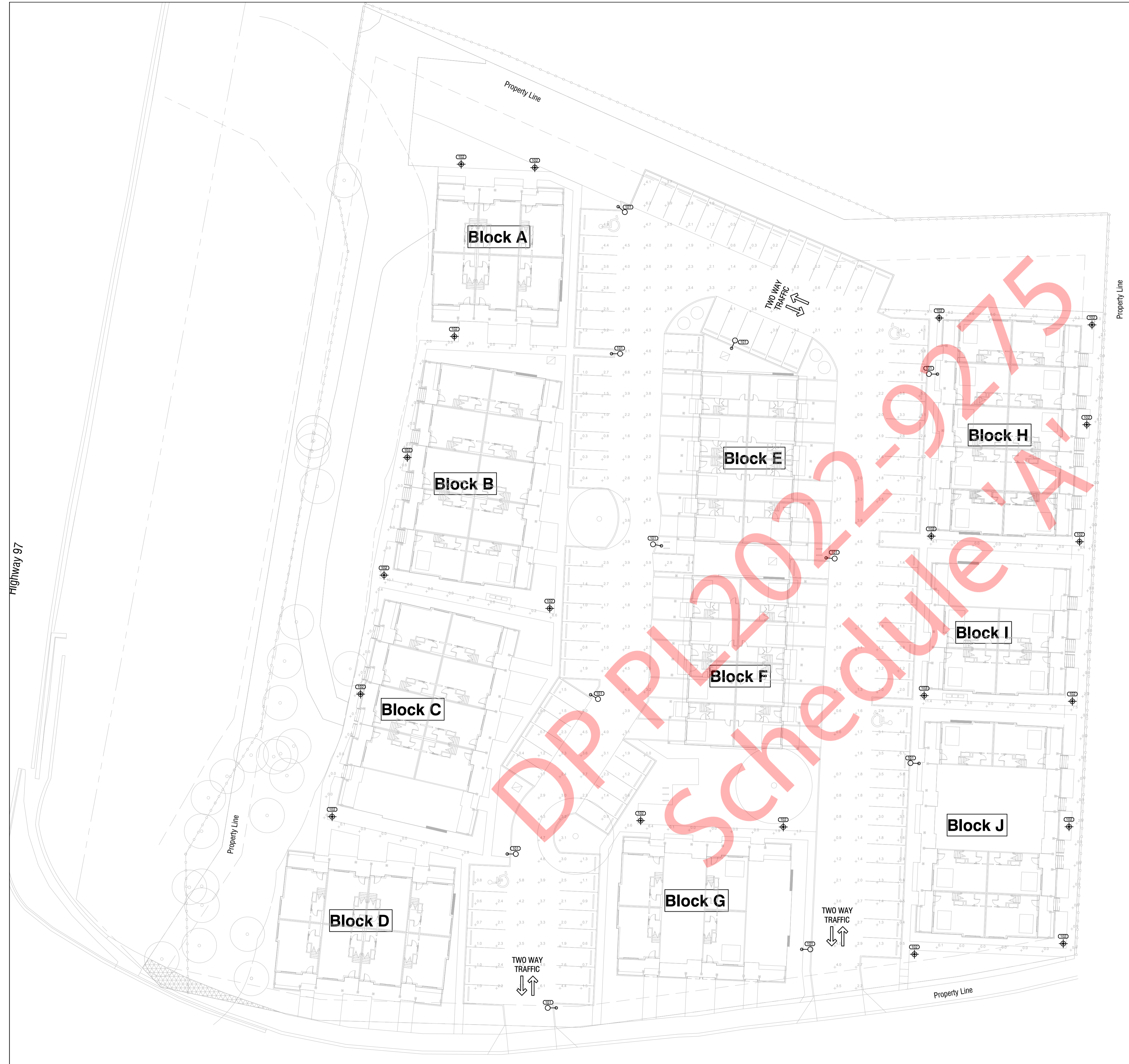
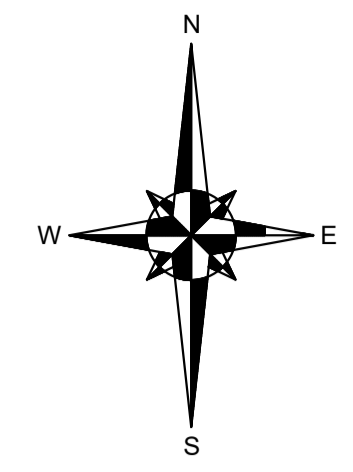
Notes.

- This is a preliminary opinion of probable costs based on development permit design plans, not a guaranteed cost figure.
- Contractors are responsible for accurate quantity calculations and field measurements.
- Cost estimate does not include; haulage, maintenance, unforeseen site conditions, and other costs associated with construction phasing and staging.
- All costs include supply and installation unless otherwise noted.
- All costs are exclusive of GST.

1 Riparian area restoration plan
 Scale: 1:300



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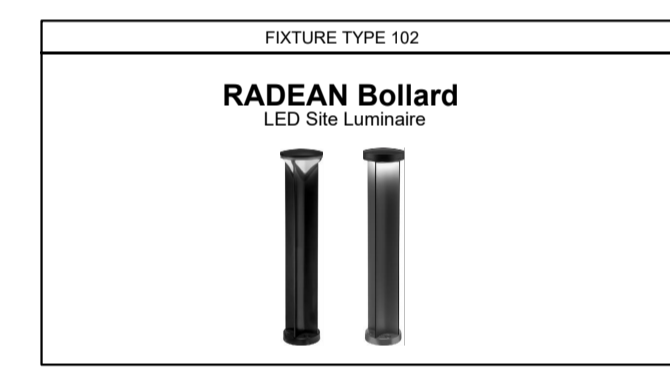
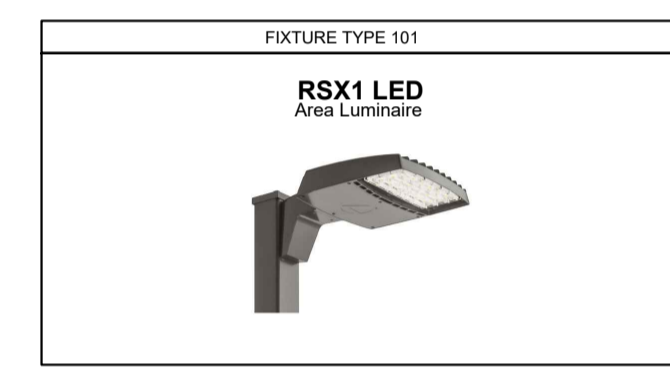


Highway 97

1
 E1.1
 SITE PLAN
 SITE LIGHTING LAYOUT
 SCALE: 1:200

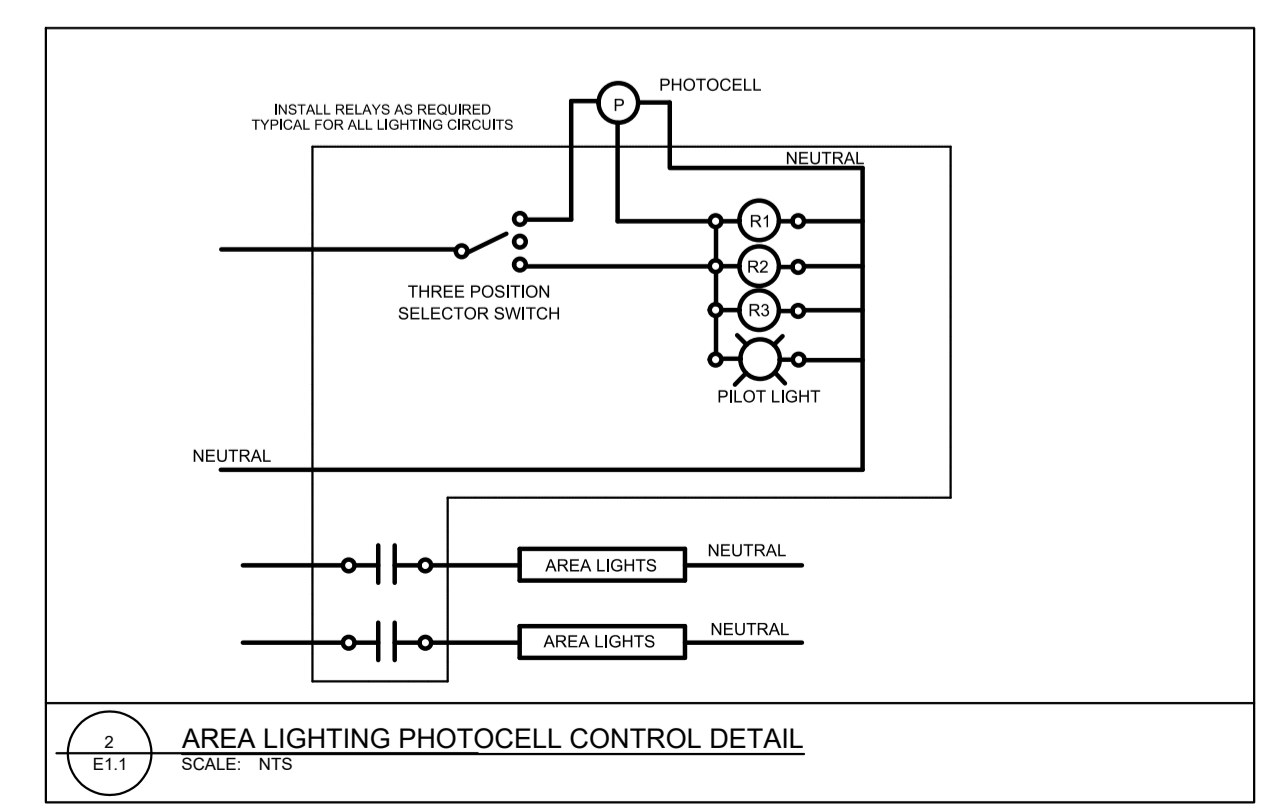
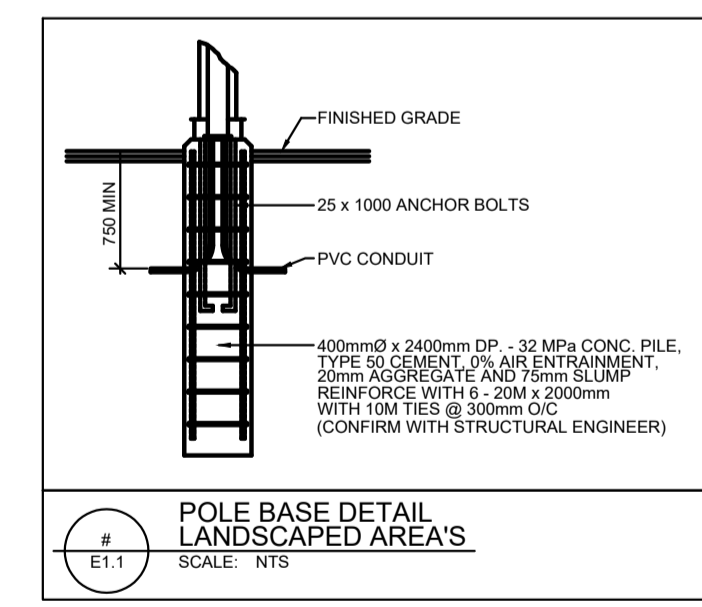
Green Avenue West

EXTERIOR LIGHTING SCHEDULE										
TYPE	DESCRIPTION	MANUFACTURER	MANUFACTURERS CATALOGUE NUMBER	LAMP	LUMENS	QUANTITY	TOTAL WATTS	MOUNTING	VOLTS	REMARKS
CLD	POLE MOUNTED AREA LIGHT	LITHONIA	RSX1 LED P3 30K R3 INVOLT SPA DBLXD	109W LED	12763	10	1090	POLE	120	TO BE MOUNTED ON 16' POLE
CLD	BOLLARD LIGHT	LITHONIA	RADEAN LED P3 30K ASY MIXC 1 FT TTBELXD SC02BLXD H30 DBLXD	13W LED	1088	20	260	BOLLARD	120	



SITE LIGHTING LEGEND

SYMBOL	DESCRIPTION
	AREA LIGHT
	BOLLARD LIGHT



SITE PLAN - SITE LIGHTING LAYOUT

PENTICTON TOWNHOMES

435 Green Avenue W, Penticton BC, Penticton, B.C.
 PORCHLIGHT INVESTMENTS
 221215

TLJ ENGINEERING
 MECHANICAL ELECTRICAL
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REVISION	DATE
SITE LIGHTING ISSUED FOR DP	2021/12/20
SITE LIGHTING ISSUED FOR DP	2022/01/31
SITE LIGHTING ISSUED FOR DP	2022/03/11

SCALE As indicated
 DATE 03/11/2022
 DRAWN BY Author ZRK
 CHECKED BY Checker JPK/JV

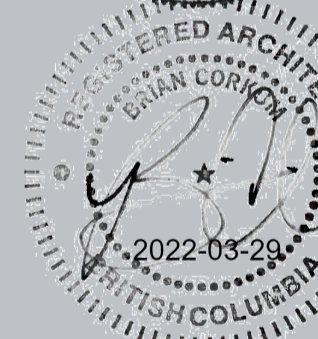
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E1.1



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SITE DETAILS

PENTICTON TOWNHOMES
435 GREEN AVENUE W, PENTICTON, B.C.
PORCHLIGHT INVESTMENTS
22/12/15



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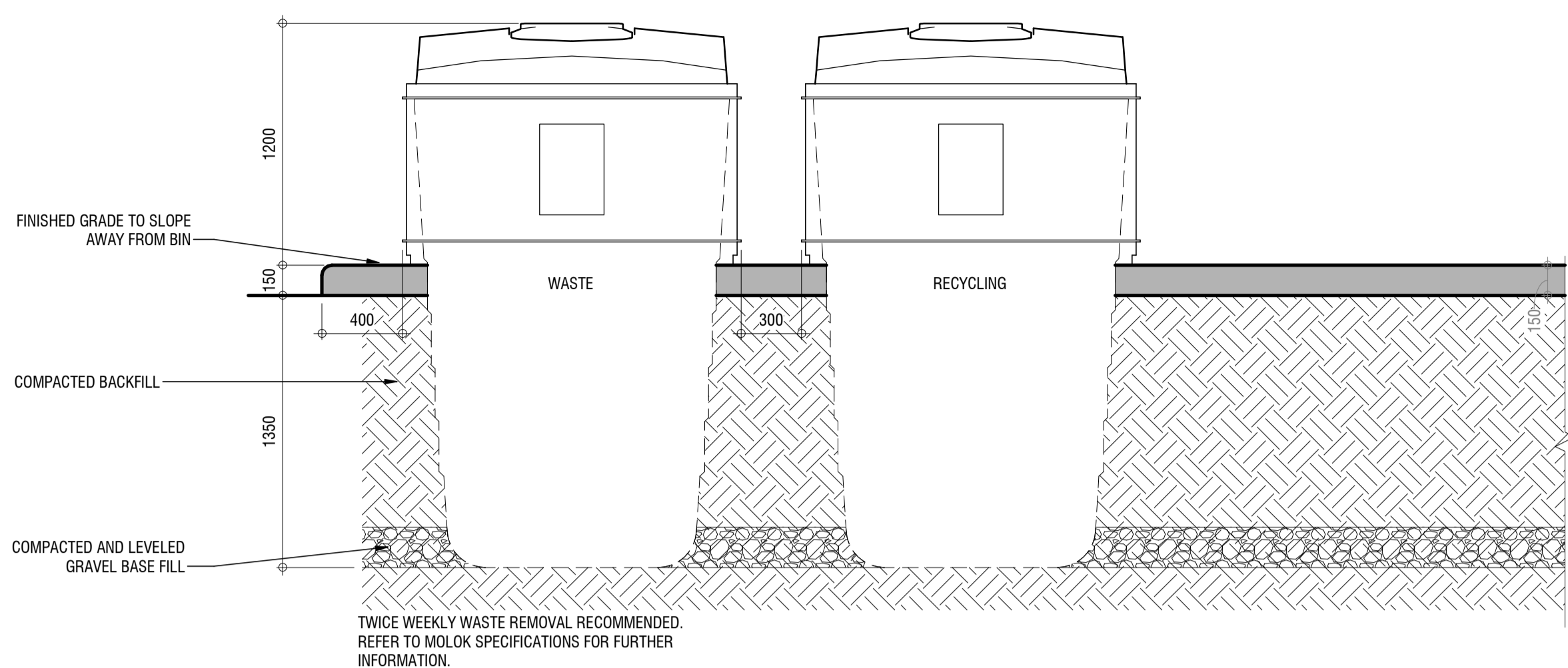
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REVISION	DATE
2 D.P. APPLICATION	2022-02-11
3 TPC RESPONSE	2022-03-28

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DATE 3/28/2022 9:03:21 AM
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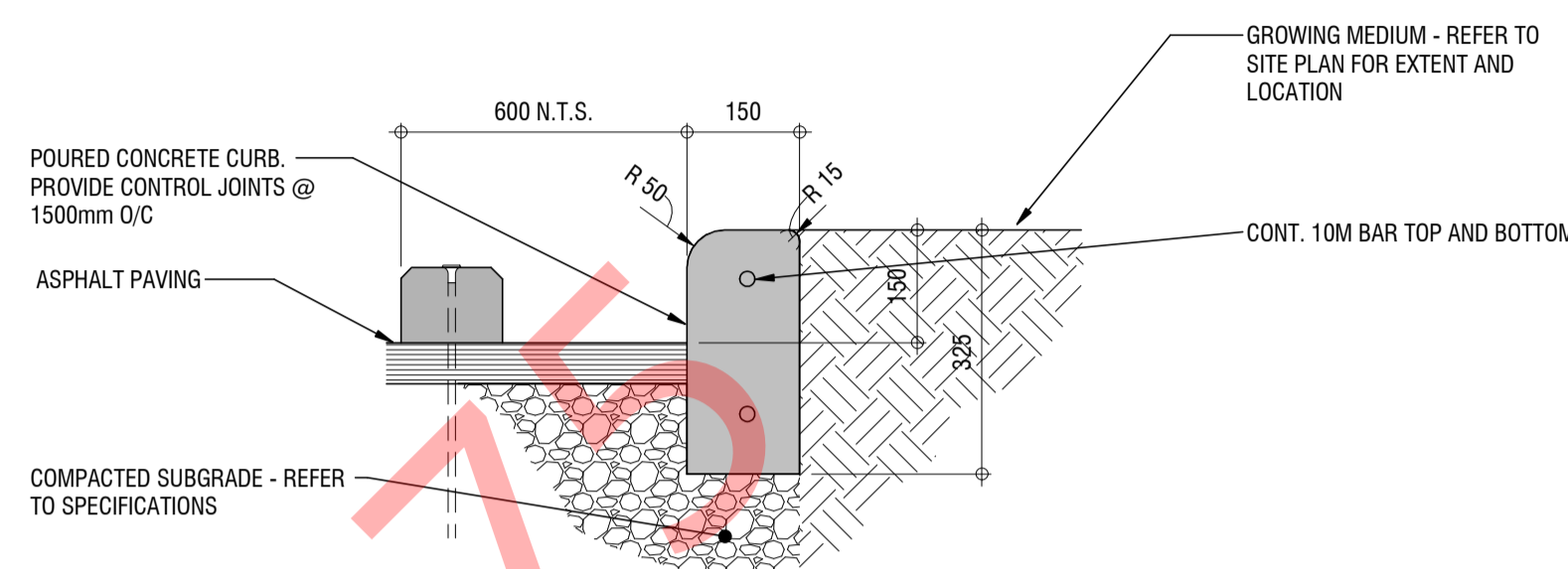
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C:\Revit Projects\221215-4-Site_s_madaya\sketch.rvt



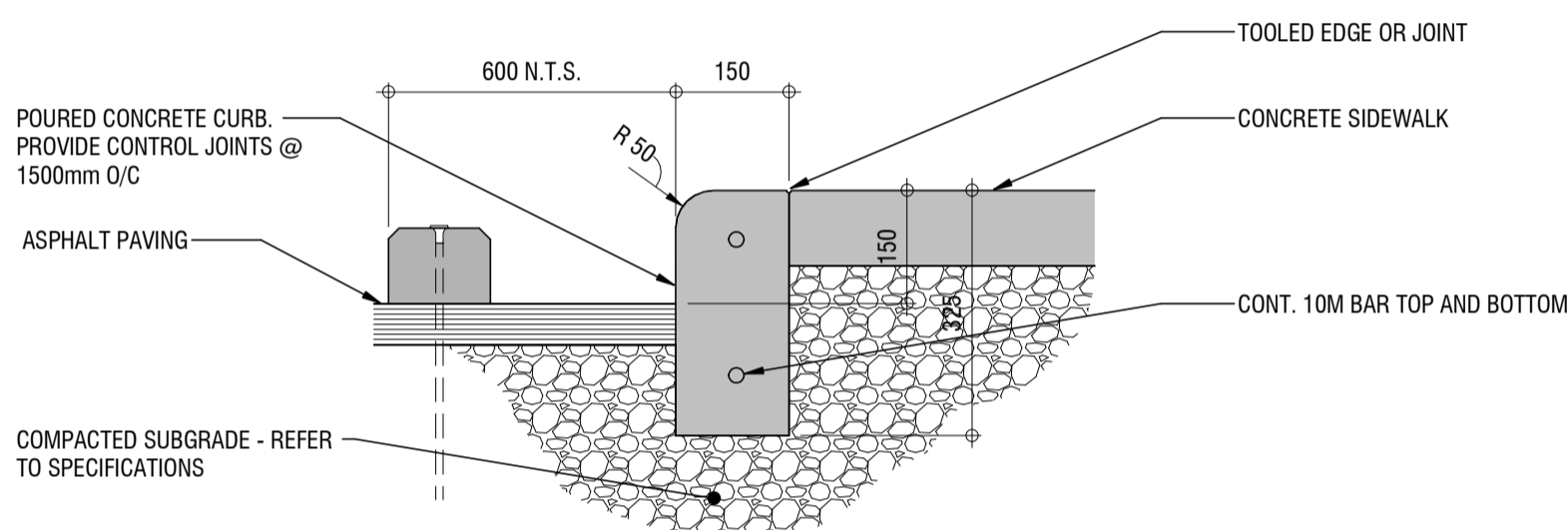
1 Site Detail - Typical Molok Bin

DP 0.5 SCALE: 1 : 25



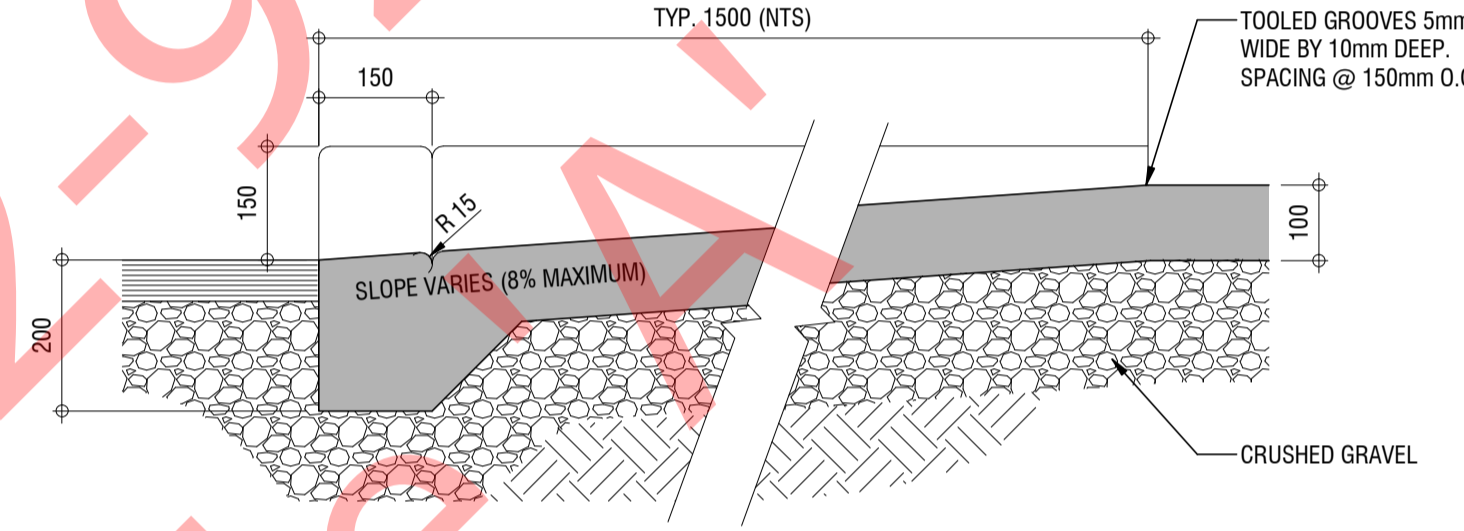
2 Site Detail - Typical Curb

DP 0.5 SCALE: 1 : 10



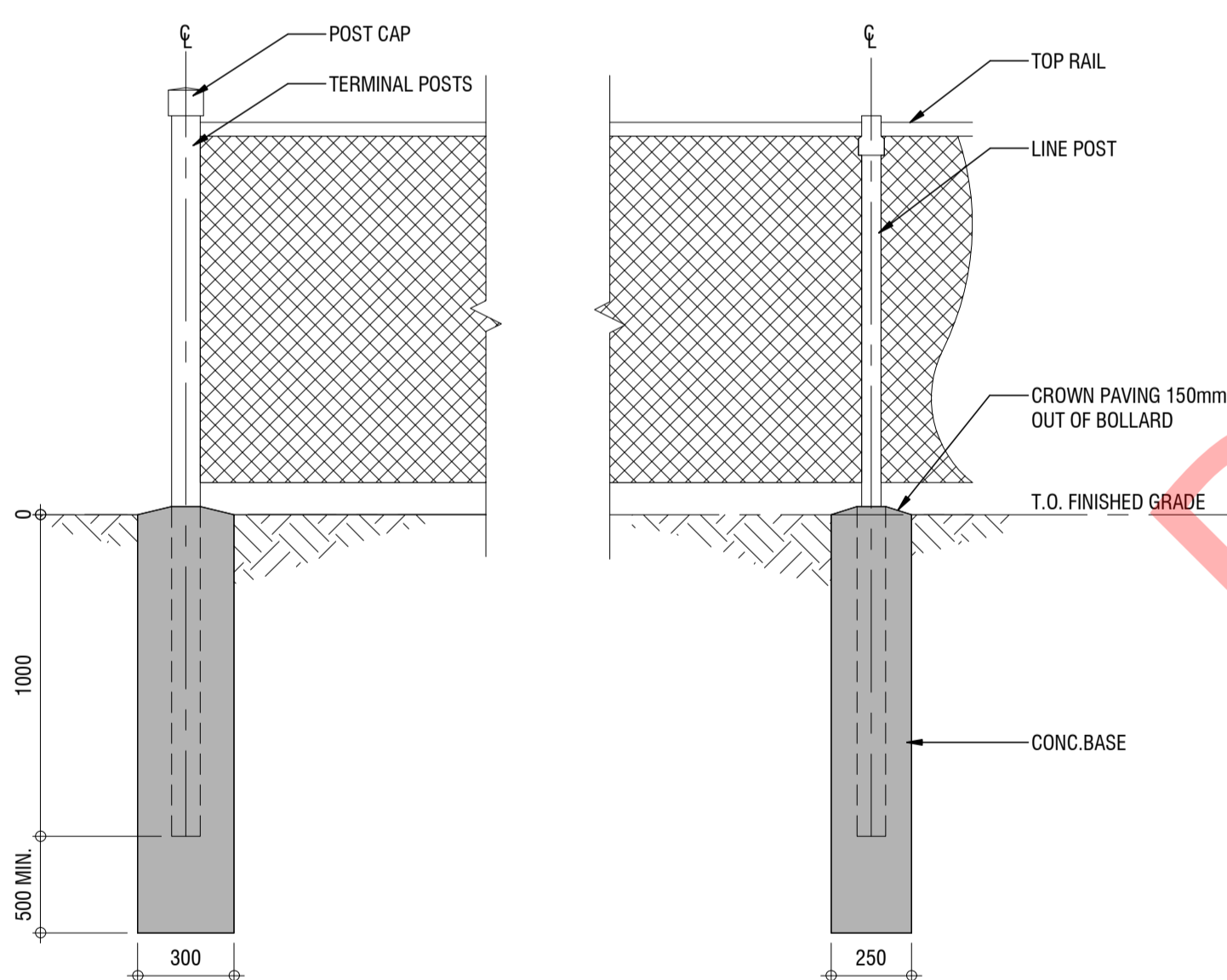
3 Site Detail - Typical Sidewalk Curb

DP 0.5 SCALE: 1 : 10



4 Site Detail - Typical Dropped Curb

DP 0.5 SCALE: 1 : 10



5 Site Detail - Typical Chain Link Fence - To Match Existing

DP 0.5 SCALE: 1 : 20



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BLOCK A - FLOOR PLANS

PENTICTON TOWNHOMES - BLOCK A
435 Green Avenue W, Pentiction BC, PENTICTON, B.C.
PORCHLIGHT INVESTMENTS
22/215



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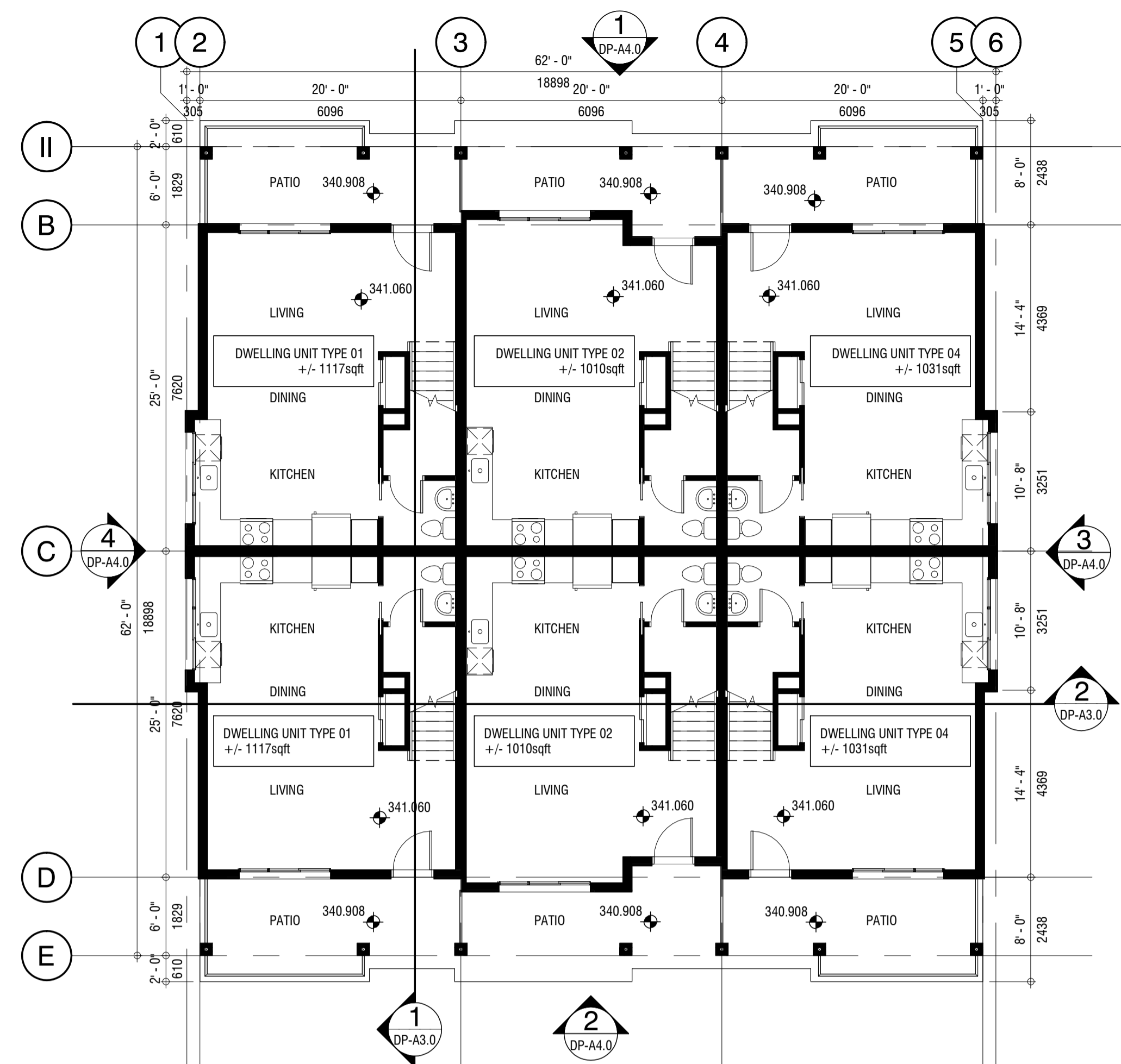
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REVISION	DATE
1 OCP AND LAND USE REZONE- REVISION	2022-02-04
2 D.P. APPLICATION	2022-02-11
3 TPC RESPONSE	2022-03-28

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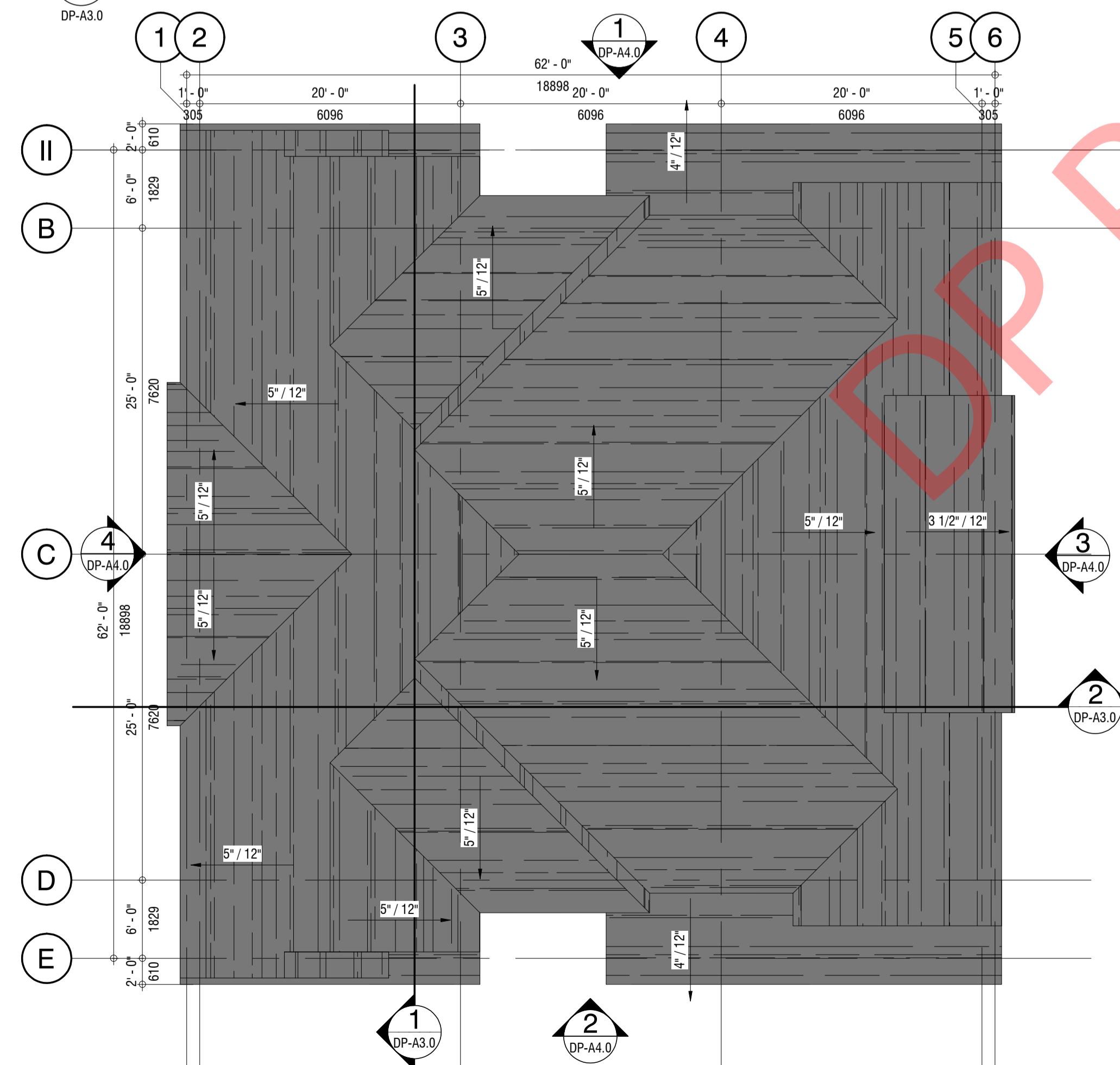
1 Level 1 - Floor Plan

DP-A2.0 SCALE: 1/8" = 1'-0"
DP-A3.0



2 Level 2 - Floor Plan

DP-A2.0 SCALE: 1/8" = 1'-0"
DP-A3.0



3 Roof Plan

DP-A2.0 SCALE: 1/8" = 1'-0"



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BLOCK B - FLOOR PLANS

PENTICTON TOWNHOMES - BLOCK B

435 Green Avenue W, Penticton BC, Penticton, B.C.

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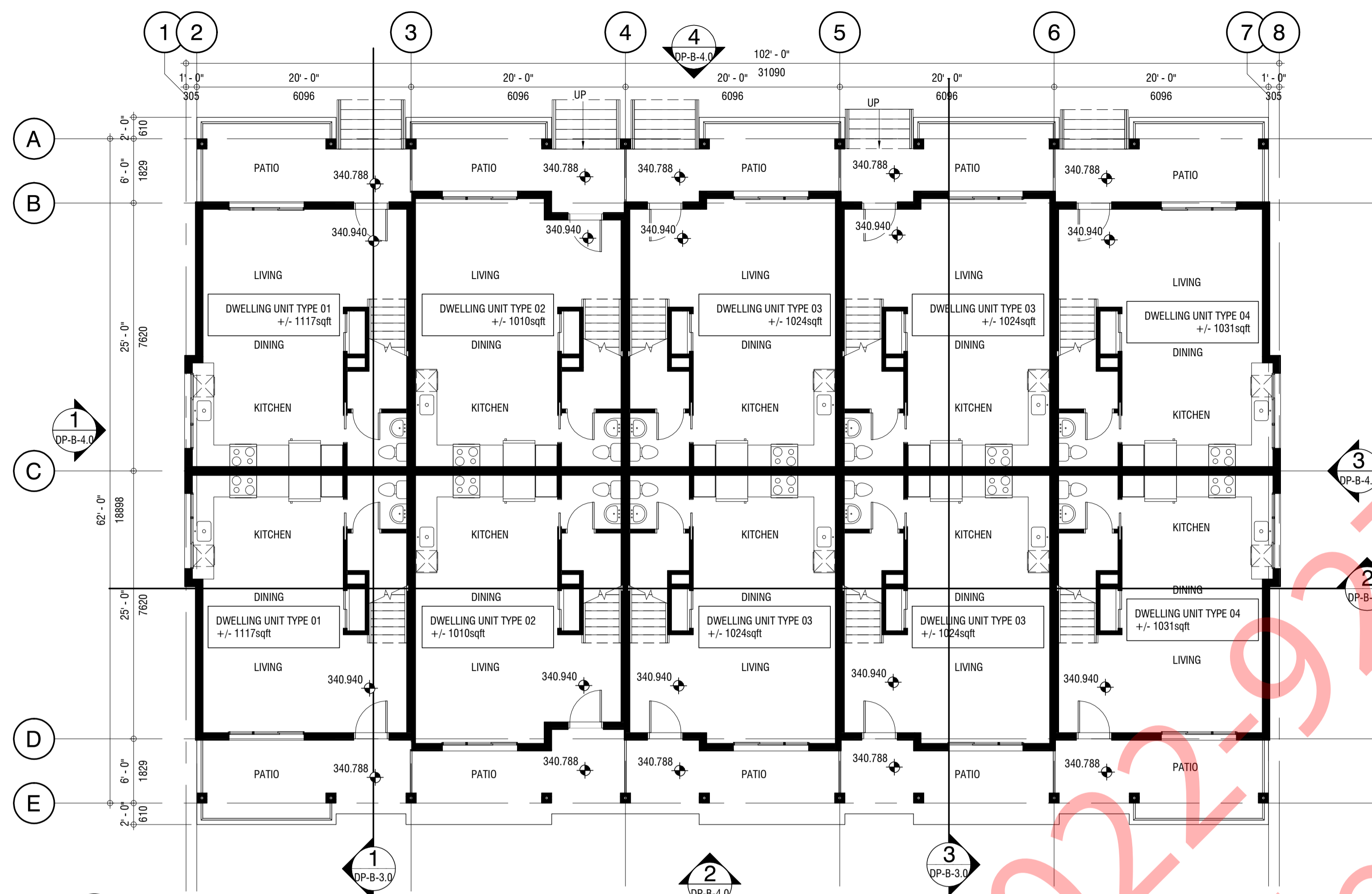
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REVISION	DATE
1 OCP AND LAND USE REZONE- REVISION	2022-02-04
2 D.P. APPLICATION	2022-02-11
3 TPC RESPONSE	2022-03-28

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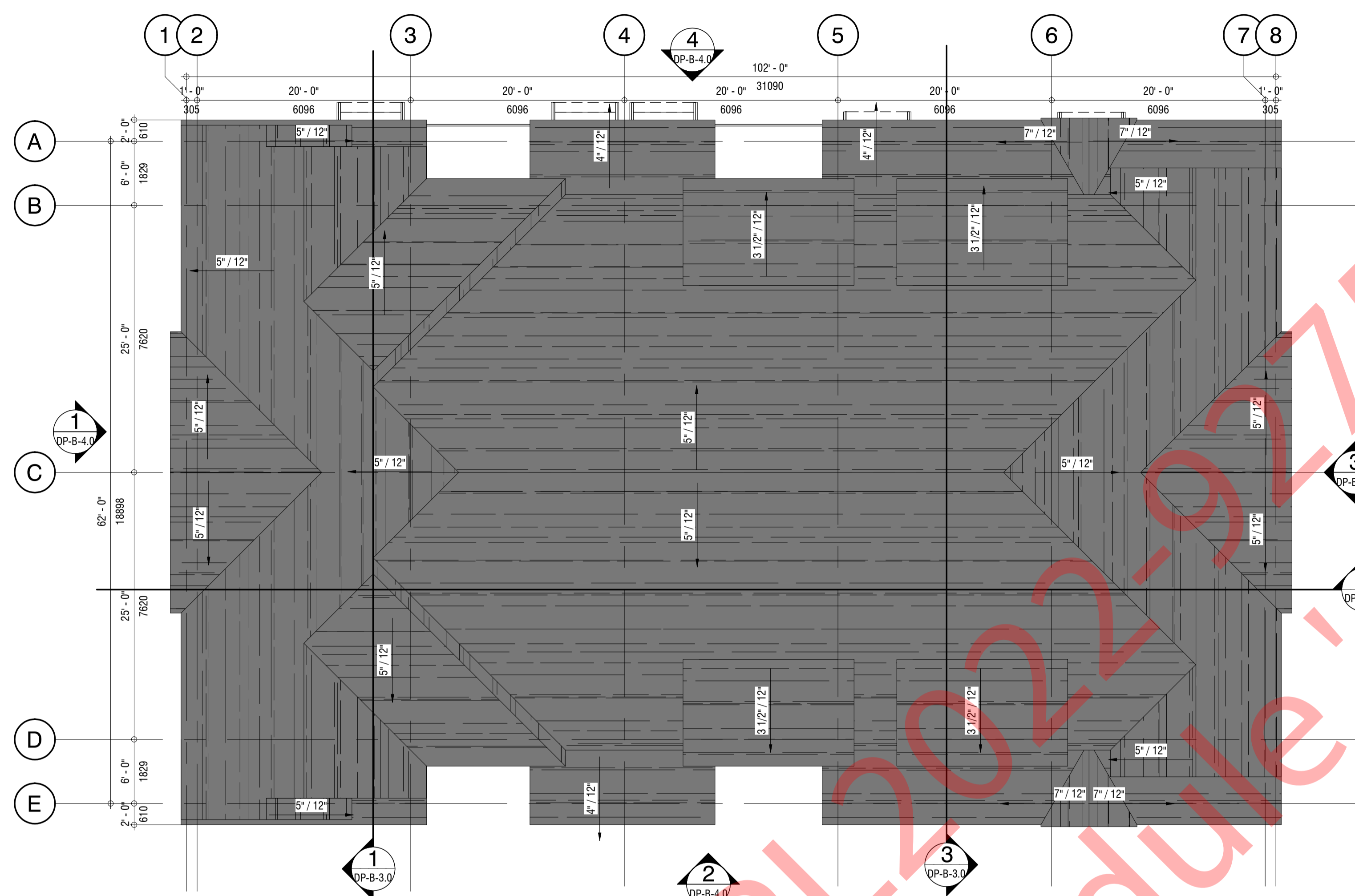
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1 Roof Plan
DP-B-2.1 SCALE: 1/8" = 1'-0"

DP-PL-2022-9275
Schedule 'A'

ROOF PLAN

PENTICTON TOWNHOMES - BLOCK B
435 Green Avenue W, Penticton BC, Penticton, B.C.
PORCHLIGHT INVESTMENTS
22/215



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1 OCP AND LAND USE REZONE- REVISION	2022-02-04
2 D.P. APPLICATION	2022-02-11
3 TPC RESPONSE	2022-03-28

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BLOCK C - FLOOR PLANS

PENTICTON TOWNHOMES - BLOCK C

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PORCHLIGHT INVESTMENTS

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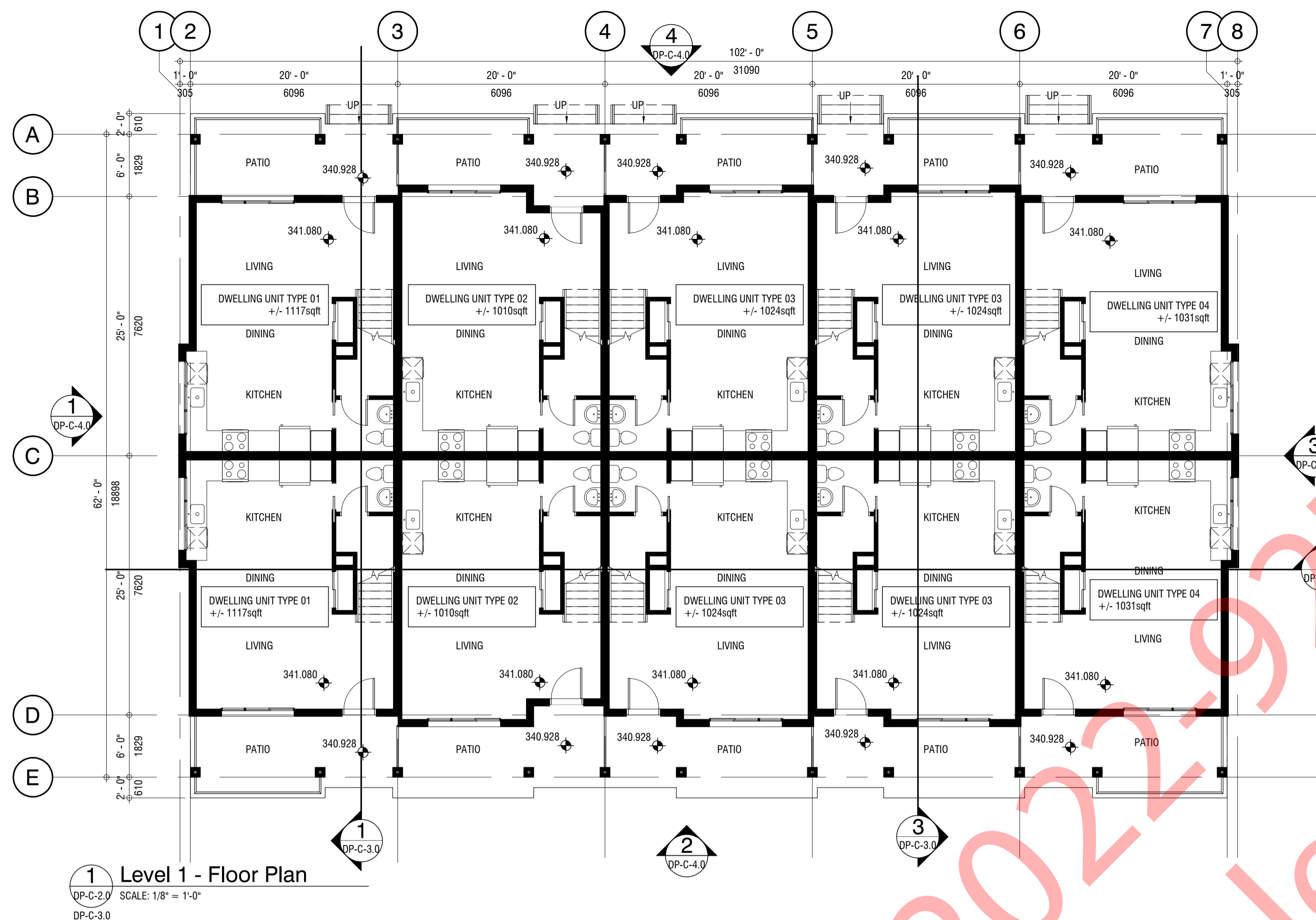
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1 OCP AND LAND USE REZONE- REVISION	2022-02-04
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3 TPC RESPONSE	2022-03-28

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DP-C-2.0





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BLOCK E AND F FLOOR PLANS

PENTICTON TOWNHOMES - BLOCK E AND F

435 Green Avenue W, Pentiction BC, Pentiction, B.C.

PORCHLIGHT INVESTMENTS

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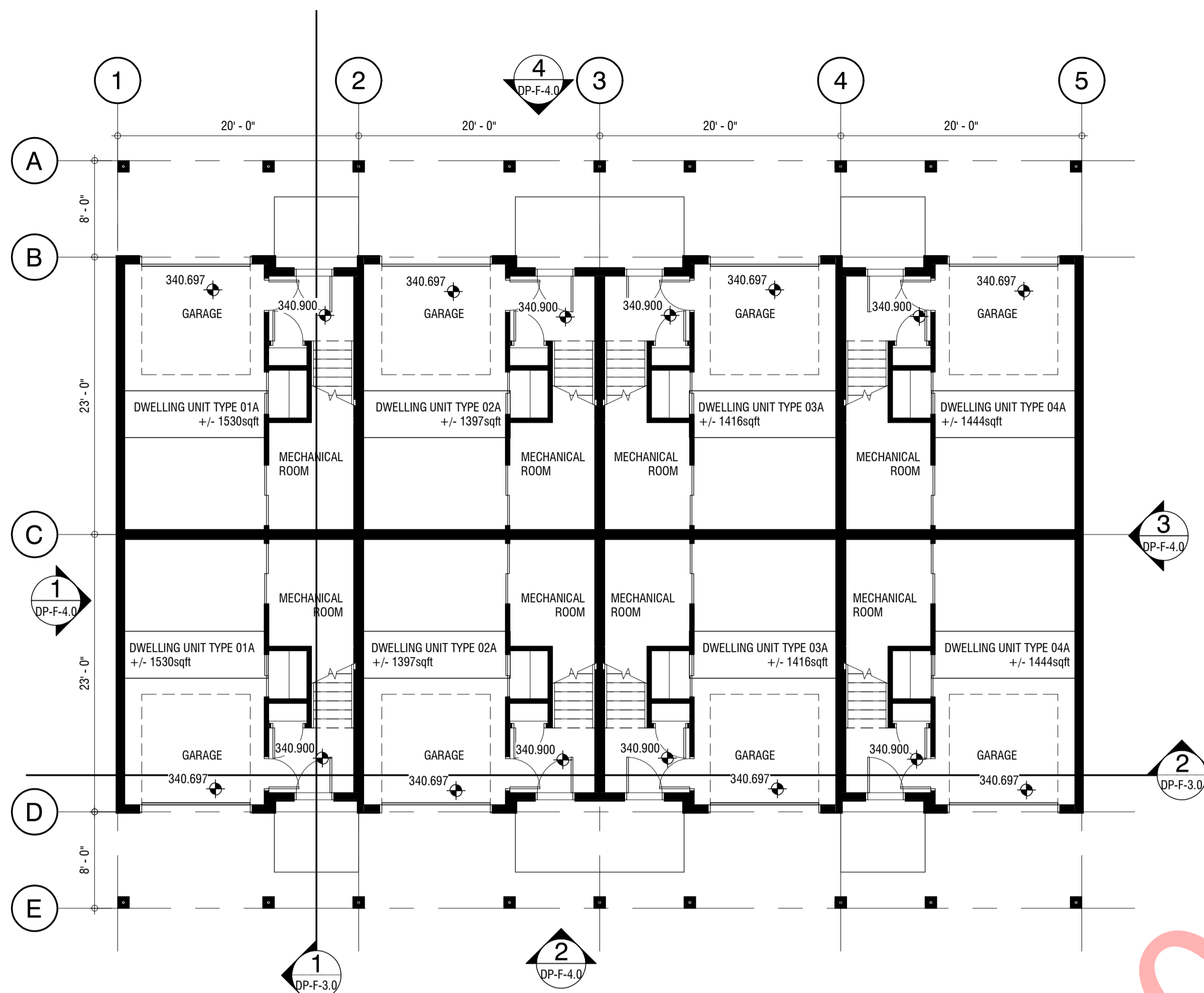
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3 TPC RESPONSE	2022-03-28

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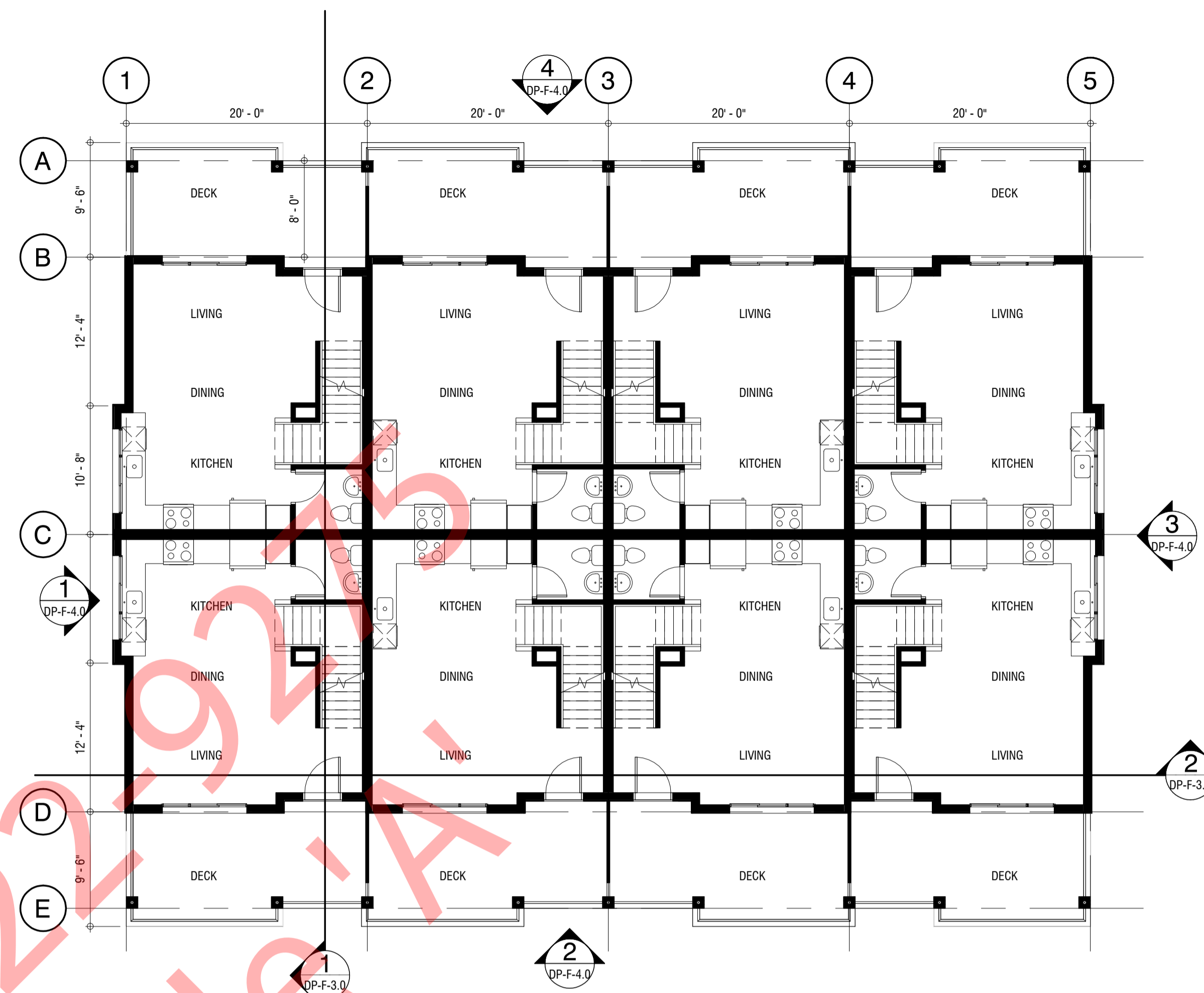
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DP-F-2.0



1 DP - Lower Level - Floor Plan

DP-F-2.0 SCALE: 1/8" = 1'-0"
DP-F-3.0



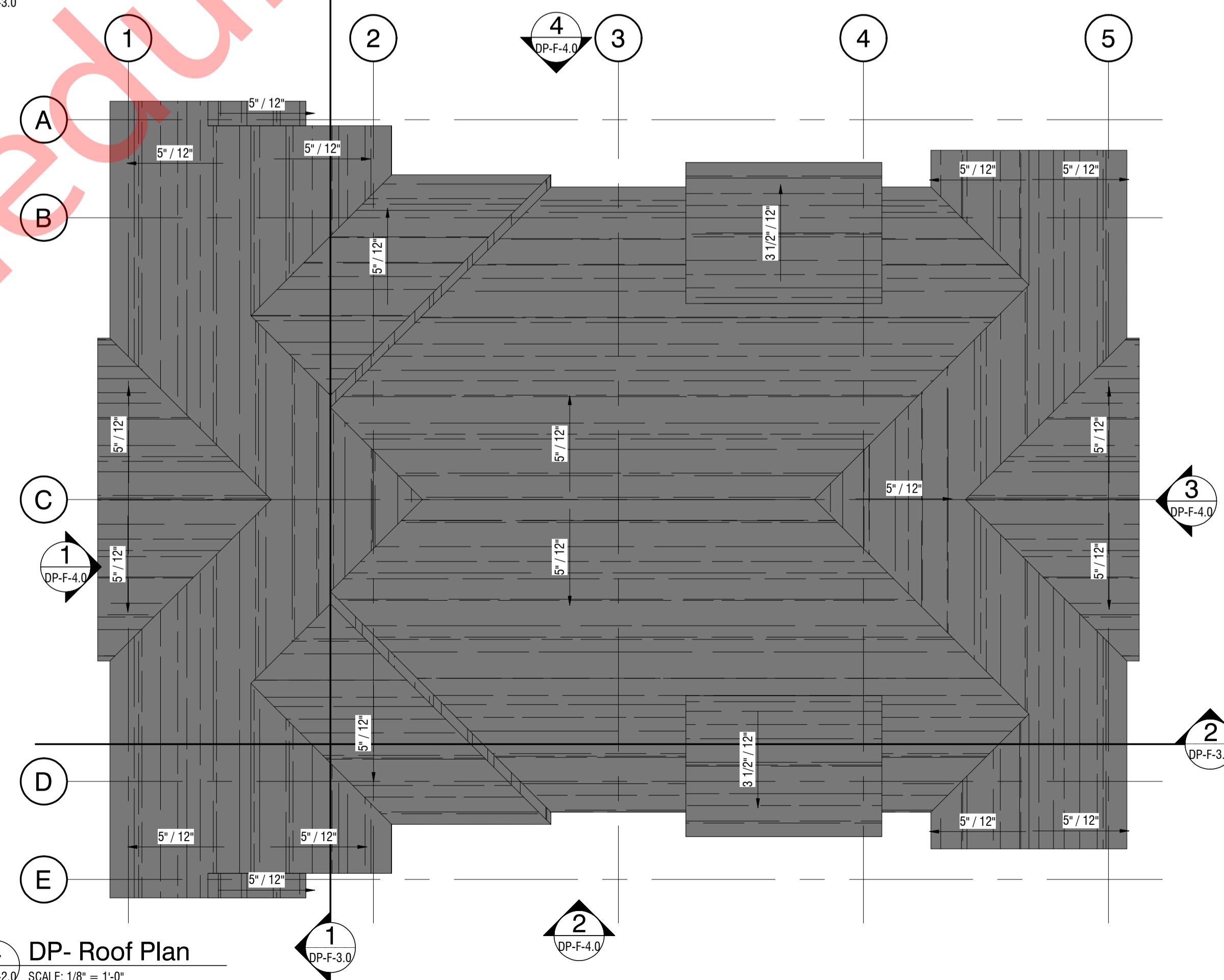
2 DP - Main Level - Floor Plan

DP-F-2.0 SCALE: 1/8" = 1'-0"
DP-F-3.0



3 Upper Level

DP-F-2.0 SCALE: 1/8" = 1'-0"
DP-F-3.0



4 DP- Roof Plan

DP-F-2.0 SCALE: 1/8" = 1'-0"
DP-F-3.0



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BLOCK G - FLOOR PLANS

PENTICTON TOWNHOMES - BLOCK G

435 Green Avenue W, Penticton BC, Penticton, B.C.
PORCHLIGHT INVESTMENTS
22/12/15



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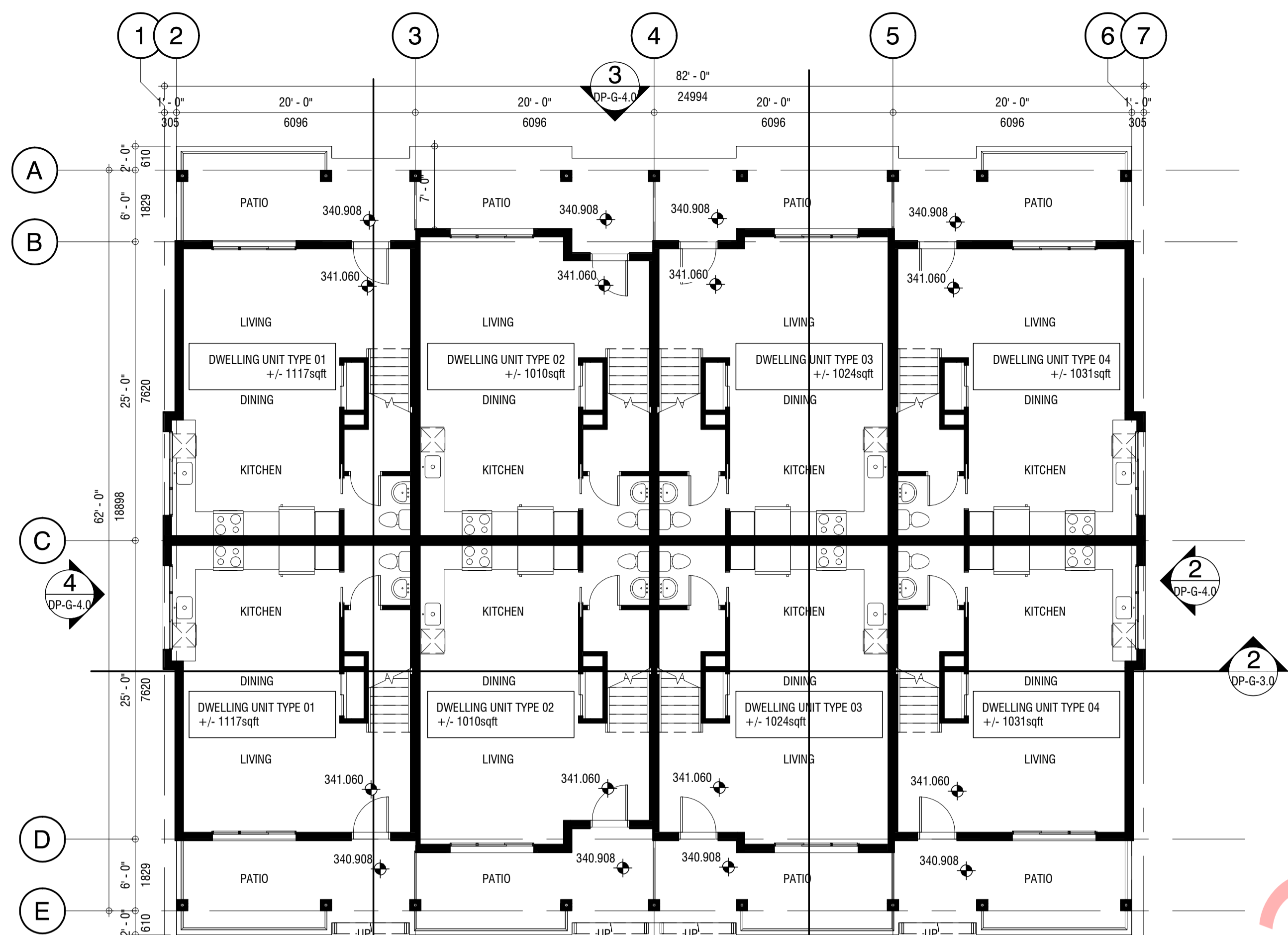
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1 OCP AND LAND USE	2022-02-04
2 REZONE- REVISION	
3 D.P. APPLICATION	2022-02-11
2 TPC RESPONSE	2022-03-28

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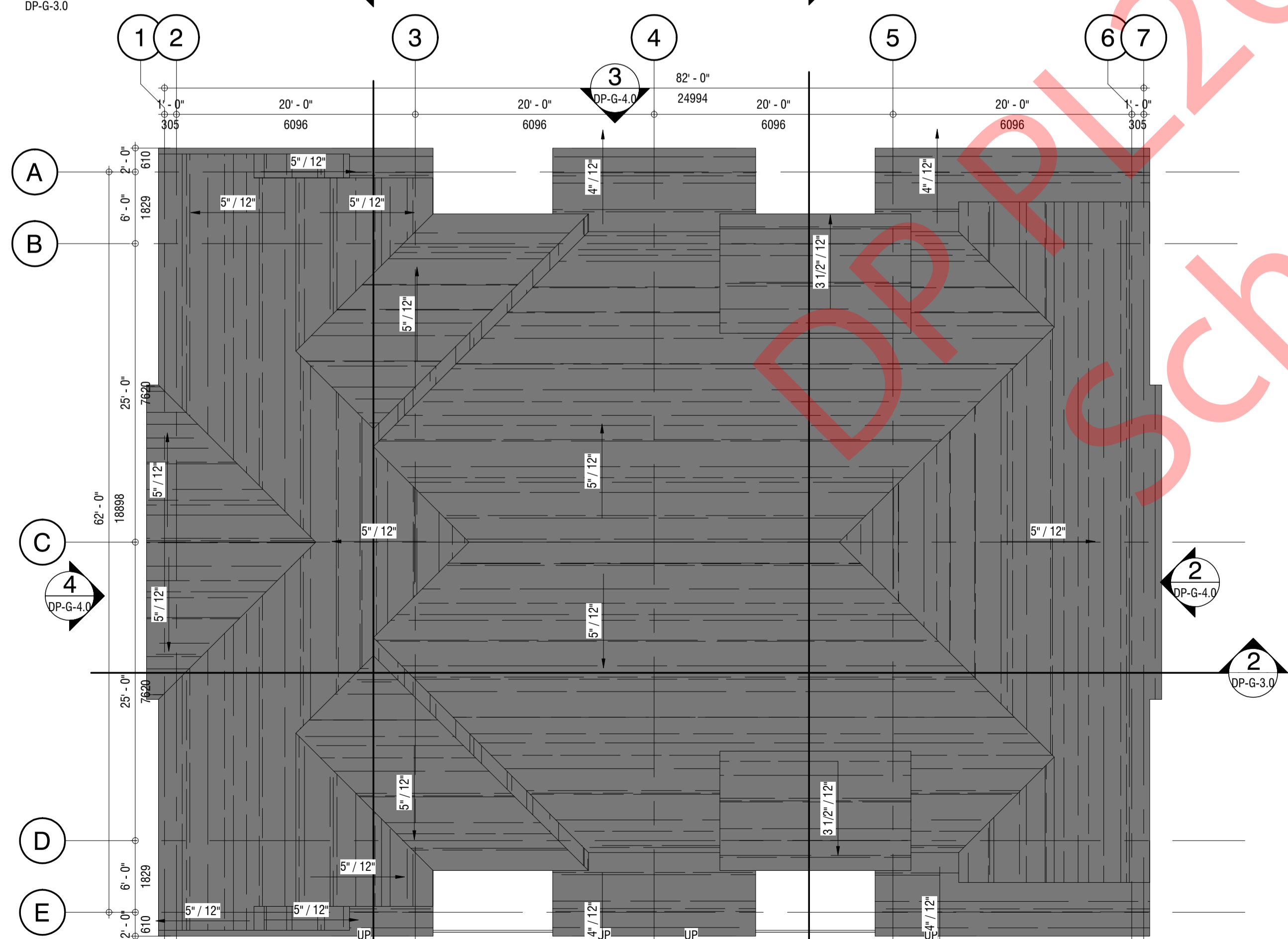
DP-G-2.0



1 Level 1 - Floor Plan
DP-G-2.0 SCALE: 1/8" = 1'-0"
DP-G-3.0



2 Level 2 - Floor Plan
DP-G-2.0 SCALE: 1/8" = 1'-0"
DP-G-3.0



3 Roof Plan
DP-G-2.0 SCALE: 1/8" = 1'-0"
DP-G-3.0



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BLOCK H - FLOOR PLANS

PENTICTON TOWNHOMES - BLOCK H

435 Green Avenue W, Penticton BC, Penticton, B.C.

PORCHLIGHT INVESTMENTS

221215



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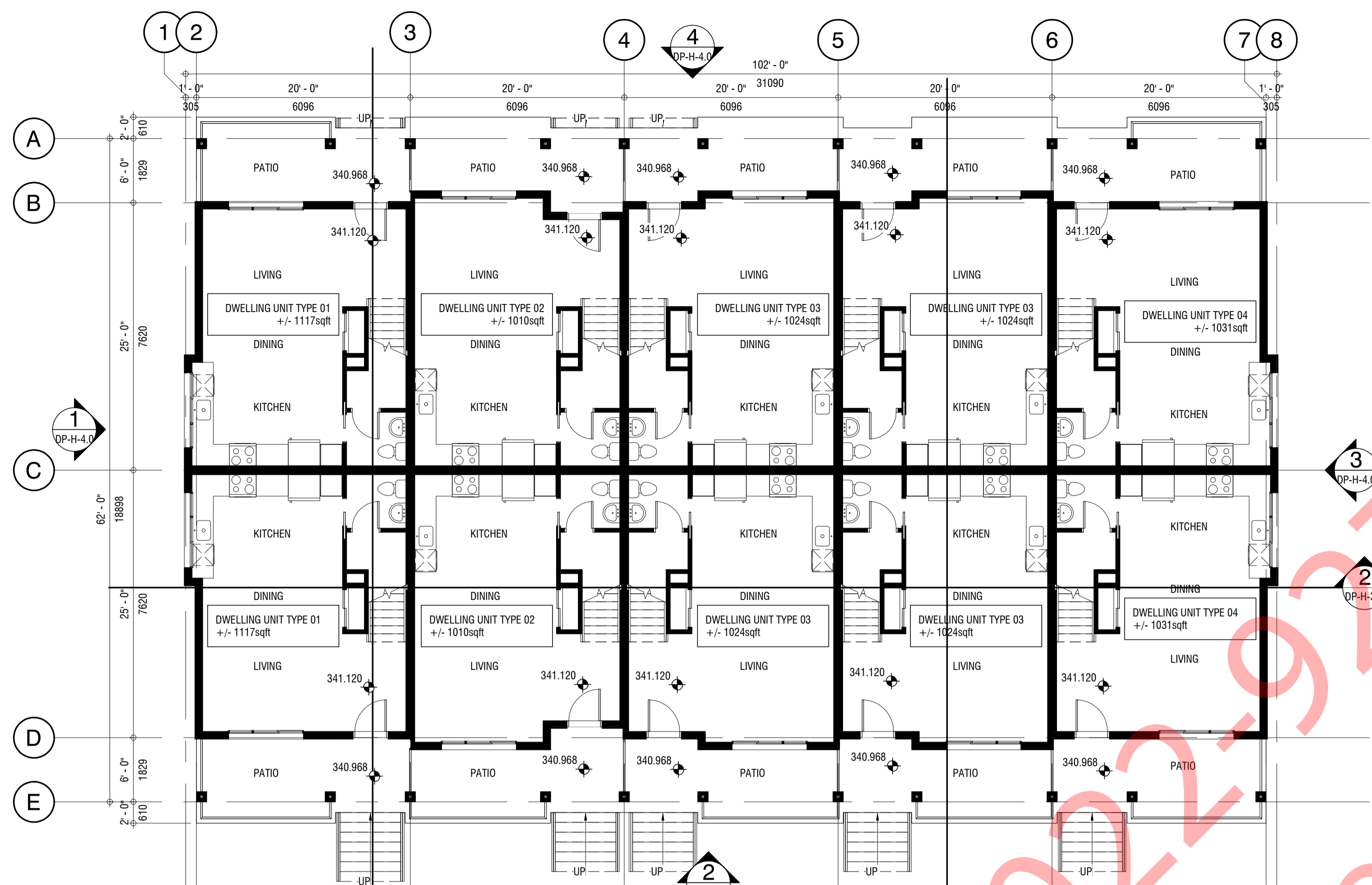
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REVISION	DATE
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2 D.P. APPLICATION	2022-02-11
3 TPC RESPONSE	2022-03-28

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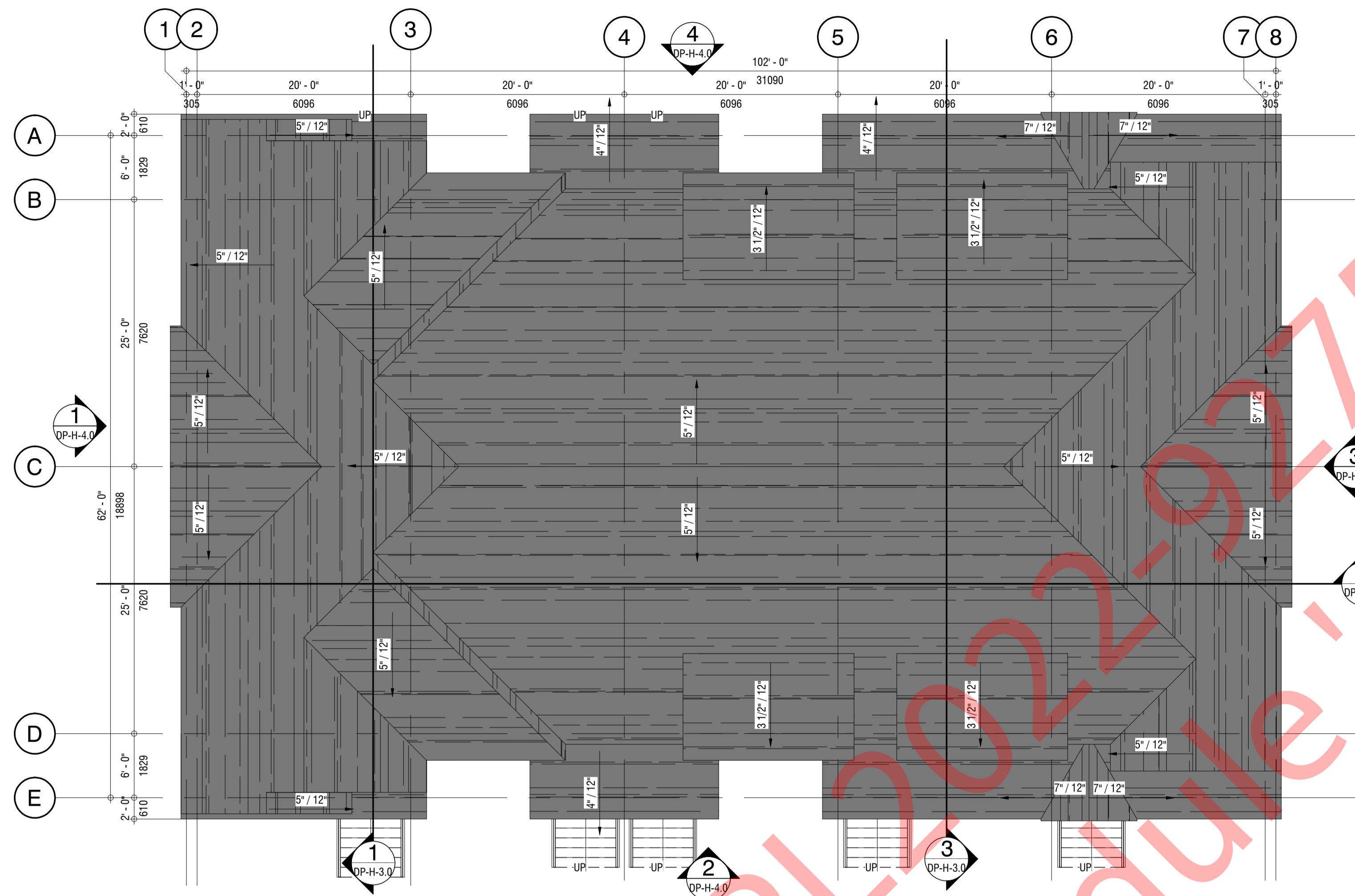
DRAWING NO.

DP-H-2.0





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1 Roof Plan
DP-H-2.1 SCALE: 1/8" = 1'-0"

DP-PL-2022-9275
Schedule 'A'

ROOF PLAN

PENTICTON TOWNHOMES - BLOCK H
435 Green Avenue W, Penticton BC, Penticton, B.C.
PORCHLIGHT INVESTMENTS
22/215



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REVISION	DATE
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2 D.P. APPLICATION	2022-02-11
3 TPC RESPONSE	2022-03-28

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DRAWING NO.
DP-H-2.1



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BLOCK I - FLOOR PLANS

PENTICTON TOWNHOMES - BLOCK I

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PORCHLIGHT INVESTMENTS
22/2/15



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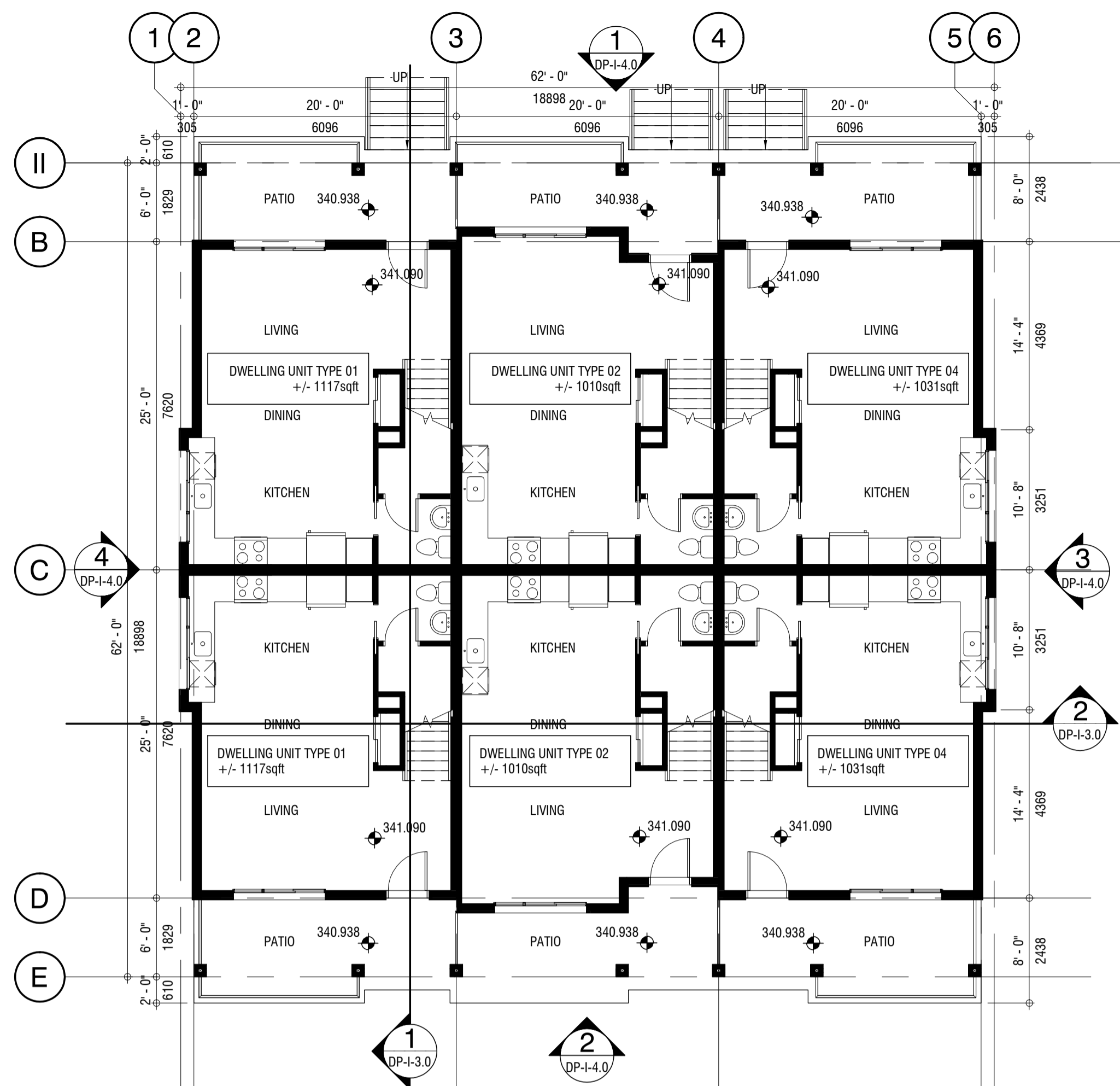
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REVISION	DATE
1 OCP AND LAND USE REZONE- REVISION	2022-02-04
2 D.P. APPLICATION	2022-02-11

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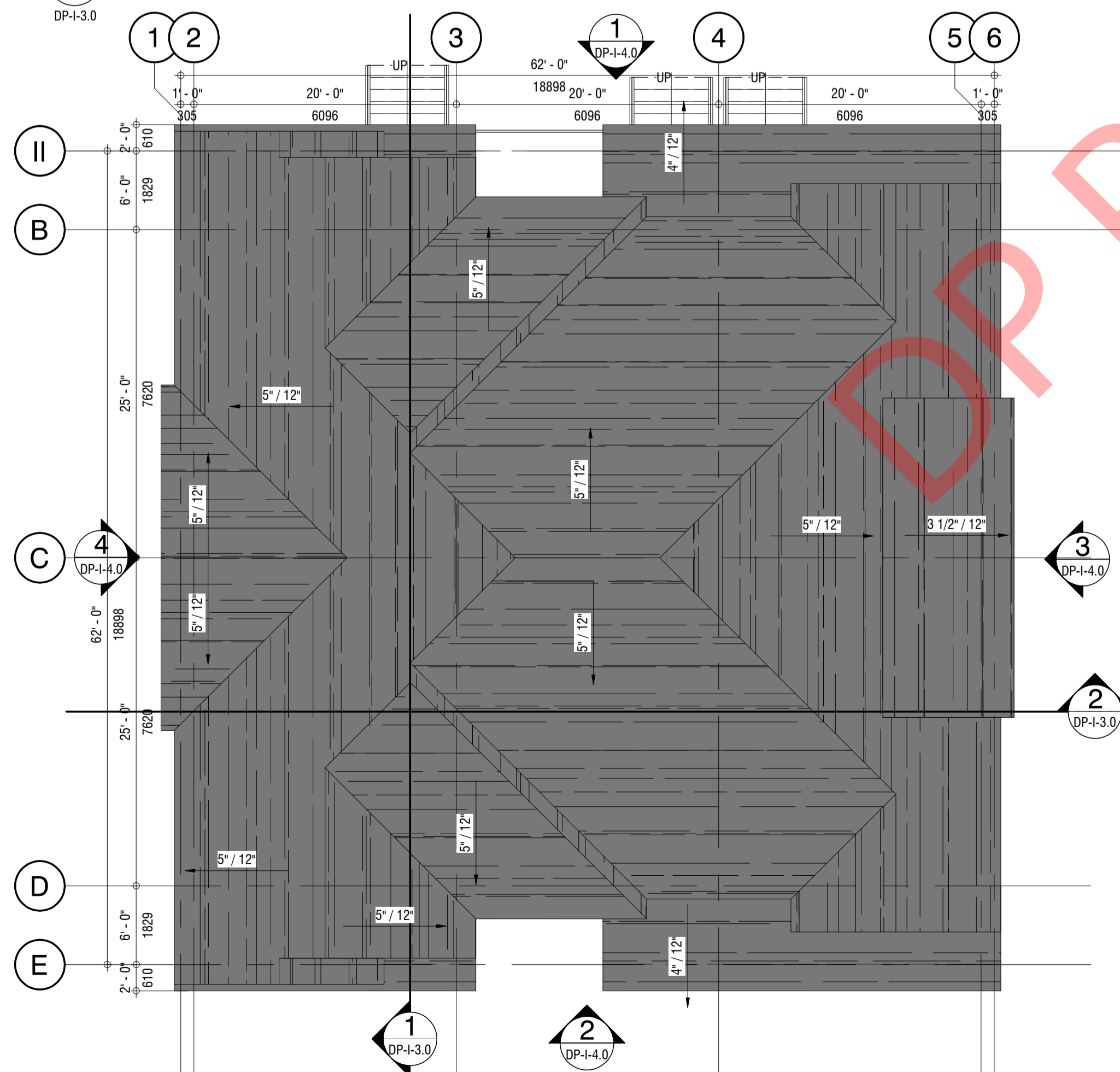
DRAWING NO. **DP-I-2.0**



1 Level 1 - Floor Plan
SCALE: 1/8" = 1'-0"



2 Level 2 - Floor Plan
SCALE: 1/8" = 1'-0"



3 Roof Plan
SCALE: 1/8" = 1'-0"

DP-PL2022-9275 Scheduling



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BLOCK J - FLOOR PLANS

PENTICTON TOWNHOMES - BLOCK J

435 Green Avenue W, Penticton BC, Penticton, B.C.
PORCHLIGHT INVESTMENTS

22/2/15



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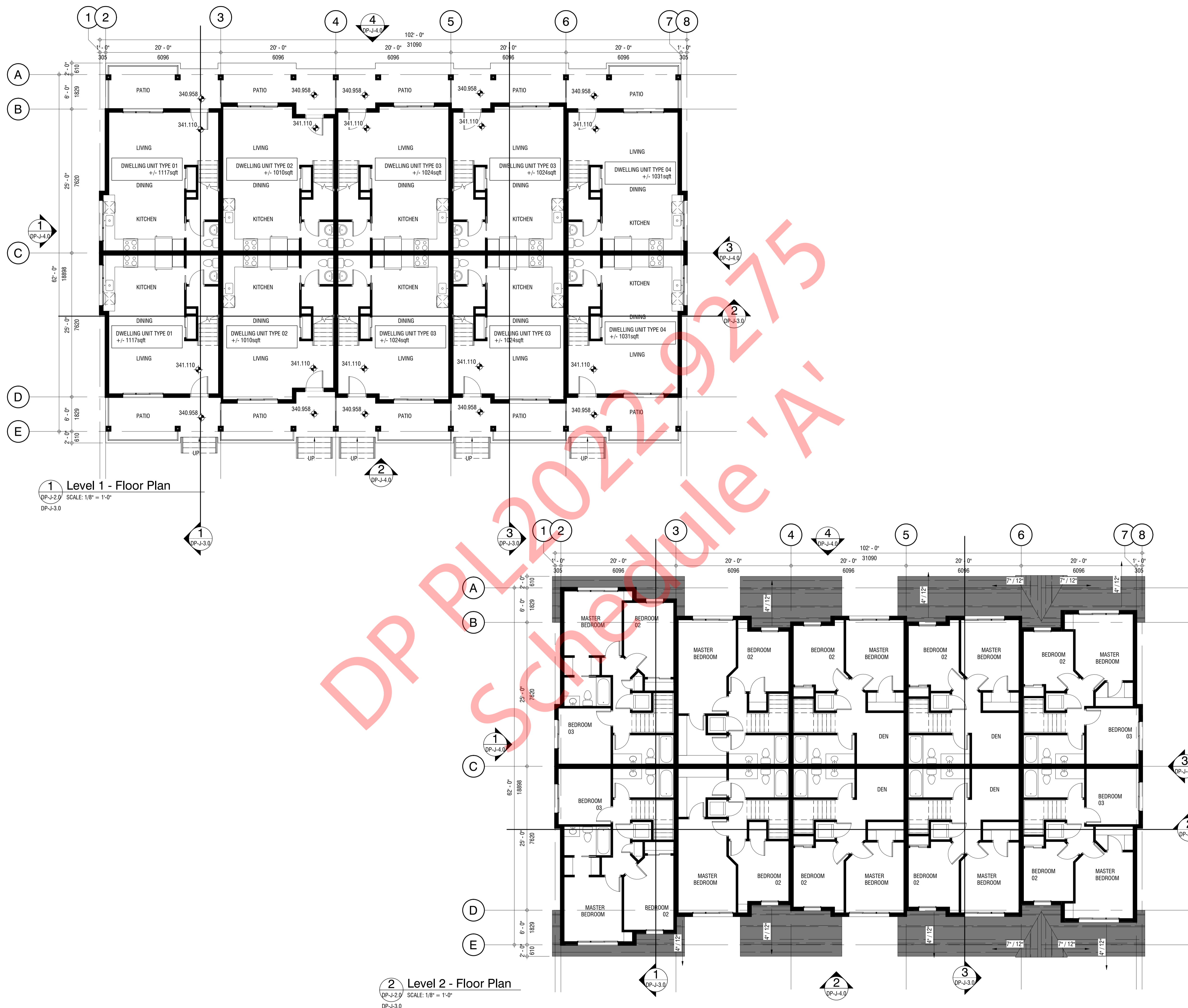
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REVISION	DATE
1 OCP AND LAND USE REZONE- REVISION	2022-02-04
2 D.P. APPLICATION	2022-02-11
3 TPC RESPONSE	2022-03-28

SCALE 1/8" = 1'-0"
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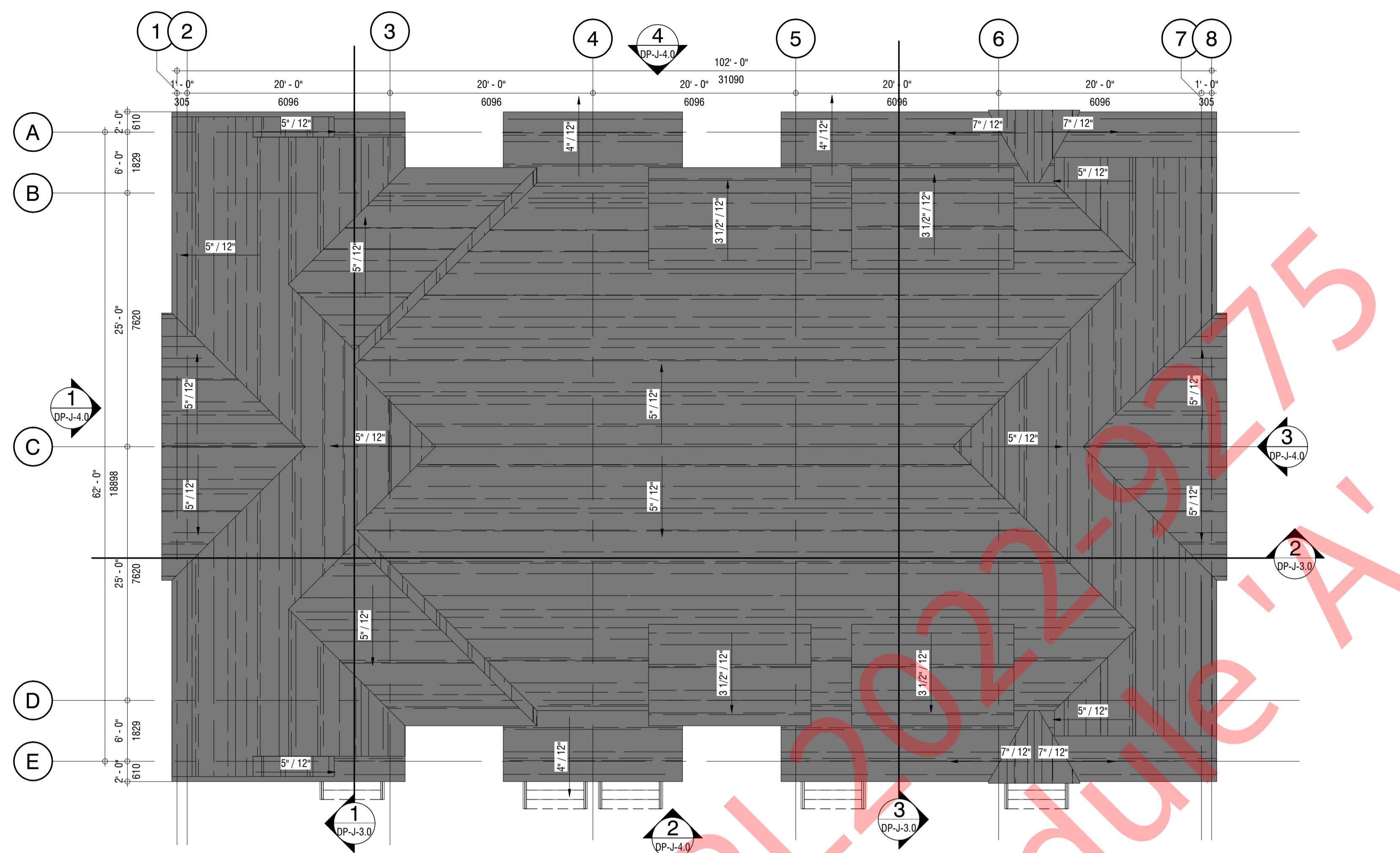
DRAWING NO.

DP-J-2.0





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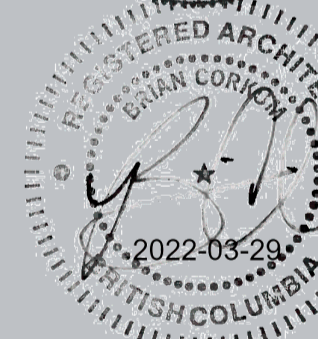


1 Roof Plan
DP-J-2.1 SCALE: 1/8" = 1'-0"

DP-PL-2022-9275
Schedule 'A'

ROOF PLAN

PENTICTON TOWNHOMES - BLOCK J
435 Green Avenue W, Penticton BC, Penticton, B.C.
PORCHLIGHT INVESTMENTS
22/215



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2 D.P. APPLICATION	2022-02-11
3 TPC RESPONSE	2022-03-28

SCALE 1/8" = 1'-0"
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DRAWING NO.
DP-J-2.1



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BLOCK A - ELEVATIONS

PENTICTON TOWNHOMES - BLOCK A
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PORCHLIGHT INVESTMENTS
22/12/15



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1 OCP AND LAND USE REZONE- REVISION	2022-02-04
2 D.P. APPLICATION	2022-02-11
3 TPC RESPONSE	2022-03-28

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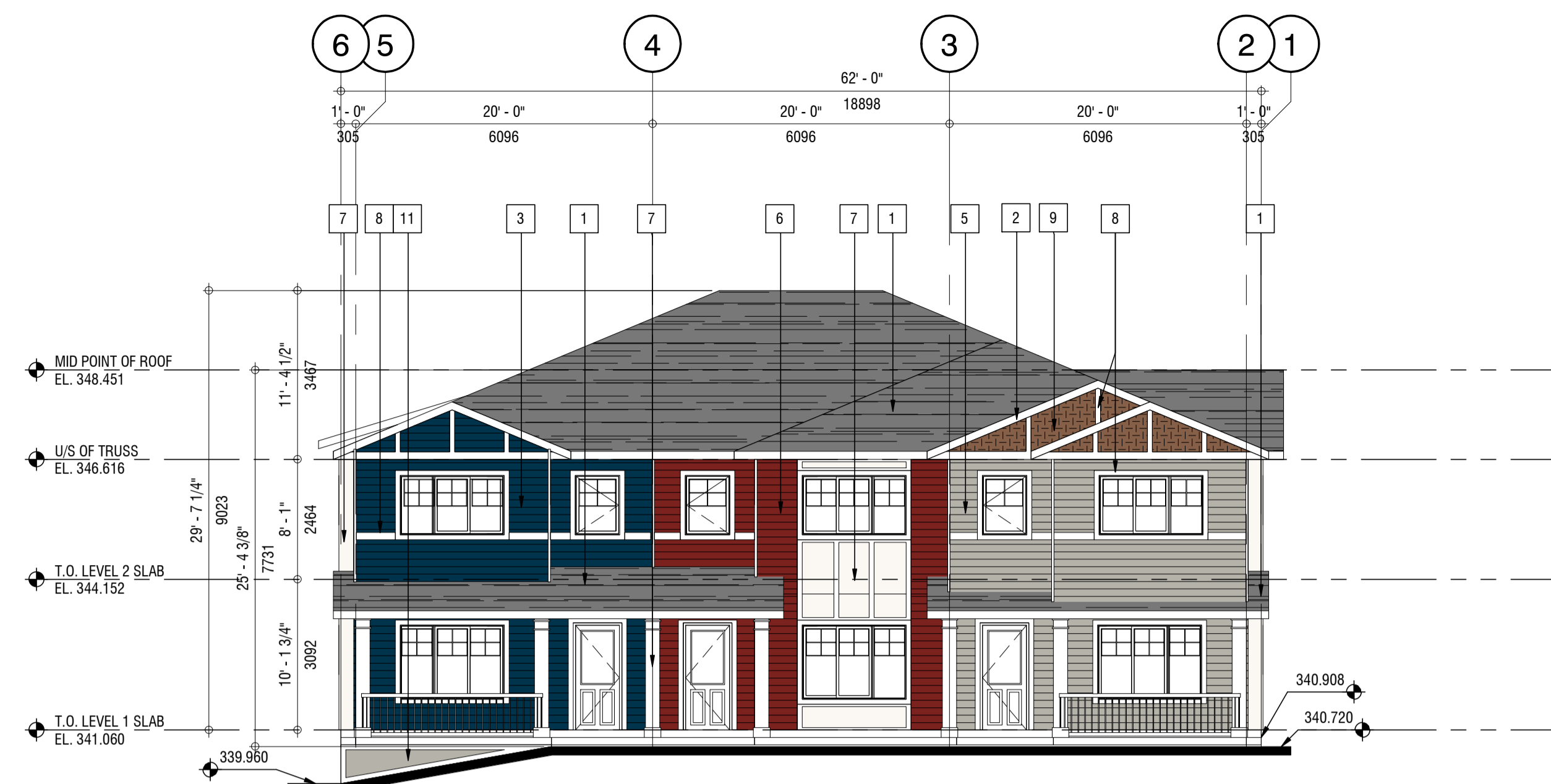
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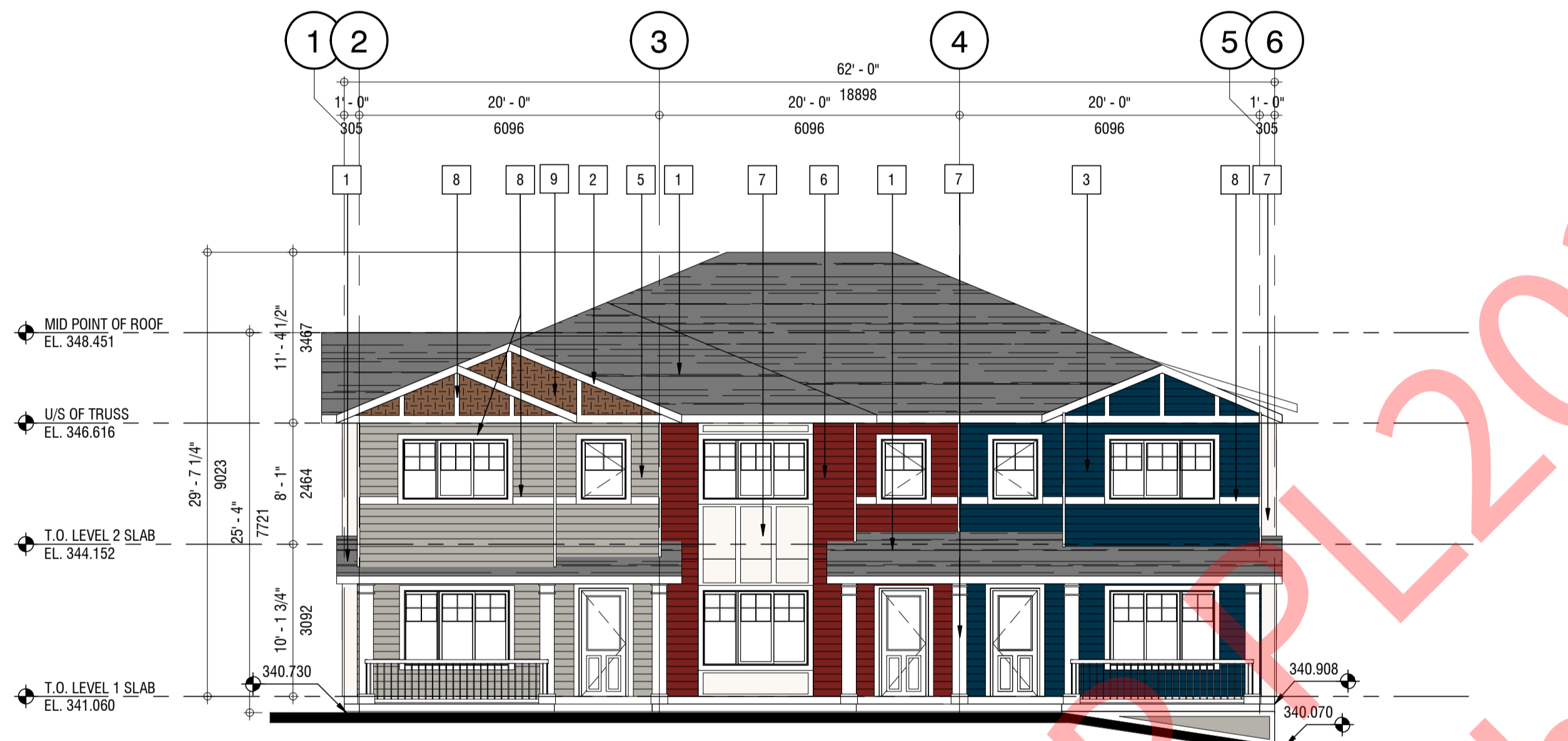
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- 1 ASPHALT ROOF SHINGLES - BLACK
- 2 METAL FASICA
- 3 FIBRE CEMENT LAP SIDING - BLUE
- 4 FIBRE CEMENT BOARD AND BATTEN SIDING - WHITE
- 5 FIBRE CEMENT LAP SIDING - GRAY
- 6 FIBRE CEMENT LAP SIDING - RED
- 7 FIBRE CEMENT PANEL - WHITE
- 8 SMARTBOARD TRIM- WHITE
- 9 FIBRE CEMENT SHINGLE SIDING - WOOD FINISH
- 10 FIBRE CEMENT LAP SIDING - WHITE
- 11 FIBRE CEMENT PANEL - GRAY

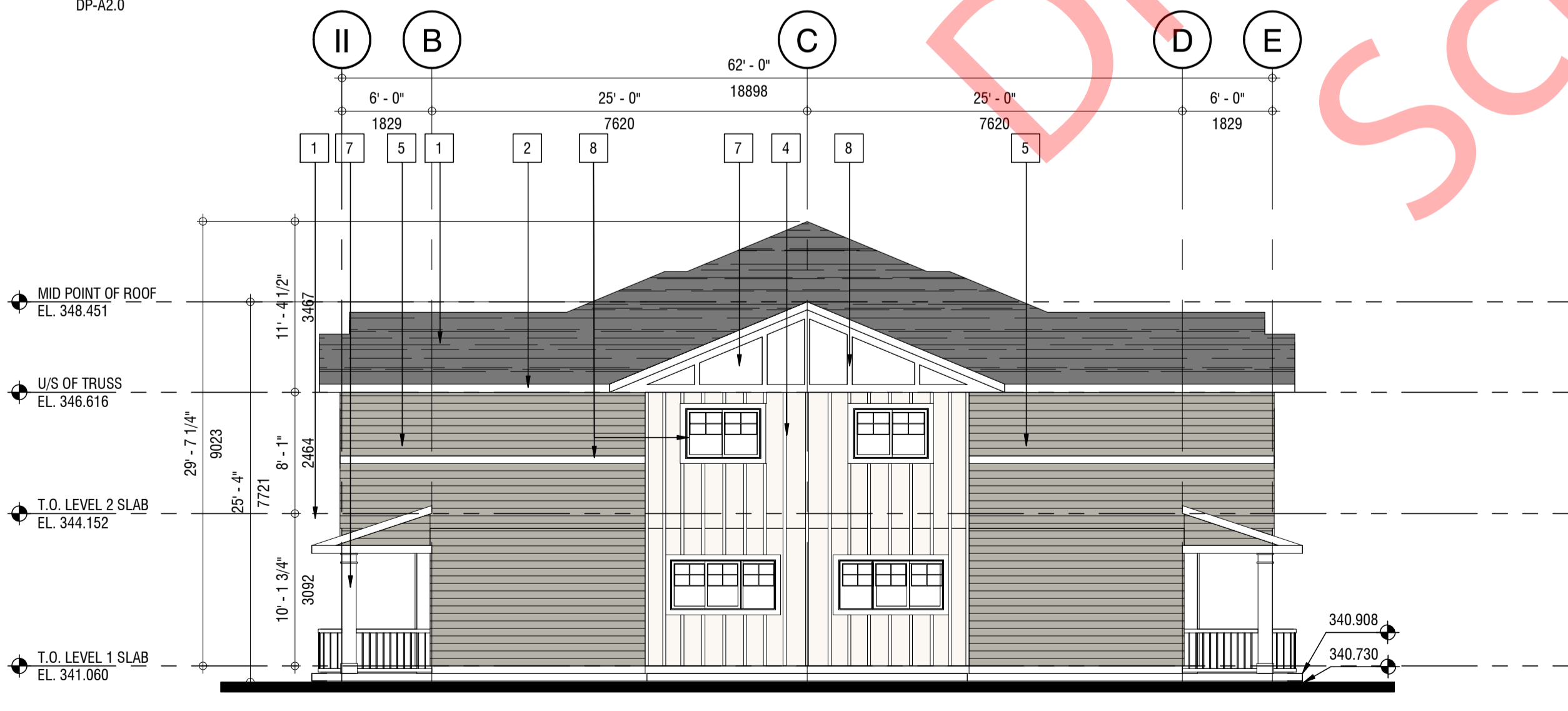
02 DP - Elevation - Code Legend
SCALE: 1/8" = 1'-0"



1 South Elevation
DP-A4.0 SCALE: 1/8" = 1'-0"
DP-A2.0



2 North Elevation
DP-A4.0 SCALE: 1/8" = 1'-0"
DP-A2.0



4 East Elevation
DP-A4.0 SCALE: 1/8" = 1'-0"
DP-A2.0



3 West Elevation
DP-A4.0 SCALE: 1/8" = 1'-0"
DP-A2.0



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BLOCK B - ELEVATIONS

PENTICTON TOWNHOMES - BLOCK B
435 Green Avenue W, Pentiction BC, Pentiction, B.C.
PORCHLIGHT INVESTMENTS
22/2/15



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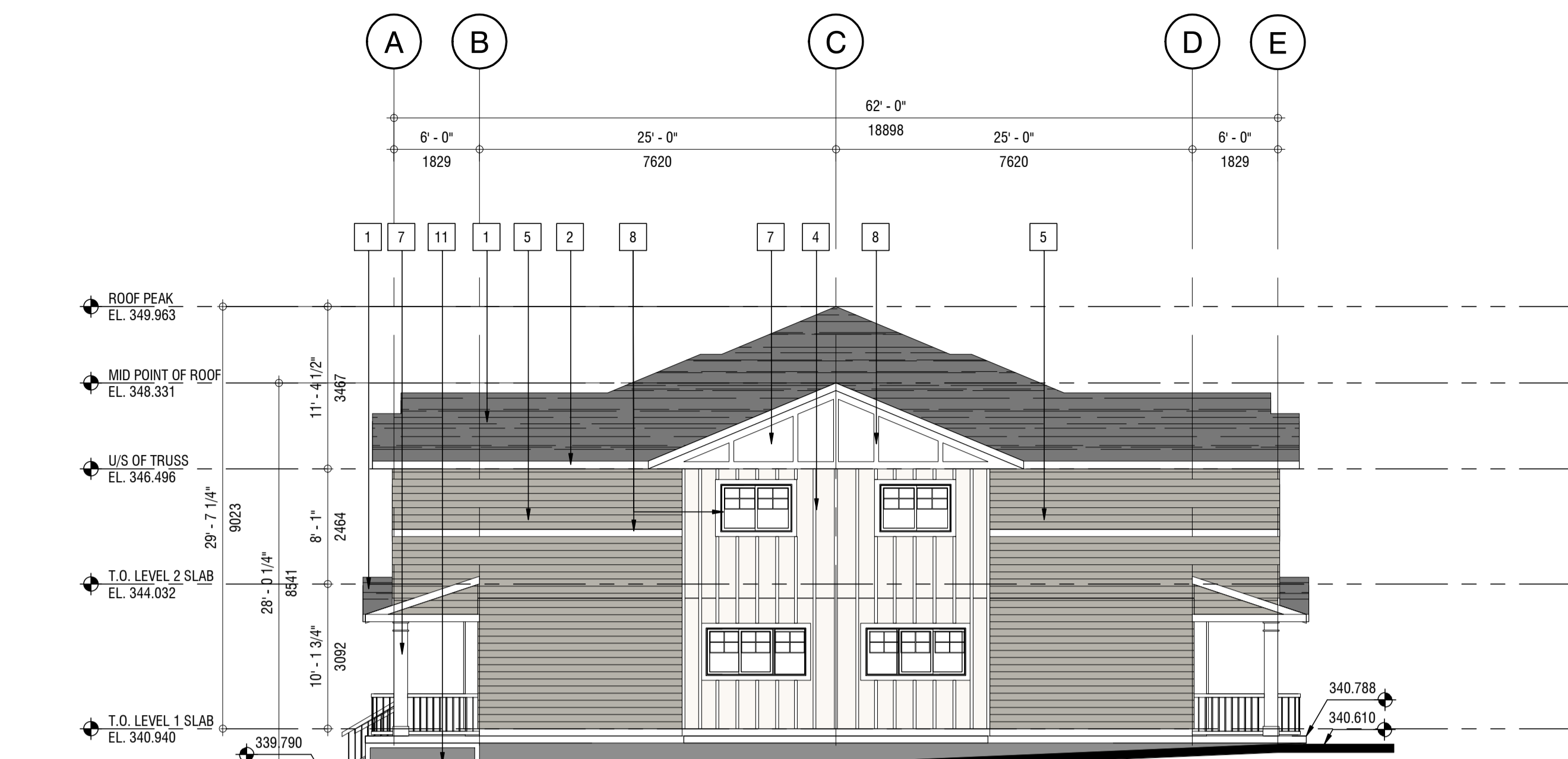
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1 OCP AND LAND USE REZONE- REVISION	2022-02-04
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3 TPC RESPONSE	2022-03-28

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DRAWING NO.

DP-B-4.0



1 South Elevation

DP-B-4.0 SCALE: 1/8" = 1'-0"
DP-B-2.0



3 North Elevation

DP-B-4.0 SCALE: 1/8" = 1'-0"
DP-B-2.0



2 East Elevation

DP-B-4.0 SCALE: 1/8" = 1'-0"
DP-B-2.0



4 West Elevation

DP-B-4.0 SCALE: 1/8" = 1'-0"
DP-B-2.0

Elevation - General Notes

1. ALL ALUMINUM SOFFT, EAVES & RAINWATER LEADERS TO BE WHITE
2. ALL PRE-FINISHED METAL FLASHING TO MATCH ADJACENT FINISH

02 DP - Elevation - General Notes

SCALE: 12" = 1'-0"

Elevation - Code Legend

- 1 ASPHALT ROOF SHINGLES - BLACK
- 2 METAL FASICA
- 3 FIBRE CEMENT LAP SIDING - BLUE
- 4 FIBRE CEMENT BOARD AND BATTEN SIDING - WHITE
- 5 FIBRE CEMENT LAP SIDING - GRAY
- 6 FIBRE CEMENT LAP SIDING - RED
- 7 FIBRE CEMENT PANEL - WHITE
- 8 SMARTBOARD TRIM- WHITE
- 9 FIBRE CEMENT SHINGLE SIDING - WOOD FINISH
- 10 FIBRE CEMENT LAP SIDING - WHITE
- 11 FIBRE CEMENT PANEL - GRAY

02 DP - Elevation - Code Legend

SCALE: 12" = 1'-0"



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BLOCK C - ELEVATIONS

PENTICTON TOWNHOMES - BLOCK C
 435 Green Avenue W, Penticton BC, Penticton, B.C.
 PORCHLIGHT INVESTMENTS
 22/12/15



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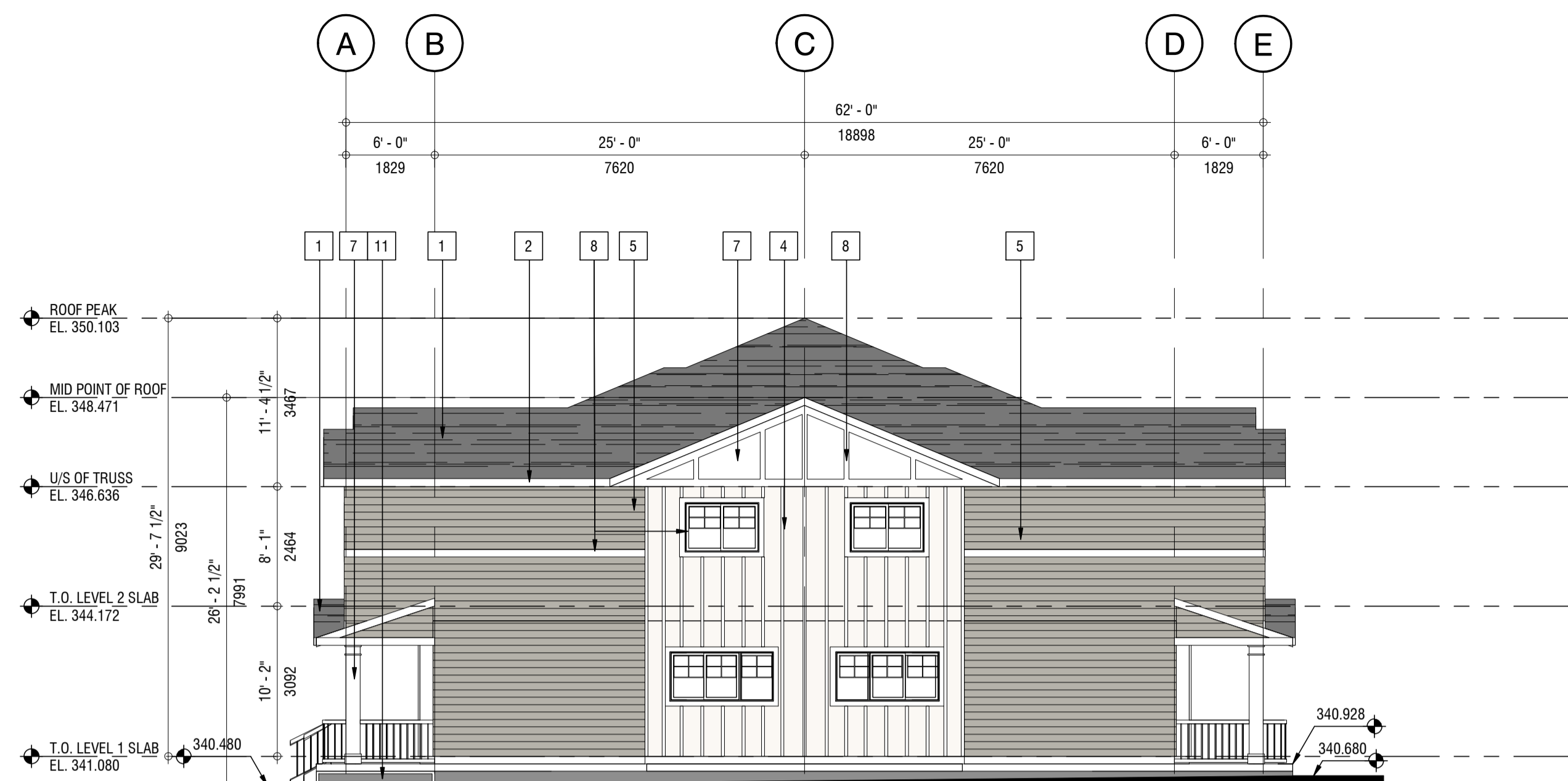
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REVISION	DATE
1 OCP AND LAND USE REZONE- REVISION	2022-02-04
2 D.P. APPLICATION	2022-02-11
3 TPC RESPONSE	2022-03-28

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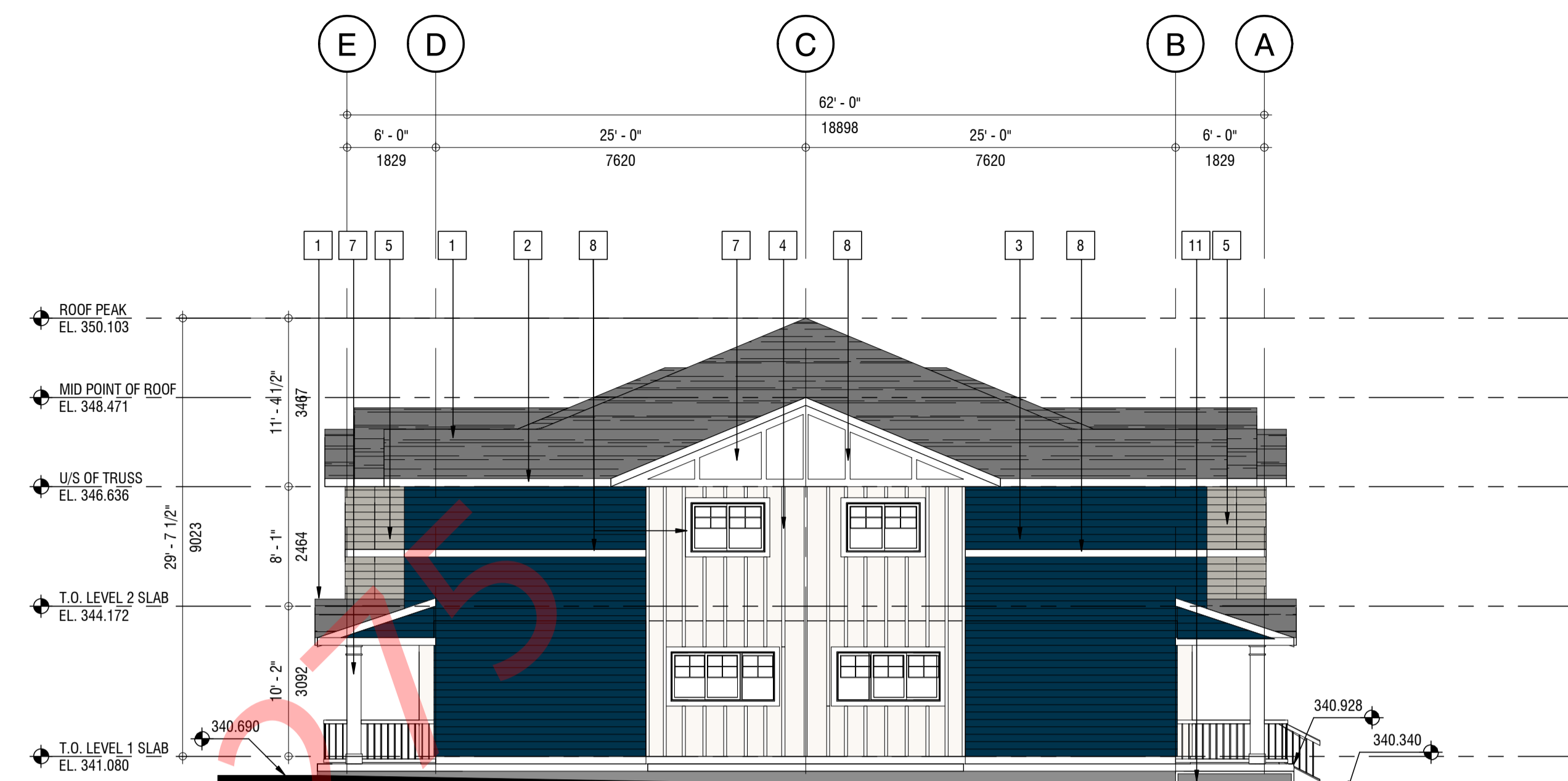
DRAWING NO.

DP-C-4.0



1 South Elevation

DP-C-4.0 SCALE: 1/8" = 1'-0"
 DP-C-2.0



3 North Elevation

DP-C-4.0 SCALE: 1/8" = 1'-0"
 DP-C-2.0

Elevation - General Notes

- ALL ALUMINUM SOFFT, EAVES & RAINWATER LEADERS TO BE WHITE
- ALL PRE-FINISHED METAL FLASHING TO MATCH ADJACENT FINISH

02 DP - Elevation - General Notes
 SCALE: 12" = 1'-0"

Elevation - Code Legend

1	ASPHALT ROOF SHINGLES - BLACK
2	METAL FASICA
3	FIBRE CEMENT LAP SIDING - BLUE
4	FIBRE CEMENT BOARD AND BATTEN SIDING - WHITE
5	FIBRE CEMENT LAP SIDING - GRAY
6	FIBRE CEMENT LAP SIDING - RED
7	FIBRE CEMENT PANEL - WHITE
8	SMARTBOARD TRIM- WHITE
9	FIBRE CEMENT SHINGLE SIDING - WOOD FINISH
10	FIBRE CEMENT LAP SIDING - WHITE
11	FIBRE CEMENT PANEL - GRAY

02 DP - Elevation - Code Legend
 SCALE: 12" = 1'-0"



2 East Elevation

DP-C-4.0 SCALE: 1/8" = 1'-0"
 DP-C-2.0



4 West Elevation

DP-C-4.0 SCALE: 1/8" = 1'-0"
 DP-C-2.0



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BLOCK D - ELEVATIONS

PENTICTON TOWNHOMES - BLOCK D
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PORCHLIGHT INVESTMENTS
22/215



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REVISION	DATE
1 OCP AND LAND USE REZONE- REVISION	2022-02-04
2 D.P. APPLICATION	2022-02-11
3 TPC RESPONSE	2022-03-28

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DATE 3/28/2022 11:42:29 AM
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DRAWING NO.

DP-D-4.0

Elevation - General Notes

1. ALL ALUMINUM SOFFT, EAVES & RAINWATER LEADERS TO BE DARK GREY
2. ALL PRE-FINISHED METAL FLASHING TO MATCH ADJACENT FINISH

02 DP - Elevation - General Notes

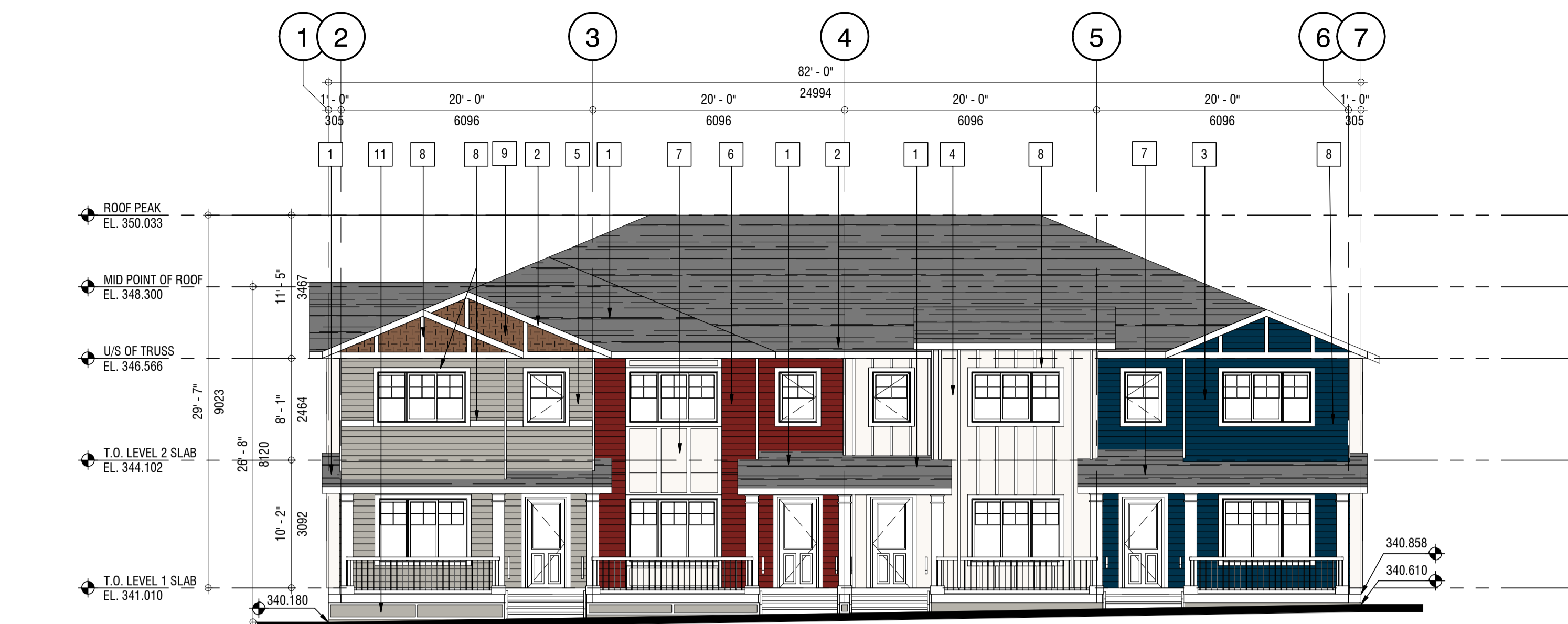
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Elevation - Code Legend

- 1 ASPHALT ROOF SHINGLES - BLACK
- 2 METAL FASICA
- 3 FIBRE CEMENT LAP SIDING - BLUE
- 4 FIBRE CEMENT BOARD AND BATTEN SIDING - WHITE
- 5 FIBRE CEMENT LAP SIDING - GRAY
- 6 FIBRE CEMENT LAP SIDING - RED
- 7 FIBRE CEMENT PANEL - WHITE
- 8 SMARTBOARD TRIM- WHITE
- 9 FIBRE CEMENT SHINGLE SIDING - WOOD FINISH
- 10 FIBRE CEMENT LAP SIDING - WHITE
- 11 FIBRE CEMENT PANEL - GRAY

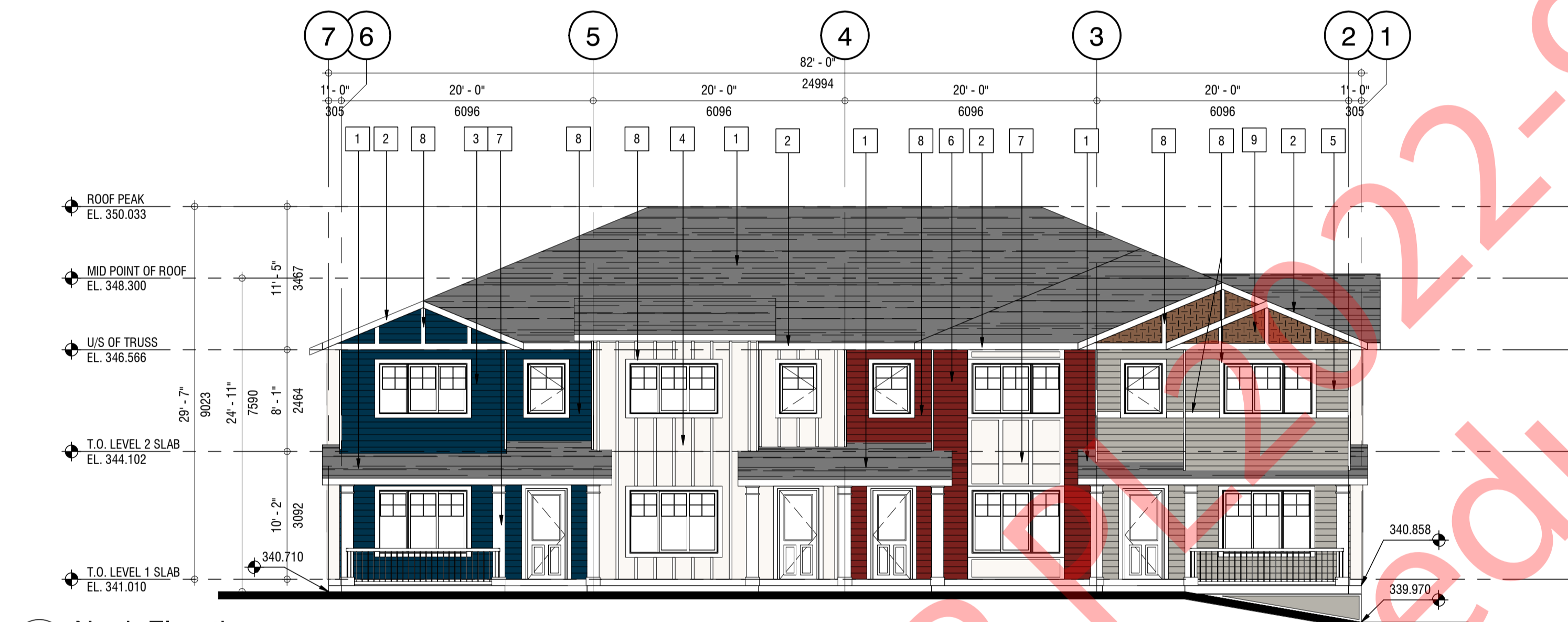
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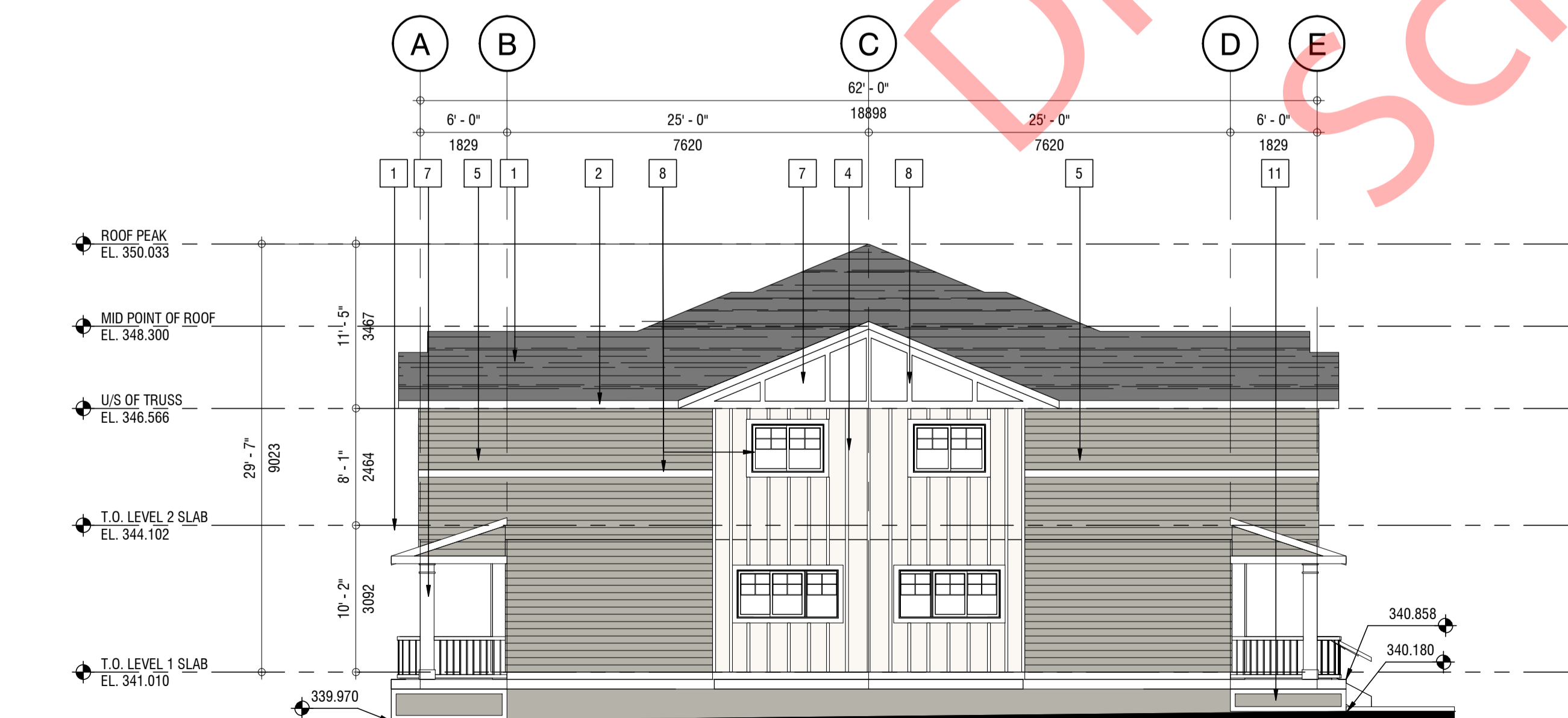
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DP-D-2.0



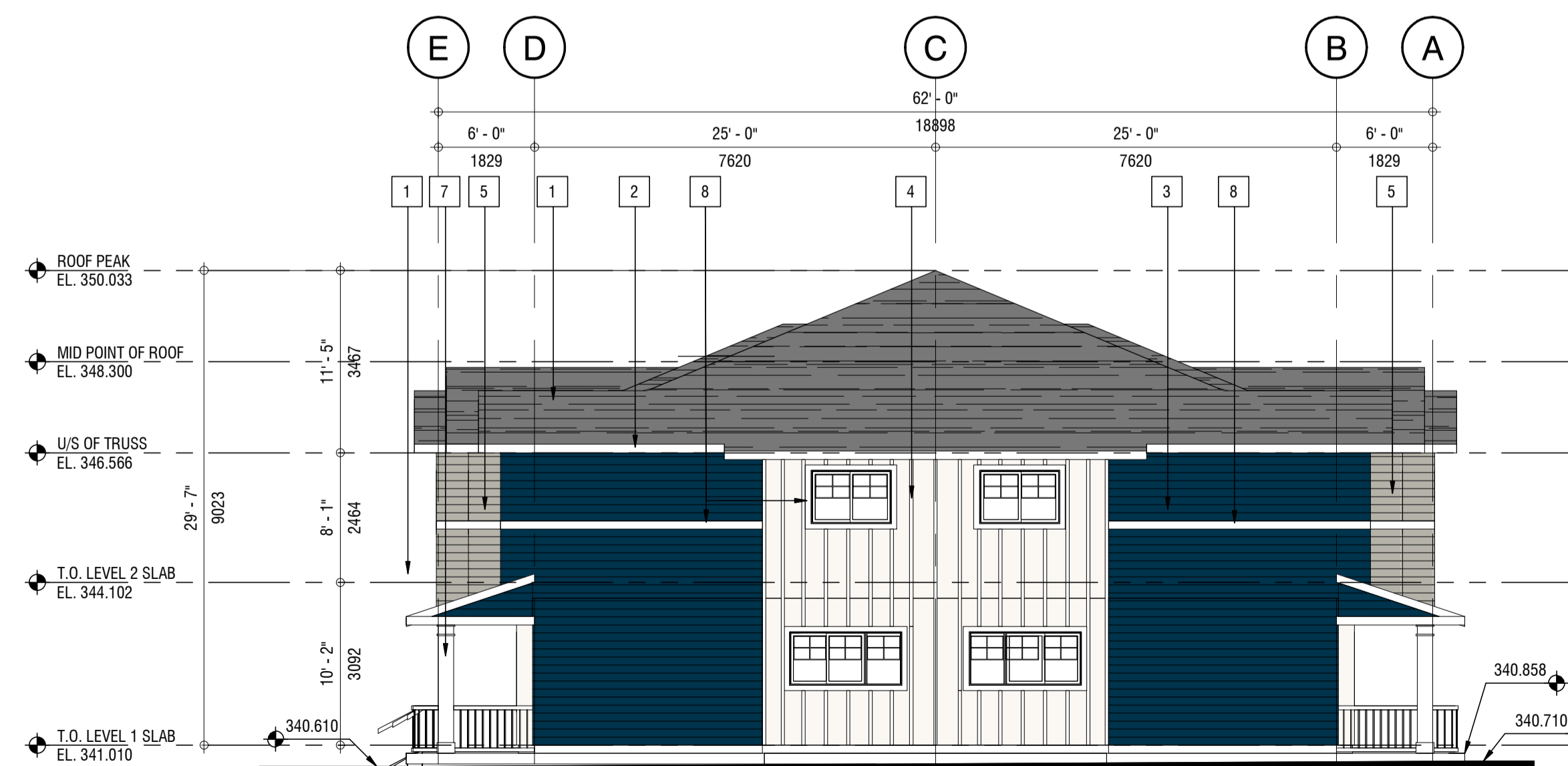
3 North Elevation

DP-D-4.0 SCALE: 1/8" = 1'-0"
DP-D-2.0



4 West Elevation

DP-D-4.0 SCALE: 1/8" = 1'-0"
DP-D-2.0



2 East Elevation

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DP-D-2.0

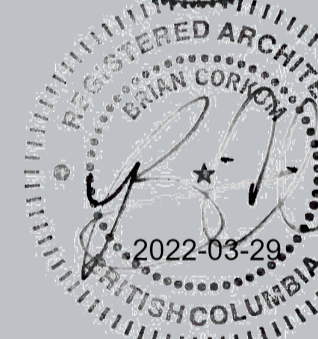
DP-PL2022-9275 Schedule 'A'



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BLOCK E AND F ELEVATIONS

PENTICTON TOWNHOMES - BLOCK E AND F
435 Green Avenue W, Penticton BC, Penticton, B.C.
PORCHLIGHT INVESTMENTS
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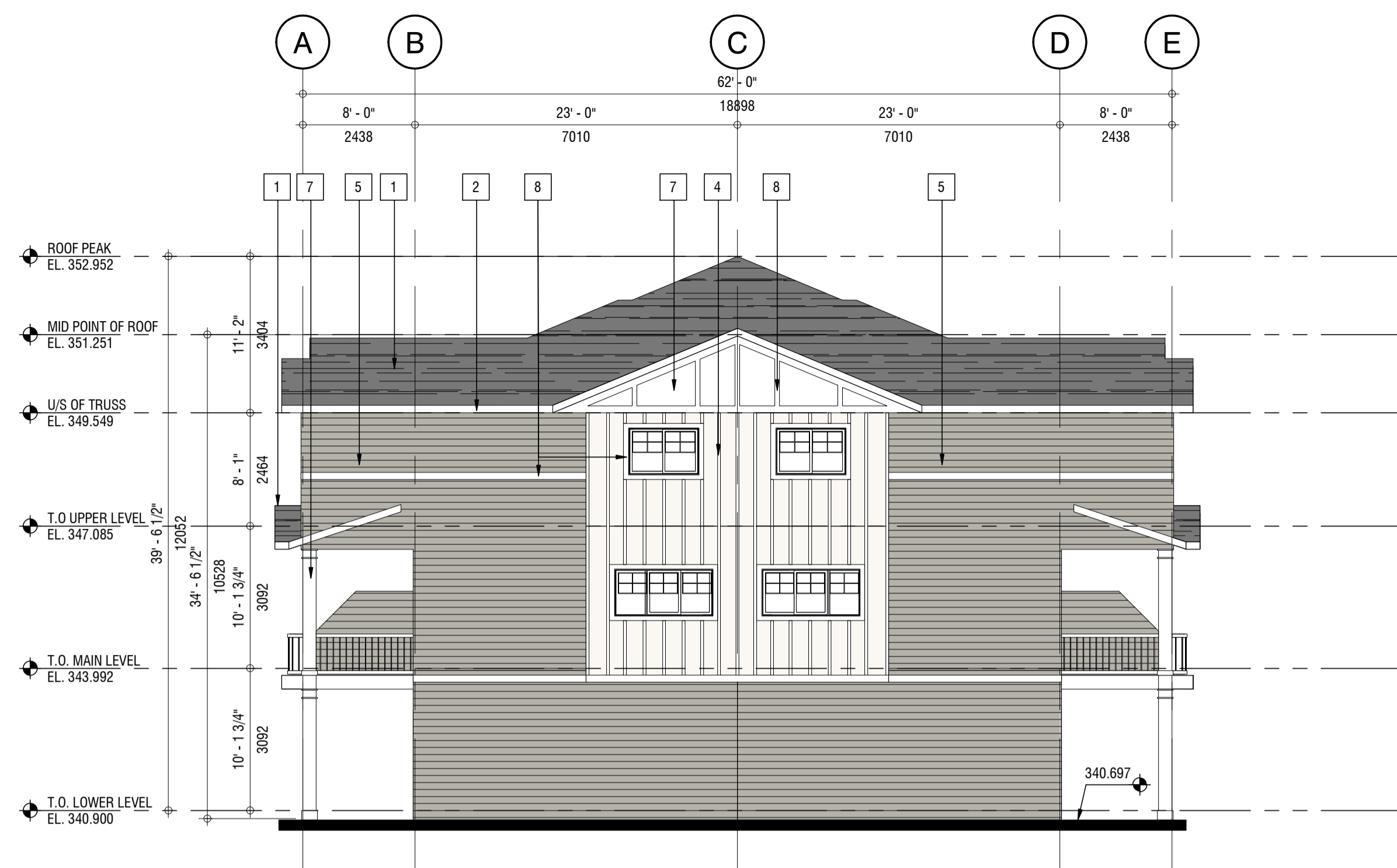
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DP-F-4.0



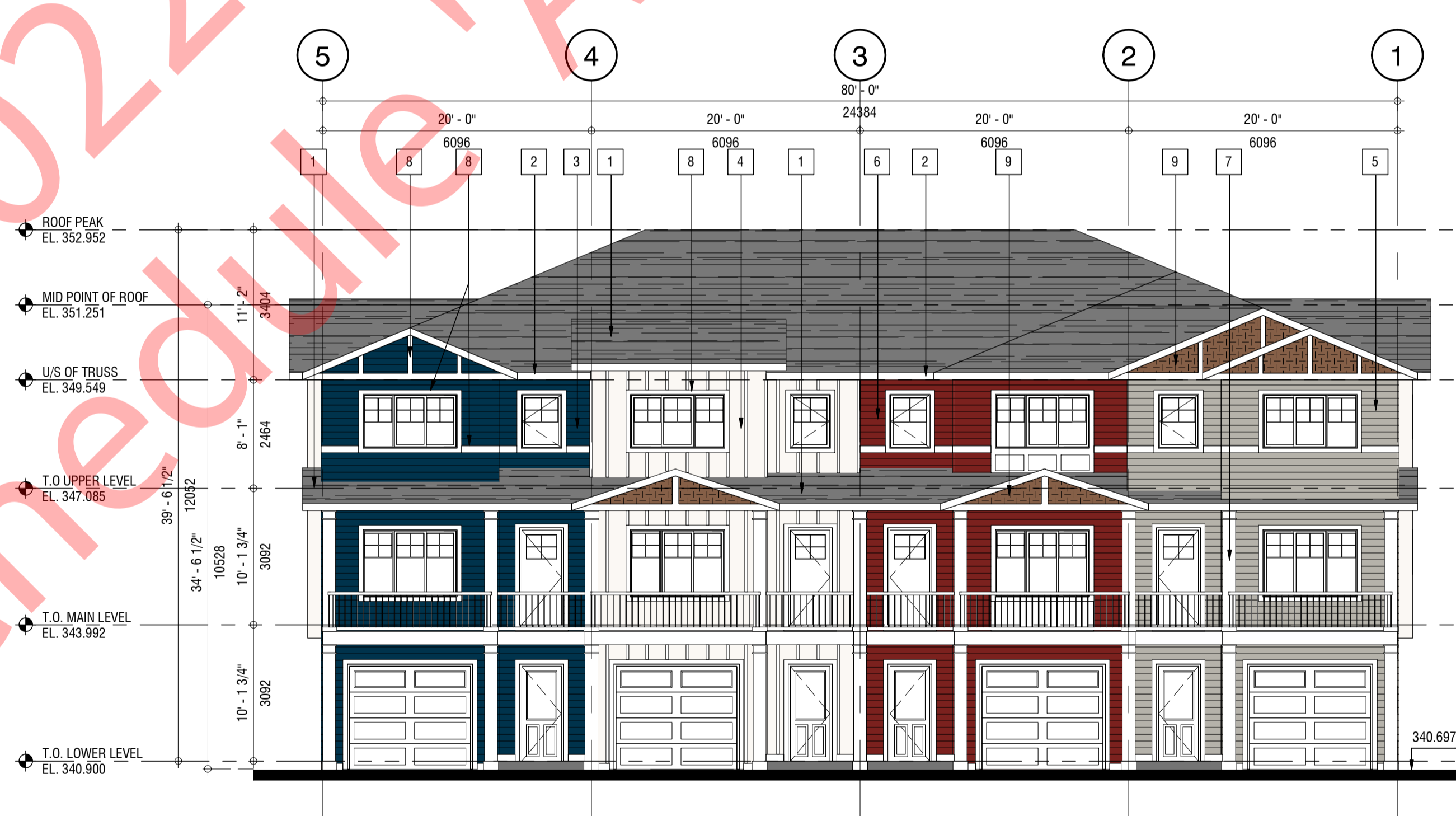
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DP-F-2.0



2 East Elevation
DP-F-4.0 SCALE: 1/8" = 1'-0"
DP-F-2.0



3 North Elevation
DP-F-4.0 SCALE: 1/8" = 1'-0"
DP-F-2.0



4 West Elevation
DP-F-4.0 SCALE: 1/8" = 1'-0"
DP-F-2.0

Elevation - Code Legend

- 1 ASPHALT ROOF SHINGLES - BLACK
- 2 METAL FASICA
- 3 FIBRE CEMENT LAP SIDING - BLUE
- 4 FIBRE CEMENT BOARD AND BATTEN SIDING - WHITE
- 5 FIBRE CEMENT LAP SIDING - GRAY
- 6 FIBRE CEMENT LAP SIDING - RED
- 7 FIBRE CEMENT PANEL - WHITE
- 8 SMARTBOARD TRIM - WHITE
- 9 FIBRE CEMENT SHINGLE SIDING - WOOD FINISH

02 DP - Elevation - Code Legend
SCALE: 12" = 1'-0"



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BLOCK G - ELEVATIONS

PENTICTON TOWNHOMES - BLOCK G
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PORCHLIGHT INVESTMENTS
22/215



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REVISION	DATE
1 OCP AND LAND USE REZONE- REVISION	2022-02-04
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3 TPC RESPONSE	2022-03-28

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DRAWING NO.

DP-G-4.0

Elevation - General Notes

1. ALL ALUMINUM SOFFT, EAVES & RAINWATER LEADERS TO BE DARK GREY
2. ALL PRE-FINISHED METAL FLASHING TO MATCH ADJACENT FINISH

02 DP - Elevation - General Notes

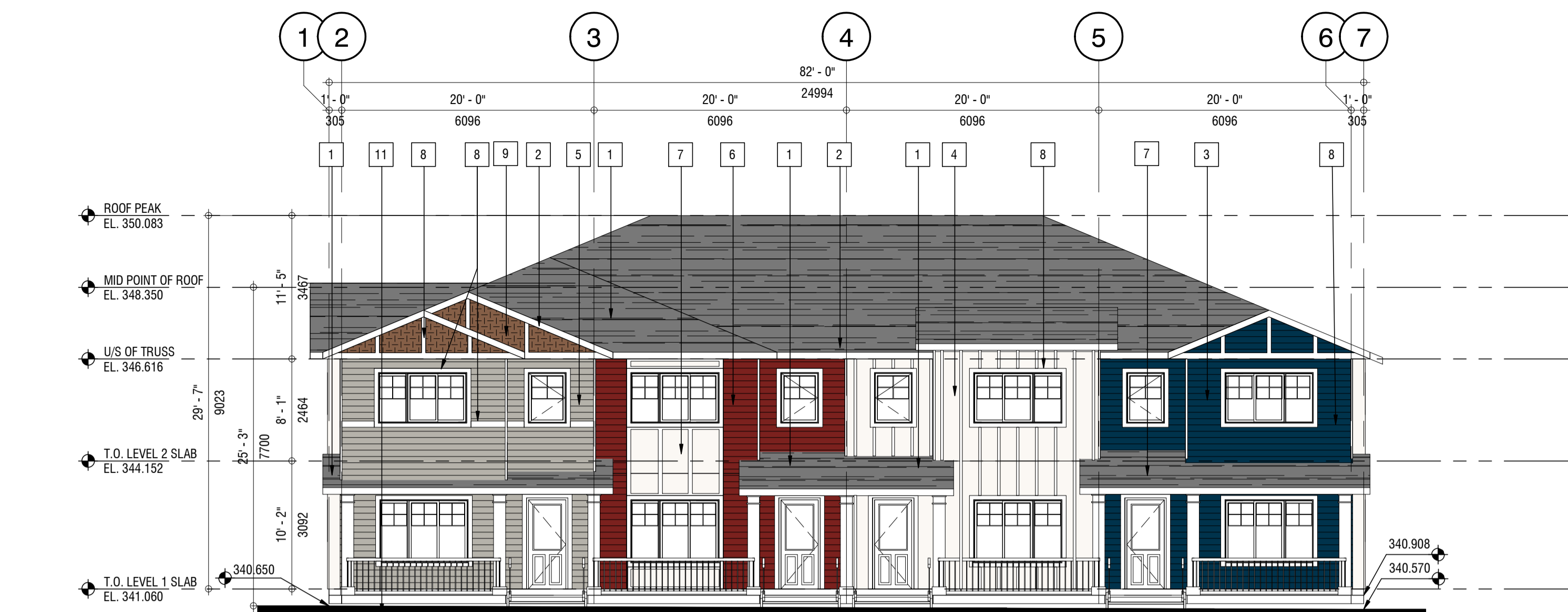
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Elevation - Code Legend

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- 2 METAL FASICA
- 3 FIBRE CEMENT LAP SIDING - BLUE
- 4 FIBRE CEMENT BOARD AND BATTEN SIDING - WHITE
- 5 FIBRE CEMENT LAP SIDING - GRAY
- 6 FIBRE CEMENT LAP SIDING - RED
- 7 FIBRE CEMENT PANEL - WHITE
- 8 SMARTBOARD TRIM- WHITE
- 9 FIBRE CEMENT SHINGLE SIDING - WOOD FINISH
- 10 FIBRE CEMENT LAP SIDING - WHITE
- 11 FIBRE CEMENT PANEL - GRAY

02 DP - Elevation - Code Legend

SCALE: 12" = 1'-0"



1 South Elevation

DP-G-4.0 SCALE: 1/8" = 1'-0"

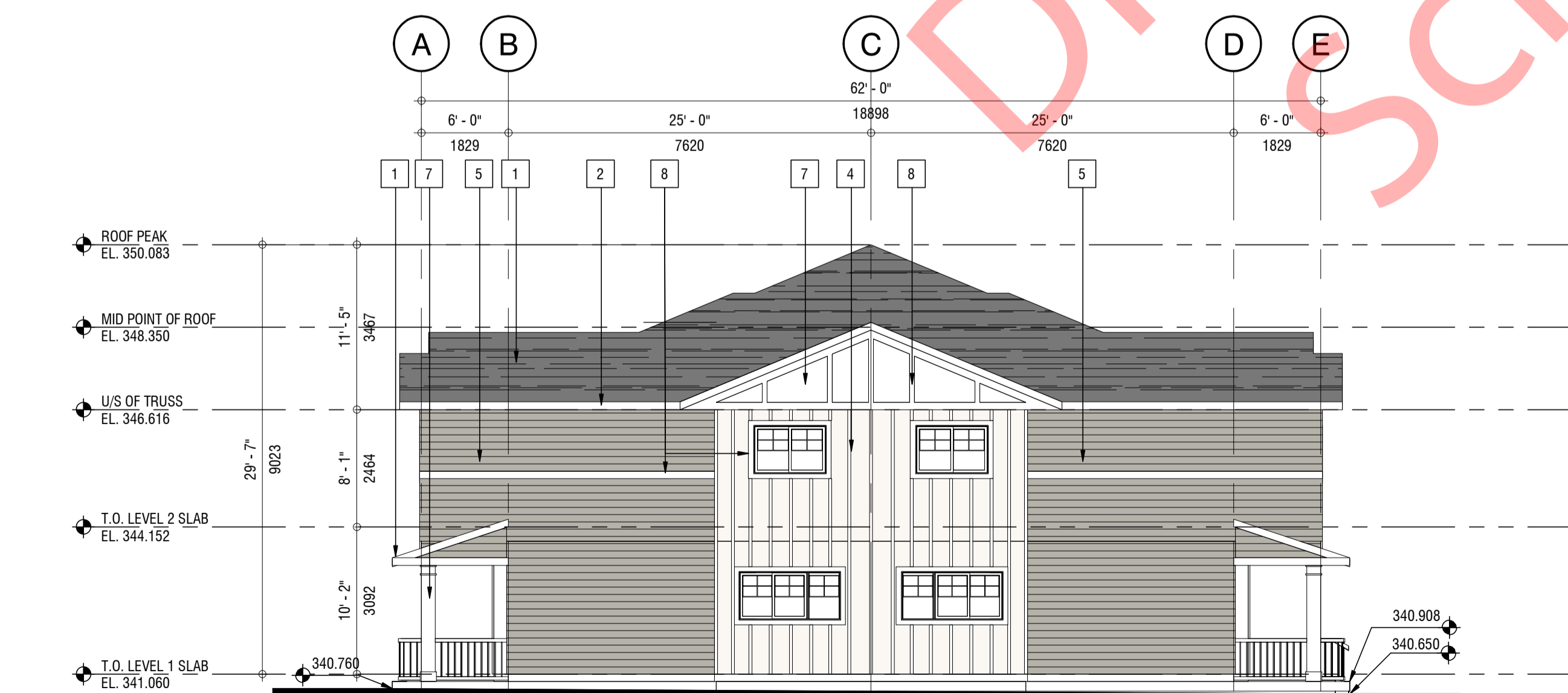
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3 North Elevation

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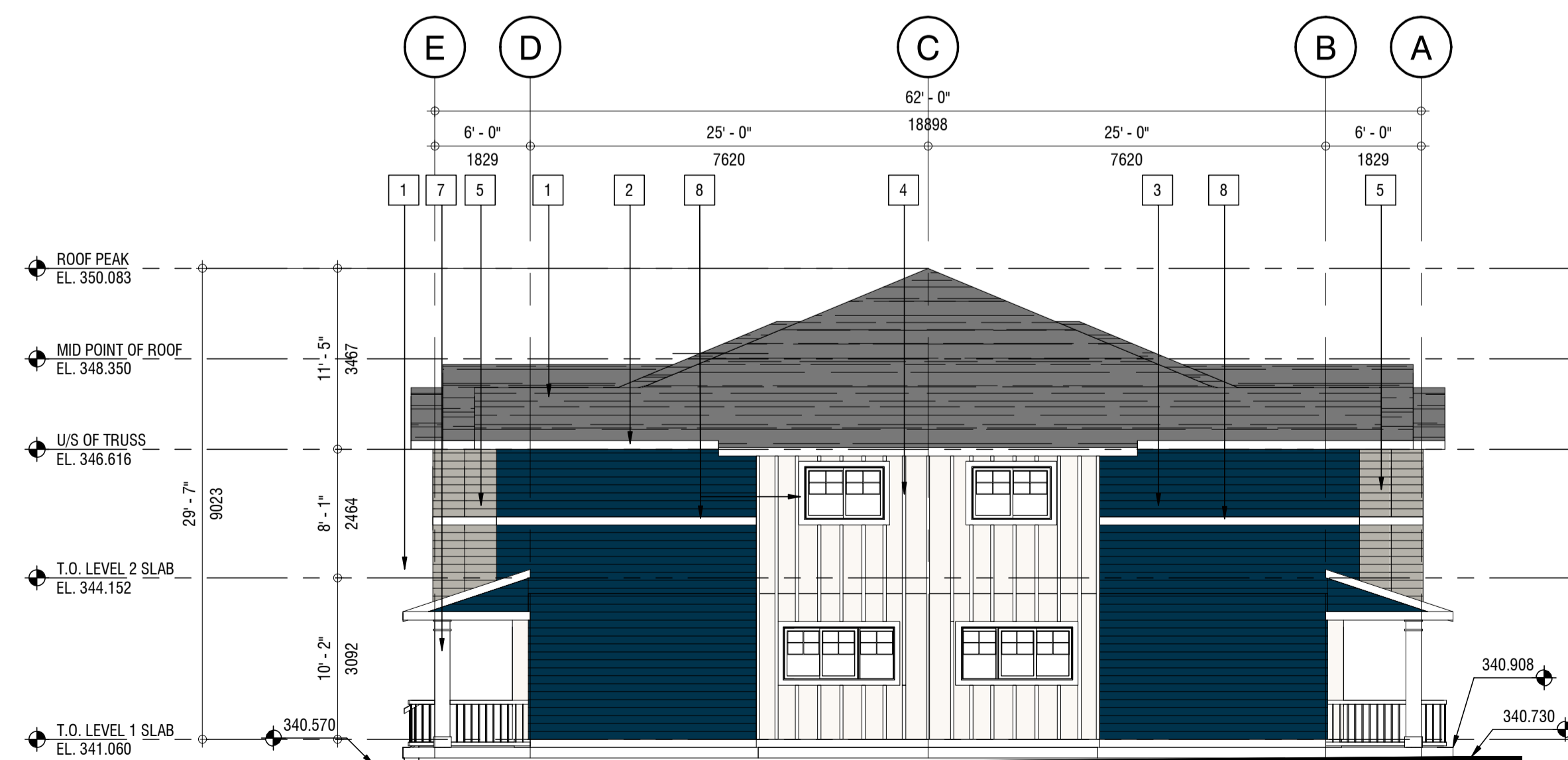
DP-G-2.0



4 West Elevation

DP-G-4.0 SCALE: 1/8" = 1'-0"

DP-G-2.0



2 East Elevation

DP-G-4.0 SCALE: 1/8" = 1'-0"

DP-G-2.0



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BLOCK H - ELEVATIONS

PENTICTON TOWNHOMES - BLOCK H
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PORCHLIGHT INVESTMENTS
22/12/15



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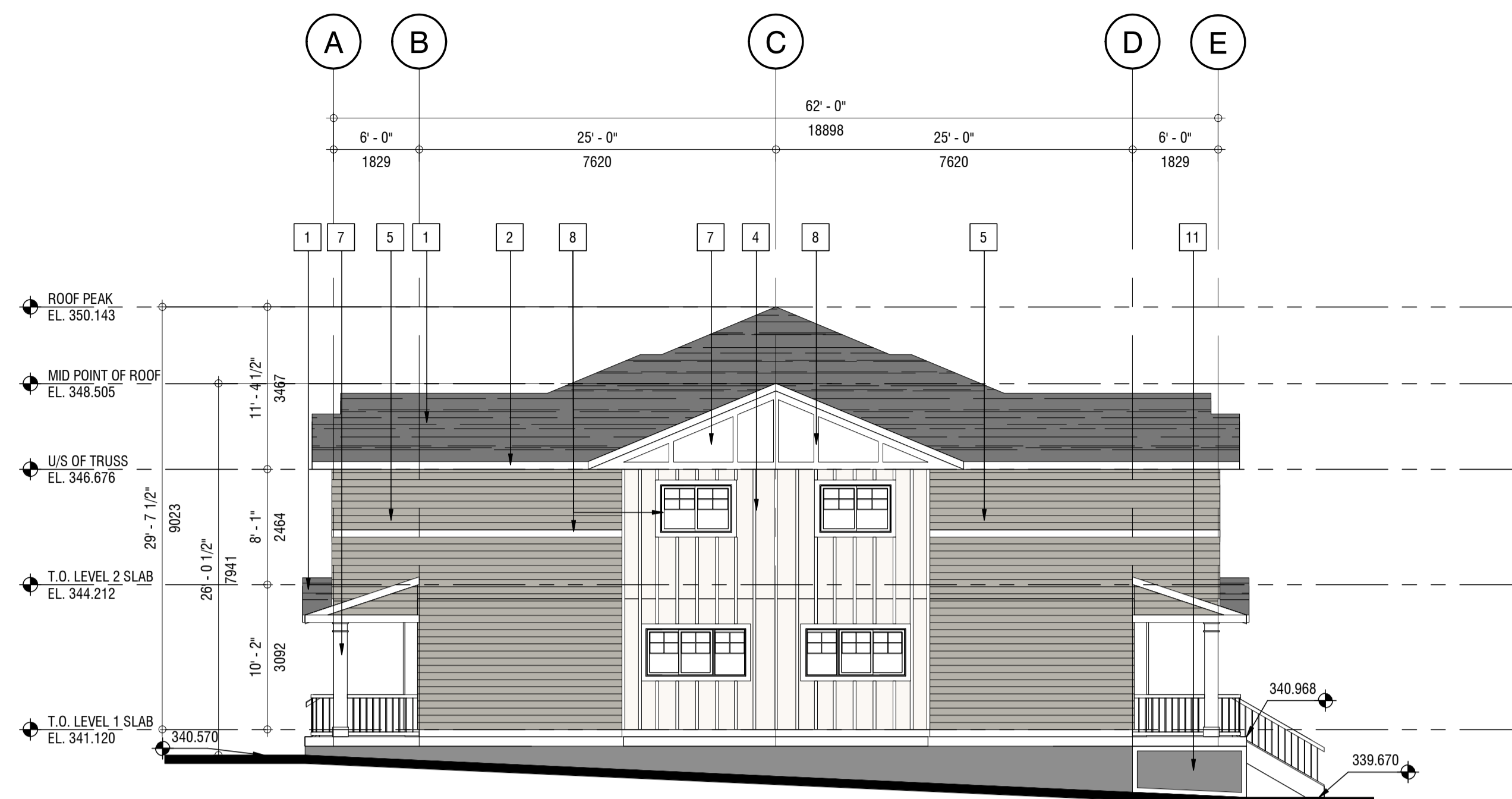
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REVISION	DATE
1 OCP AND LAND USE	2022-02-04
2 REZONE- REVISION	
3 D.P. APPLICATION	2022-02-11
2 TPC RESPONSE	2022-03-28

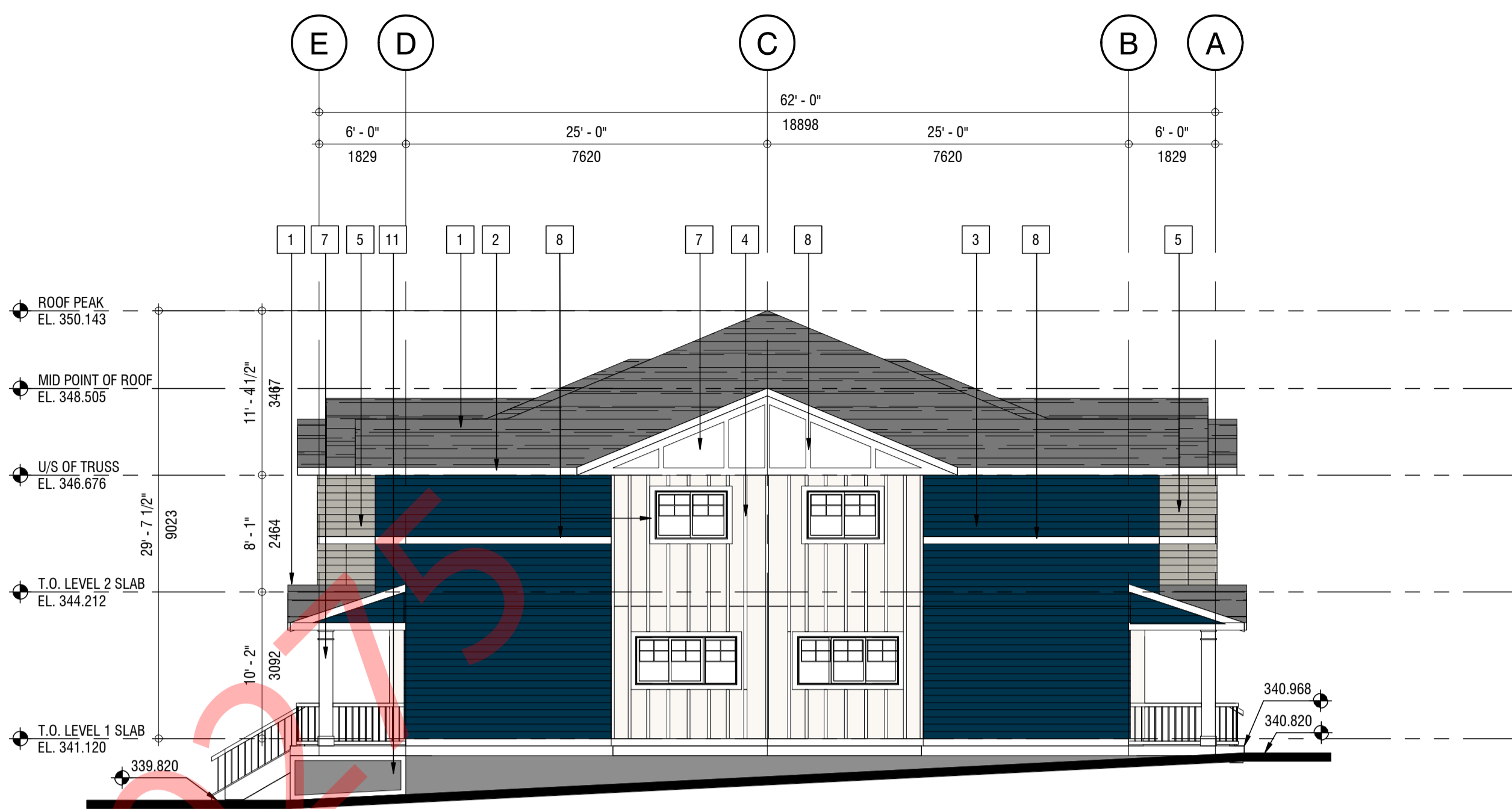
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DATE 3/28/2022 2:26:03 PM
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DRAWING NO.

DP-H-4.0



1 South Elevation
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DP-H-2.0



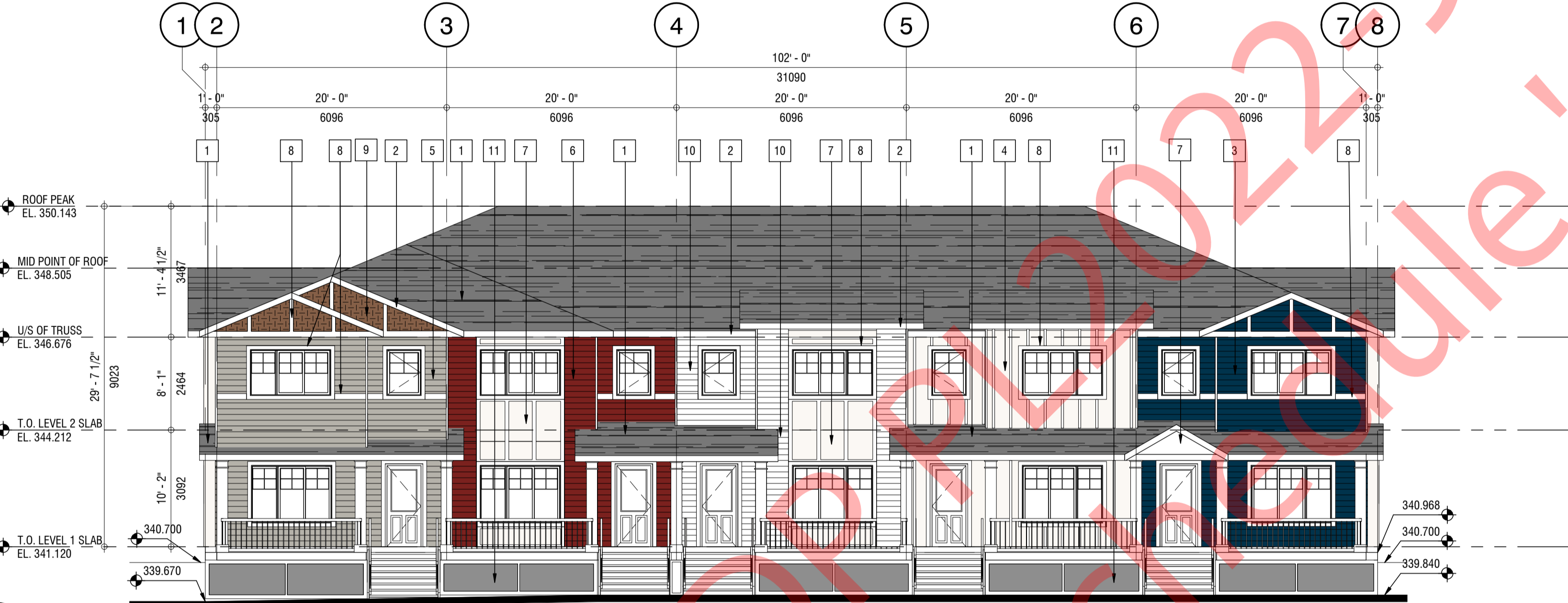
3 North Elevation
DP-H-4.0 SCALE: 1/8" = 1'-0"
DP-H-2.0

- Elevation - General Notes**
- ALL ALUMINUM SOFFT, EAVES & RAINWATER LEADERS TO BE WHITE
 - ALL PRE-FINISHED METAL FLASHING TO MATCH ADJACENT FINISH

- 02 DP - Elevation - General Notes**
SCALE: 12" = 1'-0"

- Elevation - Code Legend**
- 1 ASPHALT ROOF SHINGLES - BLACK
 - 2 METAL FASICA
 - 3 FIBRE CEMENT LAP SIDING - BLUE
 - 4 FIBRE CEMENT BOARD AND BATTEN SIDING - WHITE
 - 5 FIBRE CEMENT LAP SIDING - GRAY
 - 6 FIBRE CEMENT LAP SIDING - RED
 - 7 FIBRE CEMENT PANEL - WHITE
 - 8 SMARTBOARD TRIM- WHITE
 - 9 FIBRE CEMENT SHINGLE SIDING - WOOD FINISH
 - 10 FIBRE CEMENT LAP SIDING - WHITE
 - 11 FIBRE CEMENT PANEL - GRAY

- 02 DP - Elevation - Code Legend**
SCALE: 12" = 1'-0"



2 East Elevation
DP-H-4.0 SCALE: 1/8" = 1'-0"
DP-H-2.0



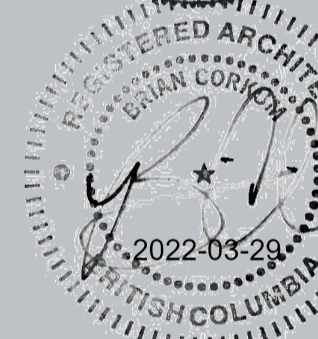
4 West Elevation
DP-H-4.0 SCALE: 1/8" = 1'-0"
DP-H-2.0



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BLOCK I - ELEVATIONS

PENTICTON TOWNHOMES - BLOCK I
435 Green Avenue W, Pentiction BC, Pentiction, B.C.
PORCHLIGHT INVESTMENTS 22/215



NOT FOR CONSTRUCTION

This drawing supersedes previous issues. Do not scale these drawings.

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

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REVISION	DATE
1 OCP AND LAND USE	2022-02-04
2 D.P. APPLICATION	2022-02-11

SCALE As Indicated
DATE 3/28/2022 2:44:33 PM
DRAWN BY Author
CHECKED BY Checker

DRAWING NO.

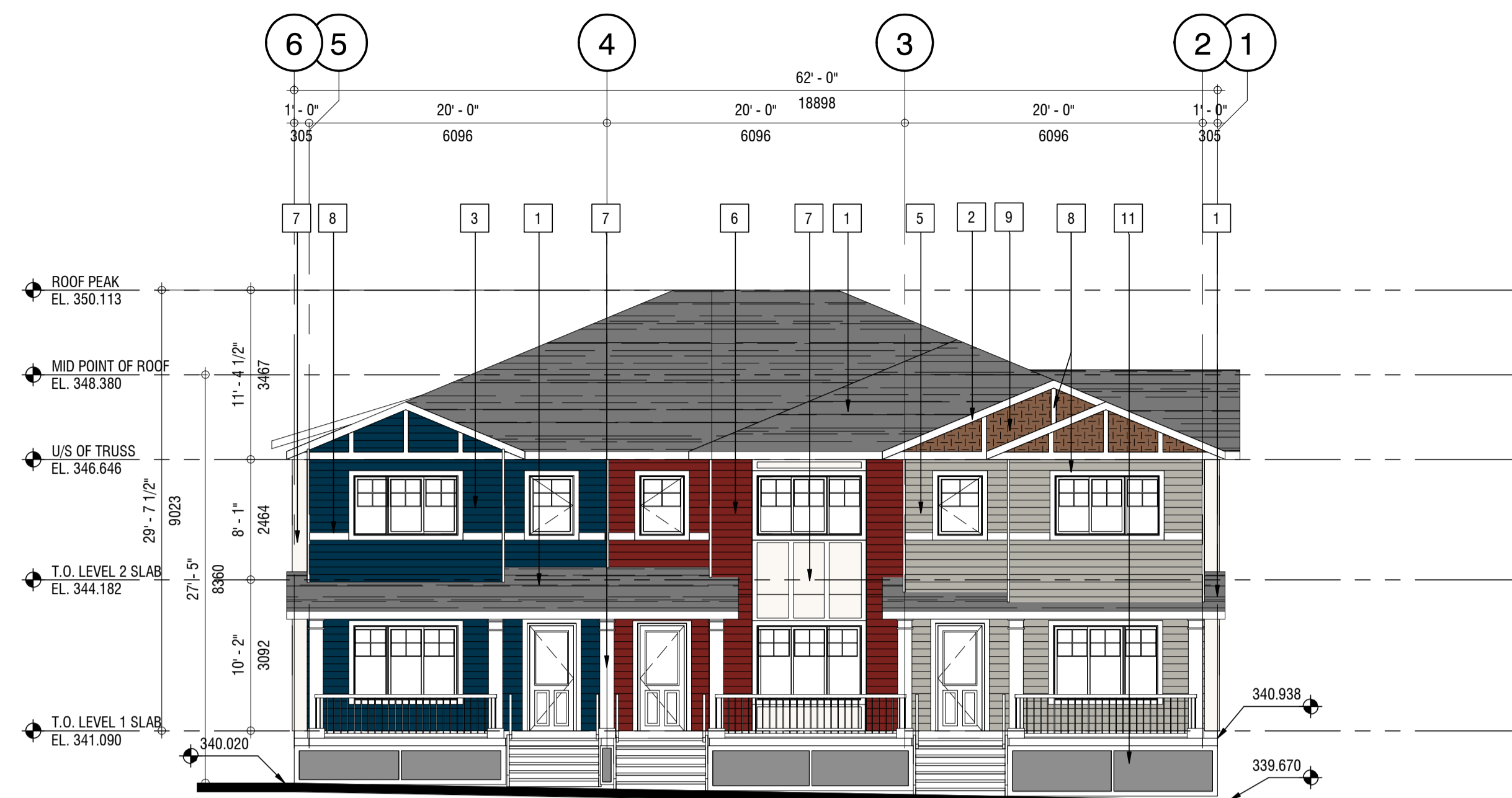
DP-I-4.0

Elevation - Code Legend

- 1 ASPHALT ROOF SHINGLES - BLACK
- 2 METAL FASICA
- 3 FIBRE CEMENT LAP SIDING - BLUE
- 4 FIBRE CEMENT BOARD AND BATTEN SIDING - WHITE
- 5 FIBRE CEMENT LAP SIDING - GRAY
- 6 FIBRE CEMENT LAP SIDING - RED
- 7 FIBRE CEMENT PANEL - WHITE
- 8 SMARTBOARD TRIM - WHITE
- 9 FIBRE CEMENT SHINGLE SIDING - WOOD FINISH
- 10 FIBRE CEMENT LAP SIDING - WHITE
- 11 FIBRE CEMENT PANEL - GRAY

02 DP - Elevation - Code Legend

SCALE: 1/8" = 1'-0"



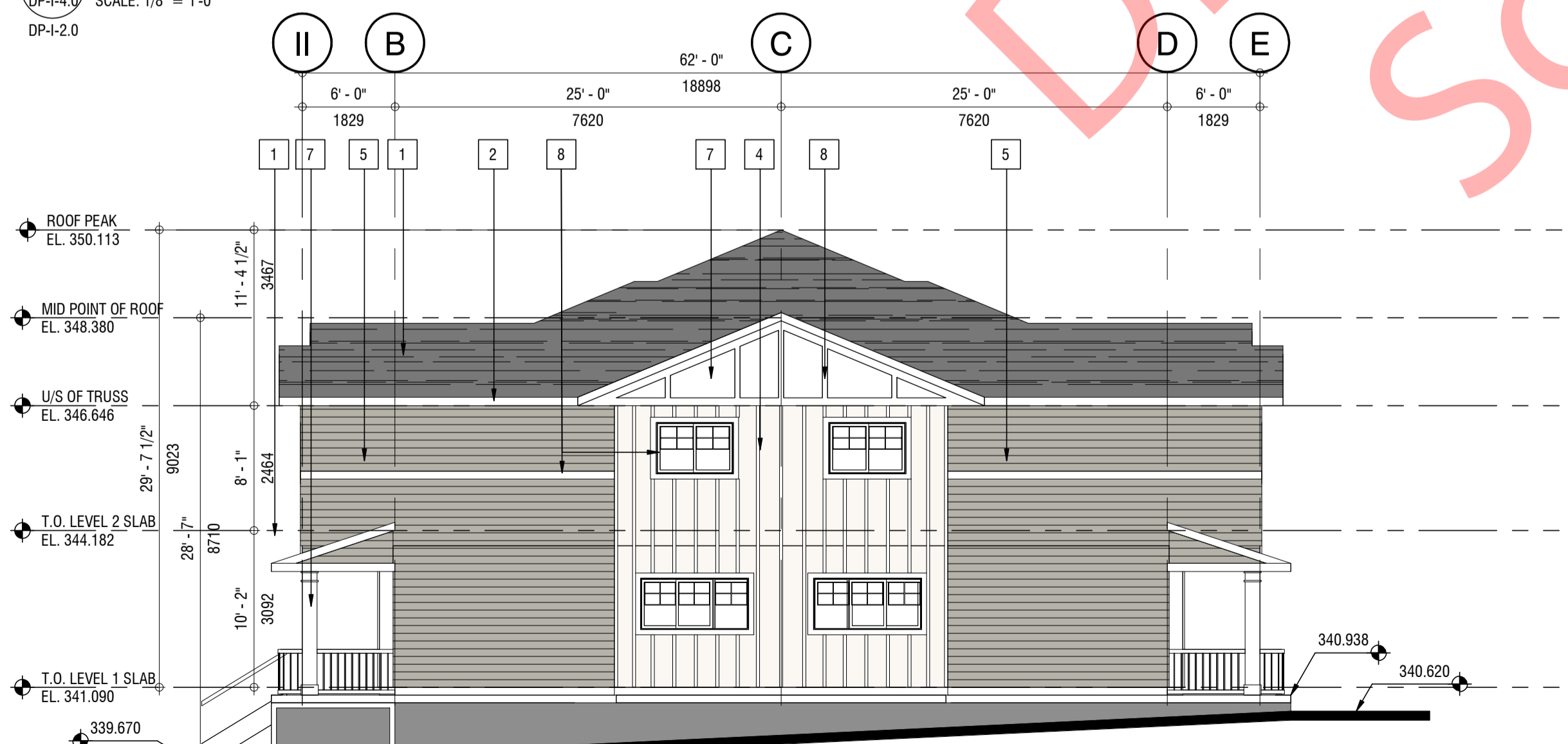
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DP-I-4.0 SCALE: 1/8" = 1'-0"
DP-I-2.0



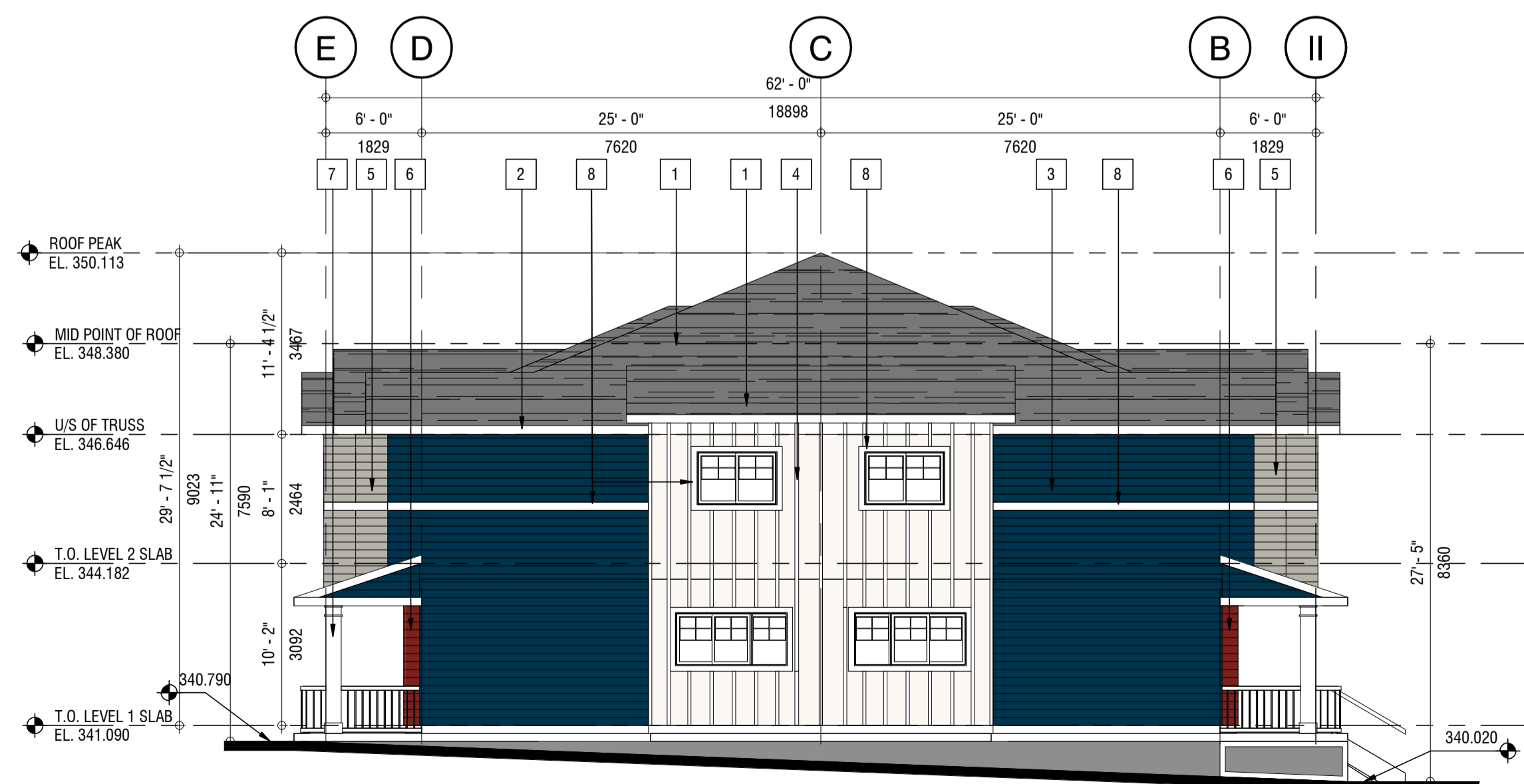
2 West Elevation

DP-I-4.0 SCALE: 1/8" = 1'-0"
DP-I-2.0



4 North Elevation

DP-I-4.0 SCALE: 1/8" = 1'-0"
DP-I-2.0



3 South Elevation

DP-I-4.0 SCALE: 1/8" = 1'-0"
DP-I-2.0



Suite 600, 220 - 12th Avenue SW
Calgary, AB, Canada T2R 0E9
T 403 670 7000
www.s2architecture.com

BLOCK J - ELEVATIONS

PENTICTON TOWNHOMES - BLOCK J
435 Green Avenue W, Pentiction BC, Pentiction, B.C.
PORCHLIGHT INVESTMENTS
22/12/15



NOT FOR CONSTRUCTION

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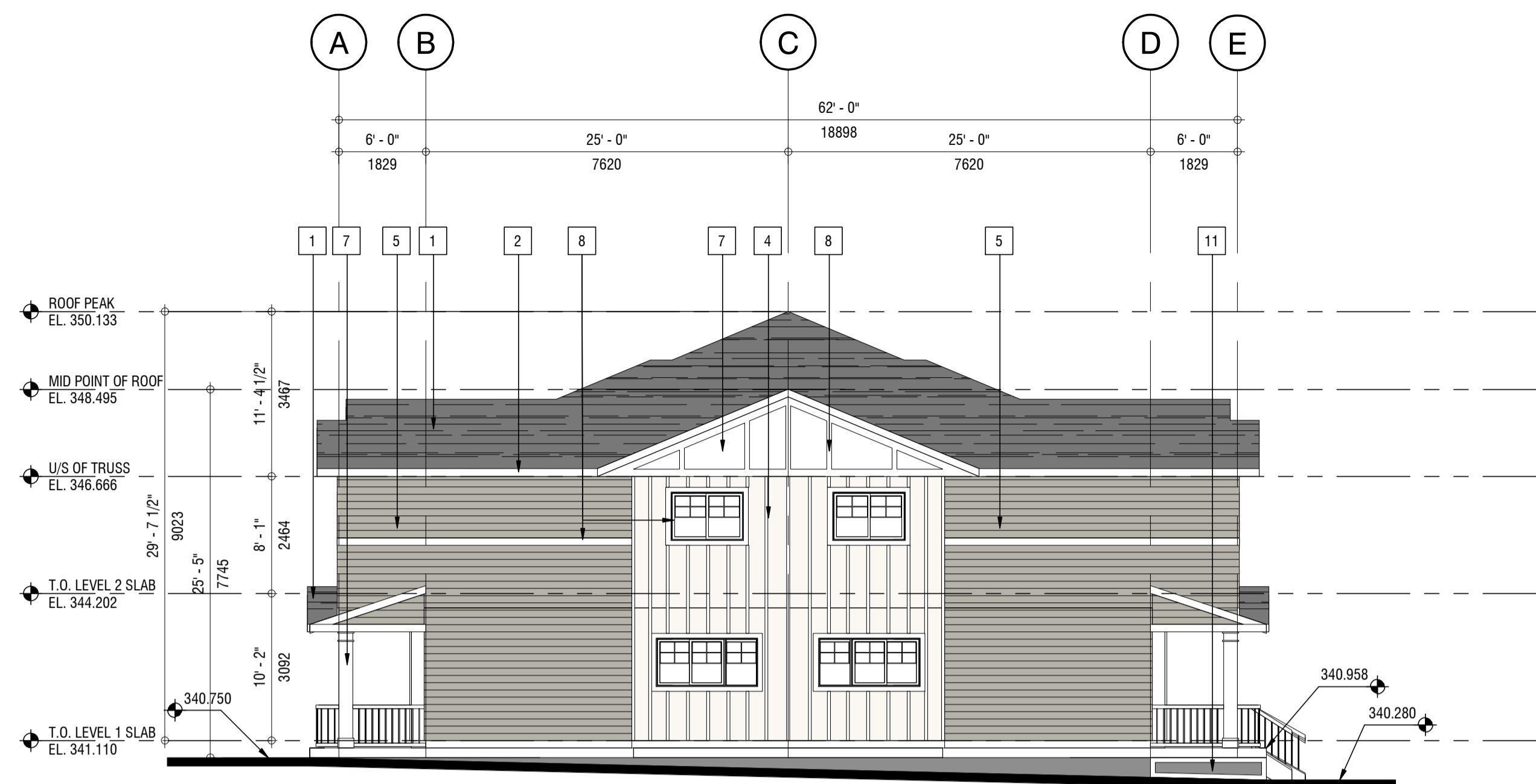
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REVISION	DATE
1 OCP AND LAND USE REZONE- REVISION	2022-02-04
2 D.P. APPLICATION	2022-02-11
3 TPC RESPONSE	2022-03-28

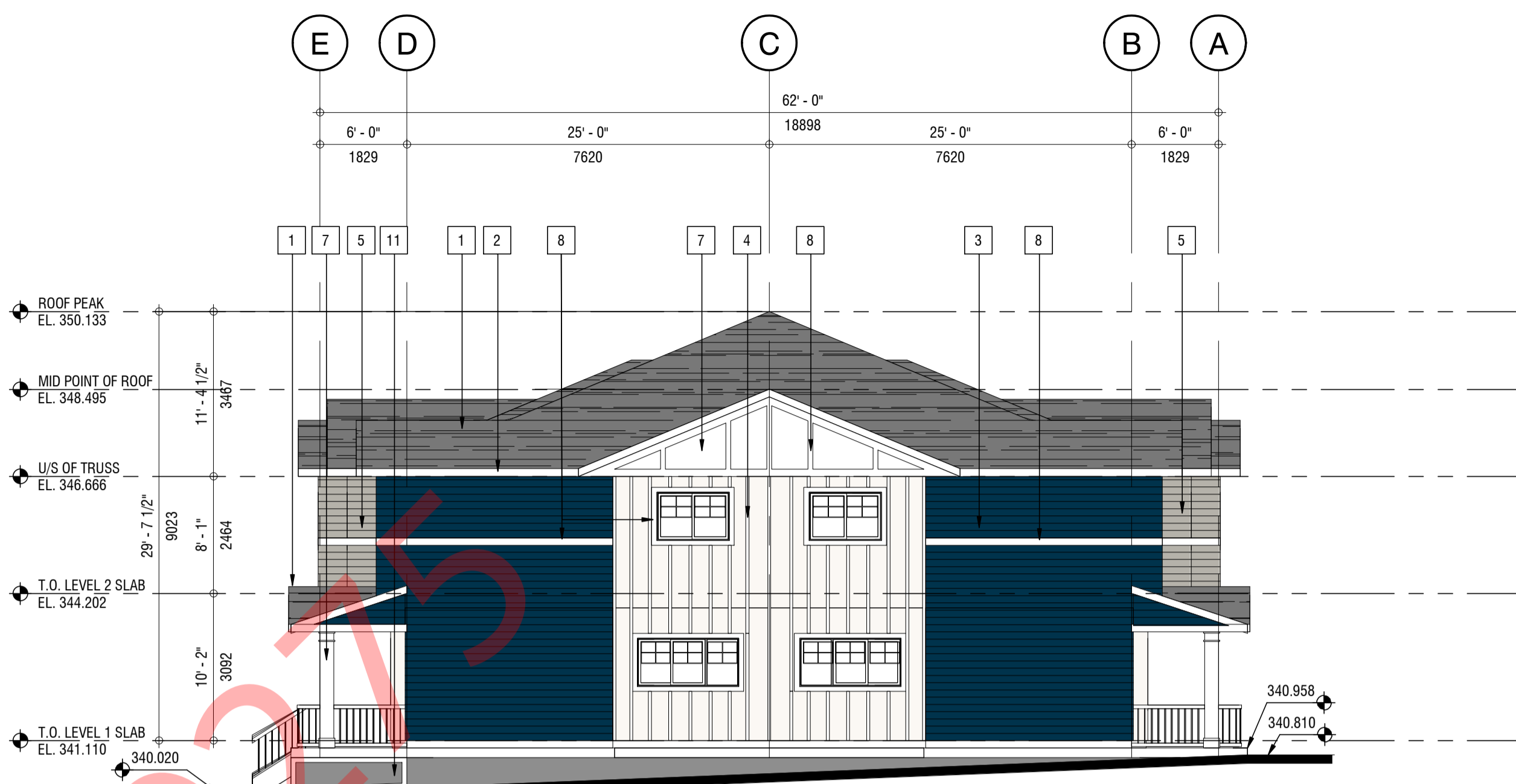
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DATE 3/28/2022 3:20:15 PM
DRAWN BY Author
CHECKED BY Checker

DRAWING NO.

DP-J-4.0



1 South Elevation
DP-J-4.0 SCALE: 1/8" = 1'-0"
DP-J-2.0



3 North Elevation
DP-J-4.0 SCALE: 1/8" = 1'-0"
DP-J-2.0

- Elevation - General Notes**
- ALL ALUMINUM SOFFT, EAVES & RAINWATER LEADERS TO BE WHITE
 - ALL PRE-FINISHED METAL FLASHING TO MATCH ADJACENT FINISH

02 DP - Elevation - General Notes
SCALE: 12" = 1'-0"

- Elevation - Code Legend**
- 1 ASPHALT ROOF SHINGLES - BLACK
 - 2 METAL FASICA
 - 3 FIBRE CEMENT LAP SIDING - BLUE
 - 4 FIBRE CEMENT BOARD AND BATTEN SIDING - WHITE
 - 5 FIBRE CEMENT LAP SIDING - GRAY
 - 6 FIBRE CEMENT LAP SIDING - RED
 - 7 FIBRE CEMENT PANEL - WHITE
 - 8 SMARTBOARD TRIM- WHITE
 - 9 FIBRE CEMENT SHINGLE SIDING - WOOD FINISH
 - 10 FIBRE CEMENT LAP SIDING - WHITE
 - 11 FIBRE CEMENT PANEL - GRAY

02 DP - Elevation - Code Legend
SCALE: 12" = 1'-0"



2 East Elevation
DP-J-4.0 SCALE: 1/8" = 1'-0"
DP-J-2.0



4 West Elevation
DP-J-4.0 SCALE: 1/8" = 1'-0"
DP-J-2.0

The Corporation of the City of Penticton

Bylaw No. 2022-22

A Bylaw to Amend Official Community Plan Bylaw No. 2019-08

WHEREAS the Council of the City of Penticton has adopted an Official Community Plan Bylaw pursuant to the Local Government Act;

AND WHEREAS the Council of the City of Penticton wishes to amend "Official Community Bylaw No. 2019-08";

NOW THEREFORE BE IT RESOLVED that the Municipal Council of the City of Penticton, in open meeting assembled, hereby ENACTS AS FOLLOWS:

1. Title:

This bylaw may be cited for all purposes as "Official Community Plan Amendment Bylaw No. 2022-22."

2. Amendment:

"Official Community Plan Bylaw No. 2019-08" is hereby amended as follows:

2.1 To change the following designations as follows:

Amend Map 1: Future Land Use, by changing the future land use designation for Lot 3 District Lots 379 and 182 Similkameen Division Yale District Plan 6750 Except Plan H14743, located at 435 Green Ave West, from 'Detached Residential' to 'Ground Oriented Residential'.

2.2 Schedule 'A' attached hereto forms part of this bylaw.

READ A FIRST time this day of , 2022
A PUBLIC HEARING was held this day of , 2022
READ A SECOND time this day of , 2022
READ A THIRD time this day of , 2022
ADOPTED this day of , 2022

Notice of intention to proceed with this bylaw was published on the __ day of ____, 2022 and the __ day of ____, 2022 in the Penticton newspaper, pursuant to Section 94 of the Community Charter.

John Vassilaki, Mayor

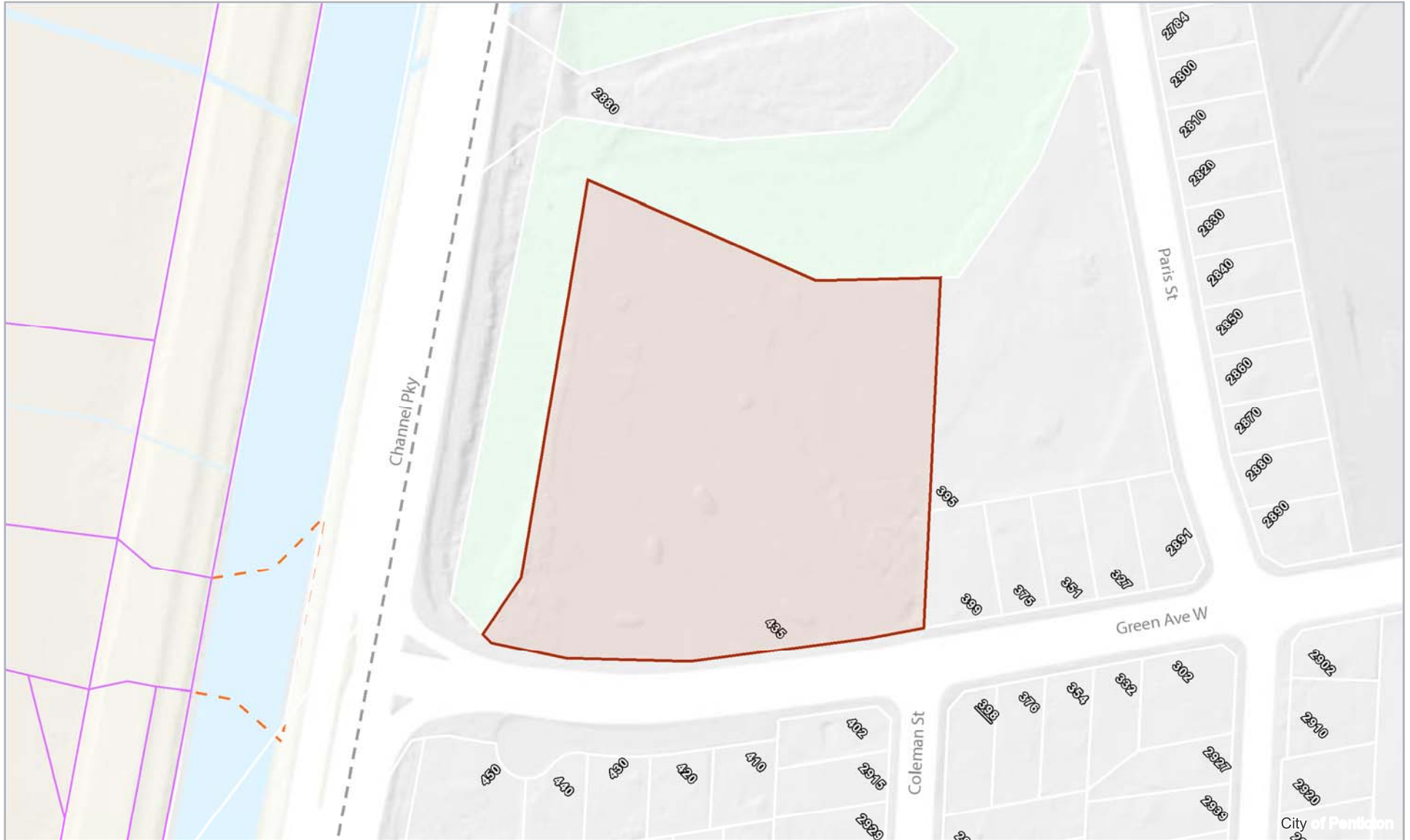
Angie Collison, Corporate Officer



Schedule A: OCP Amendment Bylaw 2022-22

Date:

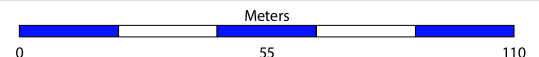
Corporate Officer:



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1:1,680
 April 27, 2022 8:46:49 AM



Coordinate System: NAD 1983 CSRS UTM Zone 11N

The Corporation of the City of Penticton

Bylaw No. 2022-23

A Bylaw to Amend Zoning Bylaw 2021-01

WHEREAS the Council of the City of Penticton has adopted a Zoning Bylaw pursuant the Local Government Act;

AND WHEREAS the Council of the City of Penticton wishes to amend Zoning Bylaw 2021-01;

NOW THEREFORE BE IT RESOLVED that the Municipal Council of the City of Penticton, in open meeting assembled, hereby ENACTS AS FOLLOWS:

1. Title:

This bylaw may be cited for all purposes as "Zoning Amendment Bylaw No. 2022-23".

2. Amendment:

2.1 Zoning Bylaw No. 2021-01 is hereby amended as follows:

Rezone Lot 3 District Lots 379 and 182 Similkameen Division Yale District Plan 6750 Except Plan H14743, located at 435 Green Avenue West, from R2 (Small Lot Residential) to RM2 (Low Density Multiple Housing).

2.2 Schedule 'A' attached hereto forms part of this bylaw.

READ A FIRST time this day of , 2022
A PUBLIC HEARING was held this day of , 2022
READ A SECOND time this day of , 2022
READ A THIRD time this day of , 2022
RECEIVED the approval of the day of , 2022
Ministry of Transportation on the
ADOPTED this day of , 2022

Notice of intention to proceed with this bylaw was published on the day of , 2022 and the day of , 2022 in the Penticton newspaper, pursuant to Section 94 of the Community Charter.

Approved pursuant to section 52(3)(a) of the Transportation Act
this day of , 2022
for Minister of Transportation & Infrastructure

John Vassilaki, Mayor

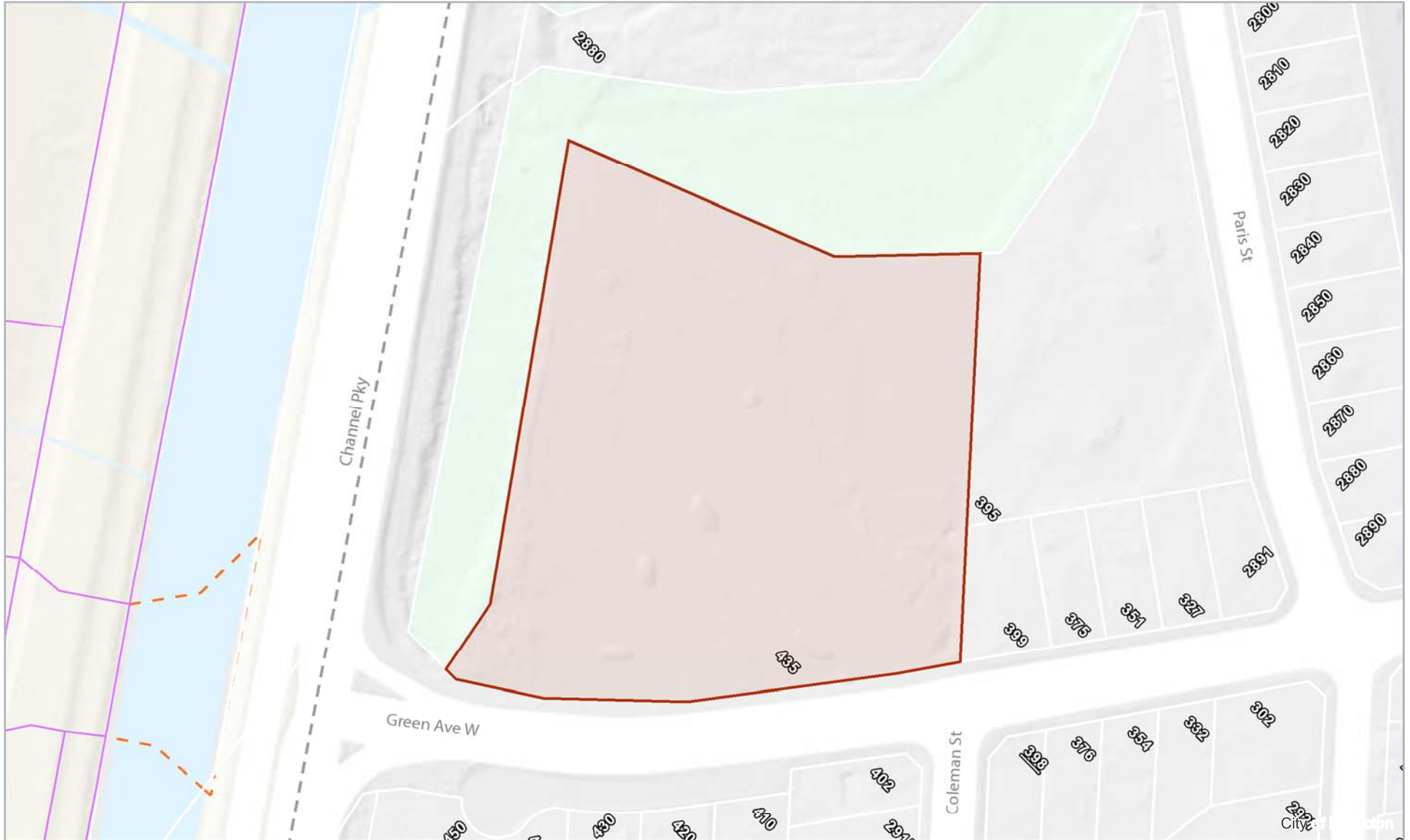
Angie Collison, Corporate Officer



Schedule A: Zoning Amendment Bylaw 2022-23

Date:

Corporate Officer:

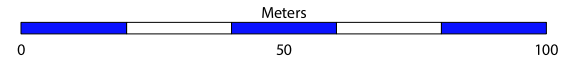


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1:1,440

April 27, 2022 8:39:54 AM



Coordinate System: NAD 1983 CSRS UTM Zone 11N

At the beginning of this Council term many Councilors expressed an interest in trying to recover a portion of Penticton's recreational facility operating costs from neighbouring communities. Penticton is surrounded by 4 RDOS electoral areas and at present only the West Bench Electoral Area gives a contribution to support Penticton's recreation expenses.

During our first year of this Council term some review of options to recover recreation expenses was done and this work identified that Penticton had 2 options to recover some portion of recreation facility operating costs:

- One option is to work with the Electoral Areas that surround Penticton to have a joint operating agreement to share expenses and these expenses would be collected as a tax levy. Based on reviewing municipal areas that have these agreements it appears they are only done at the time when recreation facilities are constructed. Penticton does not have the right to impose this type of funding agreement.
- A second option would be for Penticton to establish a 2-tier recreation fee structure with one rate for Penticton residents and a higher rate for residents in the surrounding Electoral Areas.

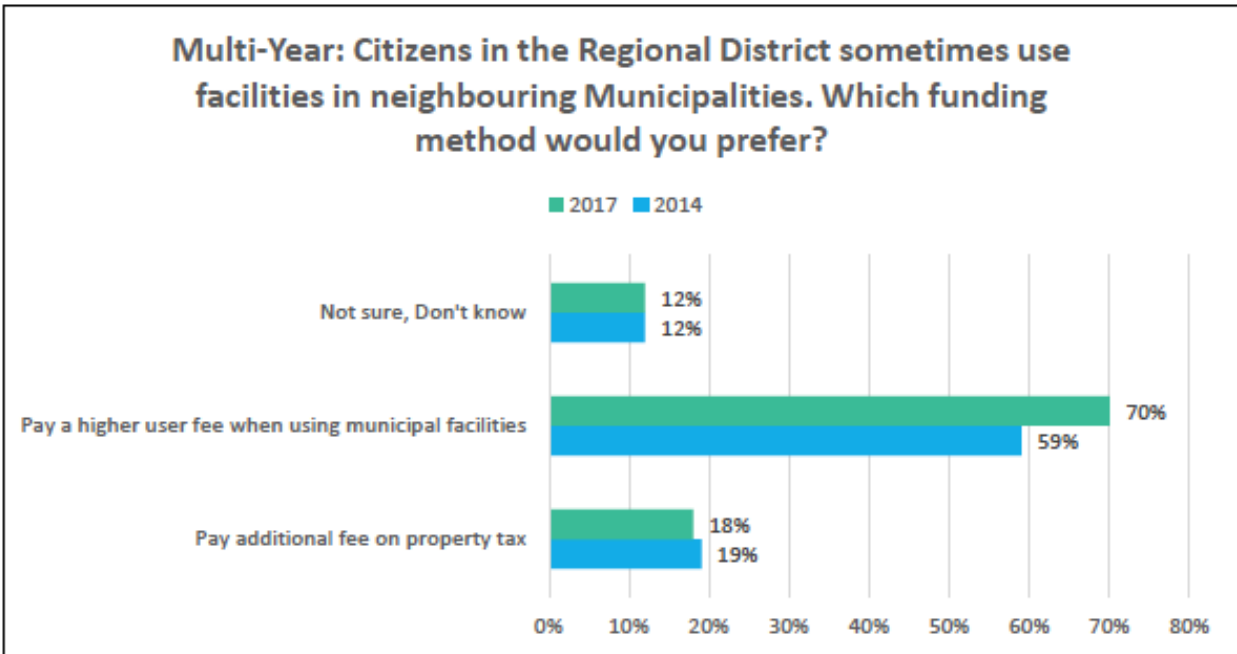
Recreation fees are intended to recover only a portion of the costs to operate our facilities. This leaves it to Penticton taxpayers to pay the costs not covered by our rental/admission fees. Previous examinations of our recreation facility use found the surrounding RDOS Electoral Areas use was between 18% and 25% of the total rentals.

Almost all Okanagan communities that have ice arenas and swimming pools have agreements with neighbouring municipal areas for the construction, repair, and operation of these facilities. For 2022 the RDOS budget has sharing arrangements for ice arenas and swimming pools established in the following areas:

- Rural Osoyoos will fund the Town of Osoyoos \$300 k for ice arena and pool operations
- Rural Oliver will fund the Town of Oliver \$149 k for ice arena operations
- Rural Cawston and Hedley will fund the Village of Keremeos \$81 k for the operation of an outdoor pool
- Rural Princeton will fund the Town of Princeton \$285 k for ice arena operations

In both the Central Okanagan and North Okanagan ice arenas and pools are also jointly funded by a number of municipal groups sharing the costs.

The RDOS has recognized this is an issue and to help measure the opinion of Electoral Area's regarding funding recreational facilities the following question was included in a 2017 RDOS survey.



The recent census data shows Penticton's population at 36,885 and the combined population of Naramata, West Bench, Kaleden and OK Falls at 10,430 which equals 28% of Penticton's population.

Penticton's Parks and Recreation Master Plan was adopted June 18, 2018. This plan reviewed some issues related to developing a 2-tier pricing plan for nonresidents versus residents. Also reported was a study in 2009 that indicated 18% of Penticton's facility use was by RDOS residents. If a review of 2 tier rental rates is done, there needs to be a clear description of the significant rental rate subsidy paid solely by Penticton taxpayers.

Councillor Frank Regehr
April 7, 2022